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4X4 ALL TERRAIN
 2 STORY HOUSE
 1ST FLOOR AREA : 897 GSF
 FRONT PATIO : 238 GSF
 2ND FLOOR AREA : 624 GSF
 1,521 SQ. FT. OF NET AREA
 1,759 SQ. FT. OF GROSS AREA (INCLUDES FRONT PORCH)

THIS RESILIENT SINGLE-FAMILY HOME WAS DESIGNED TO BLEND WITHIN AN ECLECTIC ARRAY OF SIZES, SHAPES, FORMS AND MATERIALS FOUND IN THE HOUSTON NEIGHBORHOODS CONTEXT.

A COMBINATION OF WOOD LOOK (FIBER CEMENT SIDING) AND METAL SIDING MATERIAL WERE CHOSEN FOR THE AESTHETICS, AND LOW MAINTENANCE. THE 4X4 MODULAR GRID WAS USED FOR THE LAYOUT OF THE FLOOR PLAN TO ACHIEVE AN EFFICIENT AND FUNCTIONAL HOME. THE DOUBLE HEIGHT SPACE CELEBRATES THE LIVING, DINING AREA. DAYLIGHT POURS INTO THE LIVING AND DINING AREA FROM THE ENTRY DOOR AND CORNER WINDOWS COMBINATION. THE ARCHITECTURE WILL SET SOME STANDARDS OF DESIGN ASPIRATION FOR THE FUTURE OF THE AREA, USING SUSTAINABLE BUT ALSO AFFORDABLE BUILDING PRACTICES WITH HIGH IMPACT DESIGN.

- FEATURES:**
- MINIMAL DISTURBED LANDSCAPE
 - NATURAL PATH RUN OFF WITH MINIMAL REGRADING
 - MINIMAL FOOTPRINT (FIT ON SMALL LOTS)
 - NO FILL MATERIAL BROUGHT TO SITE
 - MINIMAL USE OF IMPERVIOUS MATERIAL
 - SIMPLE AND ELEVATED FOUNDATION
 - ELEVATED LIVING AND RAISED MECHANICAL AND ELECTRICAL EQUIPMENT
 - ADA ACCESSIBLE FIRST LEVEL HOME
 - SOLAR EXTERIOR PATH LIGHTS



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 VALUE ENGINEERED SET
 SET DATED :03.15.2021

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



DRAWING NAME:
COVER SHEET

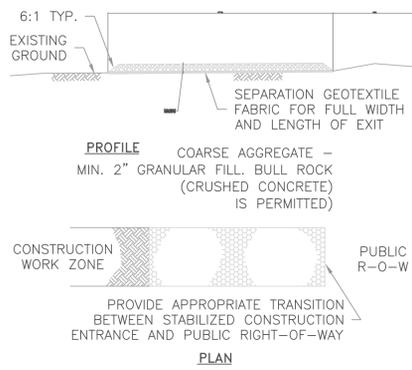
A-00
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DATE: 11.20.2021

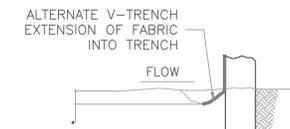
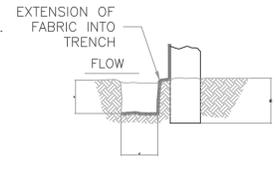
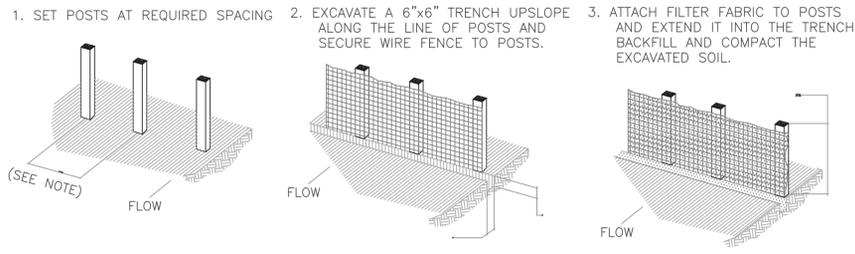
STABILIZED CONSTRUCTION ACCESS

GENERAL NOTES:

MINIMUM LENGTH IS AS SHOWN ON CONSTRUCTION DRAWINGS
 CONSTRUCT AND MAINTAIN CONSTRUCTION EXIT WITH CONSTANT WIDTH ACROSS ITS LENGTH
 UNLESS SHOWN ON THE CONSTRUCTION DRAWINGS, STABILIZATION FOR OTHER AREAS WILL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT.
 WHEN SHOWN ON THE CONSTRUCTION DRAWINGS, WIDEN OR LENGTHEN STABILIZED AREA TO ACCOMMODATE A TRUCK WASHING AREA.
 PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL COARSE AGGREGATE TO MAINTAIN THE REQUIRED DEPTH OR WHEN SURFACE BECOMES PACKED WITH MUD.
 PERIODICALLY TURN AGGREGATE TO EXPOSE A CLEAN DRIVING SURFACE.



SILT FENCE:



GENERAL NOTES:

1. SECURELY FASTEN MESH FENCING TO POSTS WITH STAPLES OR TIE WIRES.
2. SECURELY FASTEN FILTER FABRIC TO MESH FENCING.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, OVERLAP 6 INCHES AT A POST, FOLD TOGETHER, AND ATTACH TO A POST.
4. REMOVE SEDIMENT DEPOSITS WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.

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REVISED : 01.03.2022
 REVISED : 01.29.2022
 REVISED : 02.15.2022

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

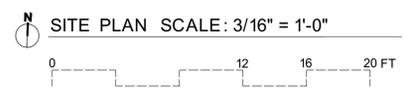
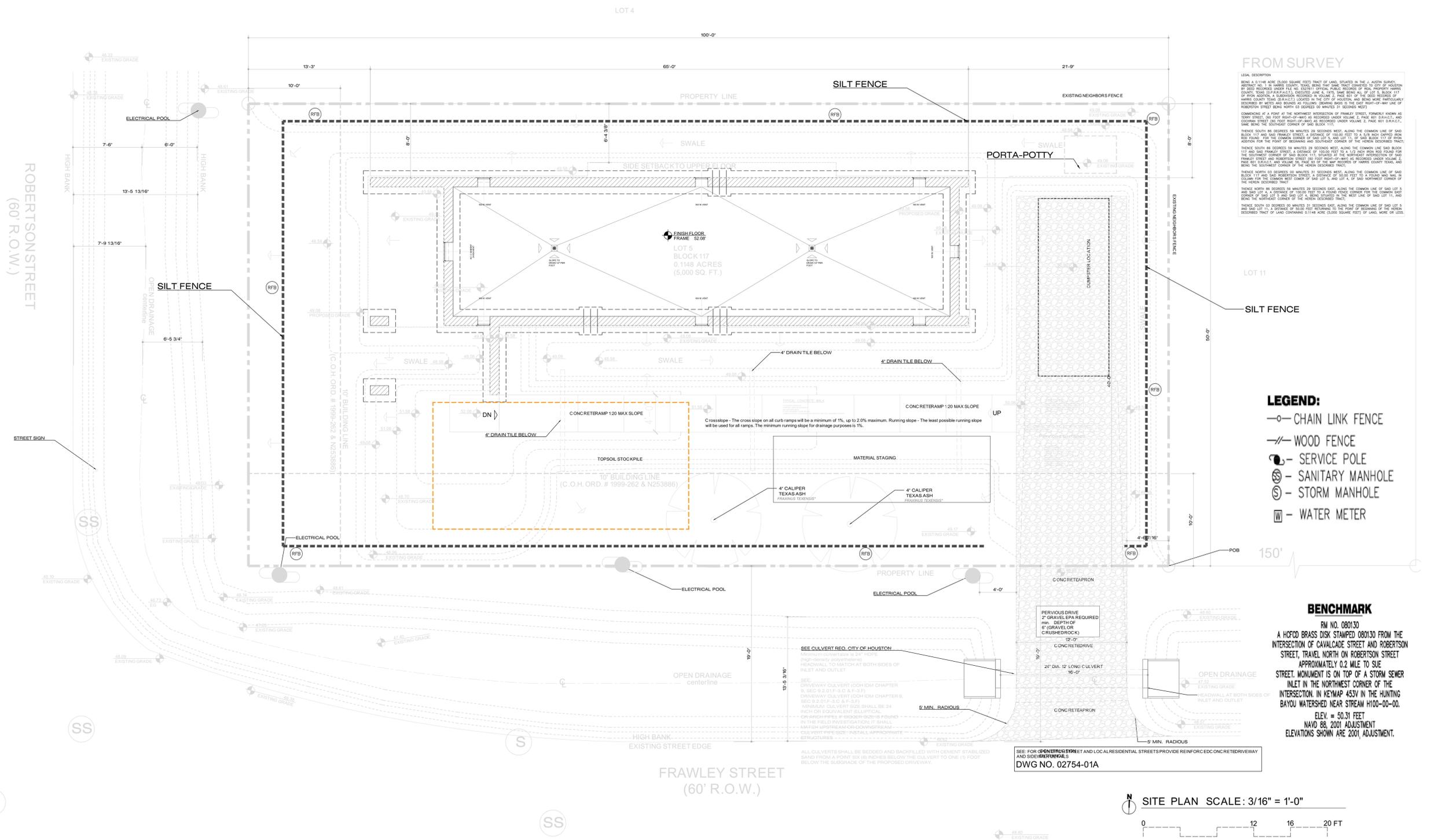
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DRAWING NAME:
EROSION CONTROL PLAN

C-00
 SHEET

DATE: 11.20.2021



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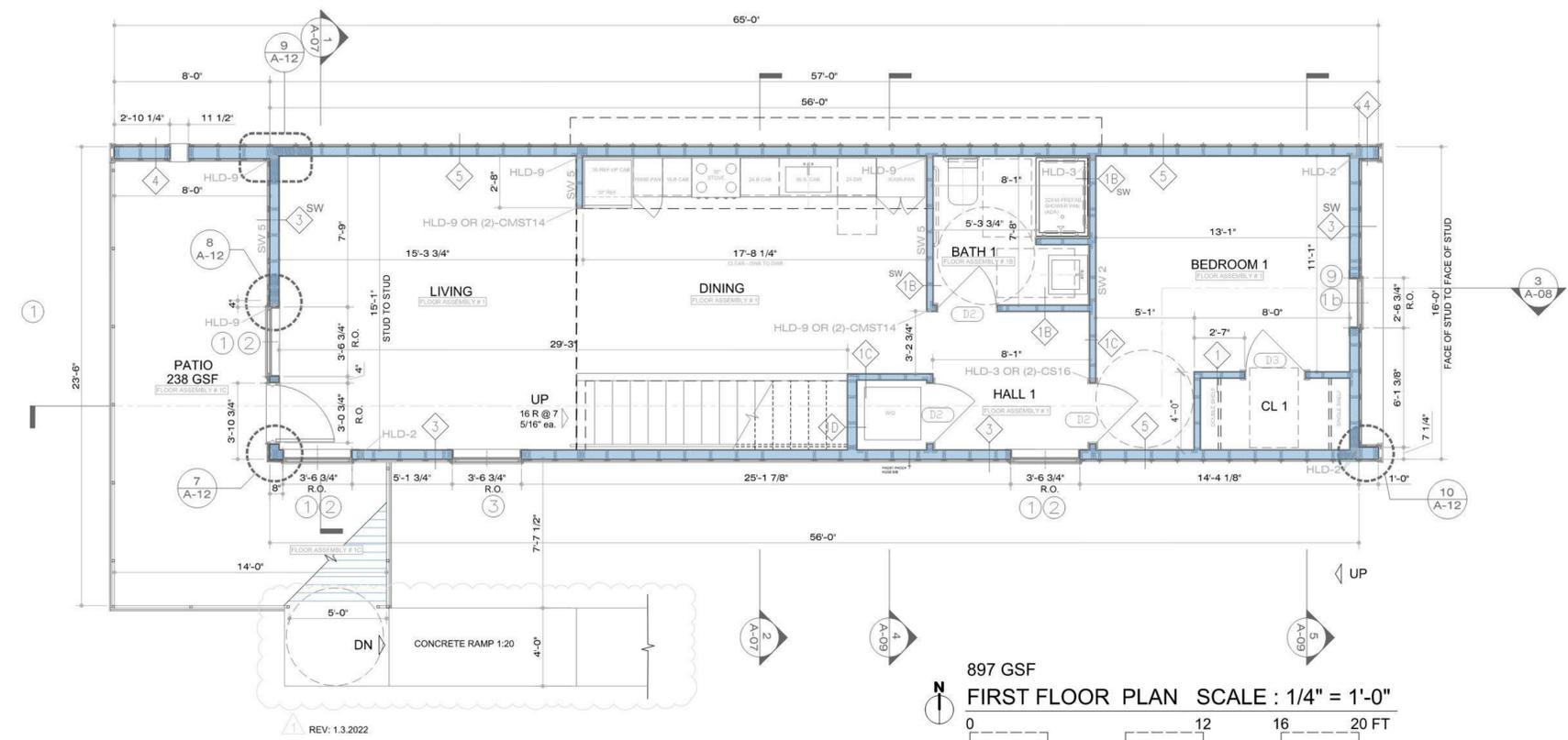
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DRAWING NAME:
FLOOR PLANS

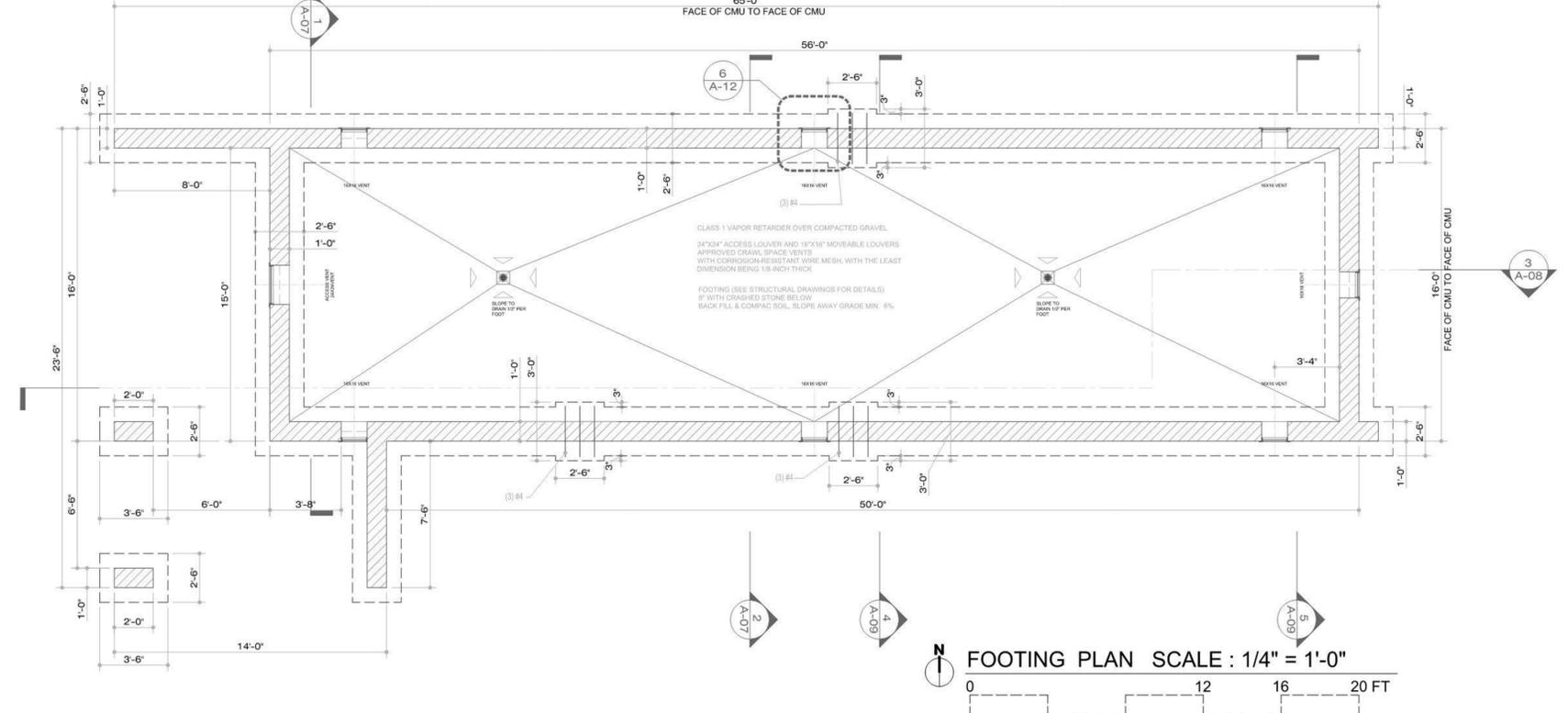
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- FLOOR ASSEMBLY # 1**
 1/2" STERLING OAK 8.7 IN. W X 47.6 IN. L LUXURY VINYL PLANK FLOORING
 3/4" TAG BREATHING PLYWOOD
 2X12 GREEN PRESSURE TREATED JOISTS 16" O.C.
 HANGERS AS REQUIRED
 CLOSED CELL SPRAYED FOAM INSULATION (R 25MIN.)
- FLOOR ASSEMBLY # 1B**
 CERAMIC TILE
 MORTAR BED
 1/2" CEMENTITIOUS BACKER BOARD
 30 MIL MEMBRANE
 1/2" PLYWOOD SUB FLOOR
 2X12 GREEN PRESSURE TREATED JOISTS 16" O.C.
 HANGERS AS REQUIRED
 CLOSED CELL SPRAYED FOAM INSULATION (R 25MIN.)
- FLOOR ASSEMBLY # 1C**
 3/4 IN. X 6 IN. X 16 FT. STANDARD GROUND CONTACT PRESSURE-TREATED PINE JOCKING BEAMS
 2X12 GREEN PRESSURE TREATED JOISTS 16" O.C.
 HANGERS AS REQUIRED
- FLOOR ASSEMBLY # 2**
 CARPET
 CARPET PAD
 3/4" PLYWOOD SUB FLOOR
 16" CUSTOM PREFABRICATED WOOD TRUSSES 18" O.C.
 HANGERS AS REQUIRED
- FLOOR ASSEMBLY # 2B**
 CERAMIC TILE
 1/2" CEMENTITIOUS BACKER BOARD
 MORTAR BED
 MEMBRANE AS REQUIRED PER AMERICAN NATIONAL SPECIFICATIONS FOR THE INSTALLATION OF CERAMIC TILE (ANSI A108A18A136 1.2017)
 1/2" PLYWOOD SUB FLOOR
 16" CUSTOM PREFABRICATED WOOD TRUSSES 18" O.C.
 TRUSSES HANGERS AS REQUIRED

- 1 WALL TYPE 1. NTS**
 2X4 DOUBLE TOP PLATE
 2X4 WOOD STUDS 16" O.C.
 1/2" GYPSUM DRYWALL GREEN BOARD AT BATH SIDE ONE SIDE
 1/2" CEMENTITIOUS BACKER BOARD
 1/4" MORTAR BED
 1/4" CERAMIC OR STONE TILE
 MEMBRANE AS REQUIRED PER AMERICAN NATIONAL SPECIFICATIONS FOR THE INSTALLATION OF CERAMIC TILE (ANSI A108A18A136 1.2017)
 2X4 BOTTOM PLATE
- 1B WALL TYPE 1B. NTS**
 2X4 DOUBLE TOP PLATE
 2X4 WOOD STUDS 16" O.C.
 SOUND ATTENUATION BLANKETS
 1/2" GYPSUM DRYWALL GREEN BOARD AT BATH SIDE
 2X4 BOTTOM PLATE
- 1C WALL TYPE 1C. NTS**
 2X4 DOUBLE TOP PLATE
 2X4 WOOD STUDS 16" O.C.
 SOUND ATTENUATION BLANKETS
 1/2" GYPSUM DRYWALL GREEN BOARD AT BATH SIDE
 2X4 BOTTOM PLATE
- 1D WALL TYPE 1D. NTS**
 2X6 DOUBLE TOP PLATE
 2X6 WOOD STUDS 16" O.C.
 SOUND ATTENUATION BLANKETS
 1/2" GYPSUM DRYWALL GREEN BOARD EACH SIDE
 2X6 BOTTOM PLATE
- 1E WALL TYPE 1E. NTS**
 2X4 DOUBLE TOP PLATE
 2X4 WOOD STUDS 16" O.C.
 1/2" GYPSUM DRYWALL GREEN BOARD
 1/4" MORTAR BED
 3/4" GRANITE
 2X4 BOTTOM PLATE
- 2 WALL TYPE 2. NTS**
 2X6 DOUBLE TOP PLATE
 2X6 WOOD STUDS 16" O.C.
 SOUND ATTENUATION BLANKETS
 1/2" GYPSUM DRYWALL OR GREEN BOARD AT BATH SIDE
- 2B WALL TYPE 2B. NTS**
 2X6 DOUBLE TOP PLATE
 2X6 WOOD STUDS 16" O.C.
 SOUND ATTENUATION BLANKETS
 1/2" GYPSUM DRYWALL OR GREEN BOARD AT BATH SIDE
 1/4" MORTAR BED
 1/4" CERAMIC OR STONE TILE
 MEMBRANE AS REQUIRED PER AMERICAN NATIONAL SPECIFICATIONS FOR THE INSTALLATION OF CERAMIC TILE (ANSI A108A18A136 1.2017)
 2X6 BOTTOM PLATE
- 3 WALL TYPE 3. NTS**
 2X6 DOUBLE TOP PLATE
 FIBER CEMENT LAP SIDING (RAINSCREEN SYSTEM)
 INSECT SCREEN (BLACK)
 1/4" TREATED VERTICAL FURRING STRIPS 16" O.C.
 U.V. RESISTANT SELF-ADHERED ICE & WATER SHIELD (ENTIRE WALL)
 1/2" CDX PLYWOOD EXTERIOR SHEATHING
 2X6 WOOD STUDS 16" O.C.
 2X6 WOOD BLOCKING AS REQUIRED
 CLOSED CELL SPRAYED FOAM INSULATION (R18MIN.)
 1/2" GYPSUM DRYWALL BOARD
 2X6 BOTTOM PLATE
- 4 WALL TYPE 4. NTS**
 2X6 DOUBLE TOP PLATE
 STANDING SEAM METAL (RAINSCREEN SYSTEM) (OUTSIDE)
 1/4" (X3) FIBER CEMENT PANELS (RAINSCREEN SYSTEM) (INSIDE)
 1/4" TREATED VERTICAL FURRING STRIPS 16" O.C.
 U.V. RESISTANT SELF-ADHERED ICE & WATER SHIELD (ENTIRE WALL)
 1/2" CDX PLYWOOD EXTERIOR SHEATHING
 2X6 WOOD STUDS 16" O.C.
 2X6 WOOD BLOCKING AS REQUIRED
 CLOSED CELL SPRAYED FOAM INSULATION (R18MIN.)
 1/2" GYPSUM DRYWALL BOARD
 2X6 BOTTOM PLATE
- 5 WALL TYPE 5. NTS**
 2X6 DOUBLE TOP PLATE
 STANDING SEAM METAL (RAINSCREEN SYSTEM) (OUTSIDE)
 1/4" TREATED VERTICAL FURRING STRIPS 16" O.C.
 U.V. RESISTANT SELF-ADHERED ICE & WATER SHIELD (ENTIRE WALL)
 1/2" CDX PLYWOOD EXTERIOR SHEATHING
 2X6 WOOD STUDS 16" O.C.
 2X6 WOOD BLOCKING AS REQUIRED
 CLOSED CELL SPRAYED FOAM INSULATION (R18MIN.)
 1/2" GYPSUM DRYWALL BOARD
 2X6 BOTTOM PLATE



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PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

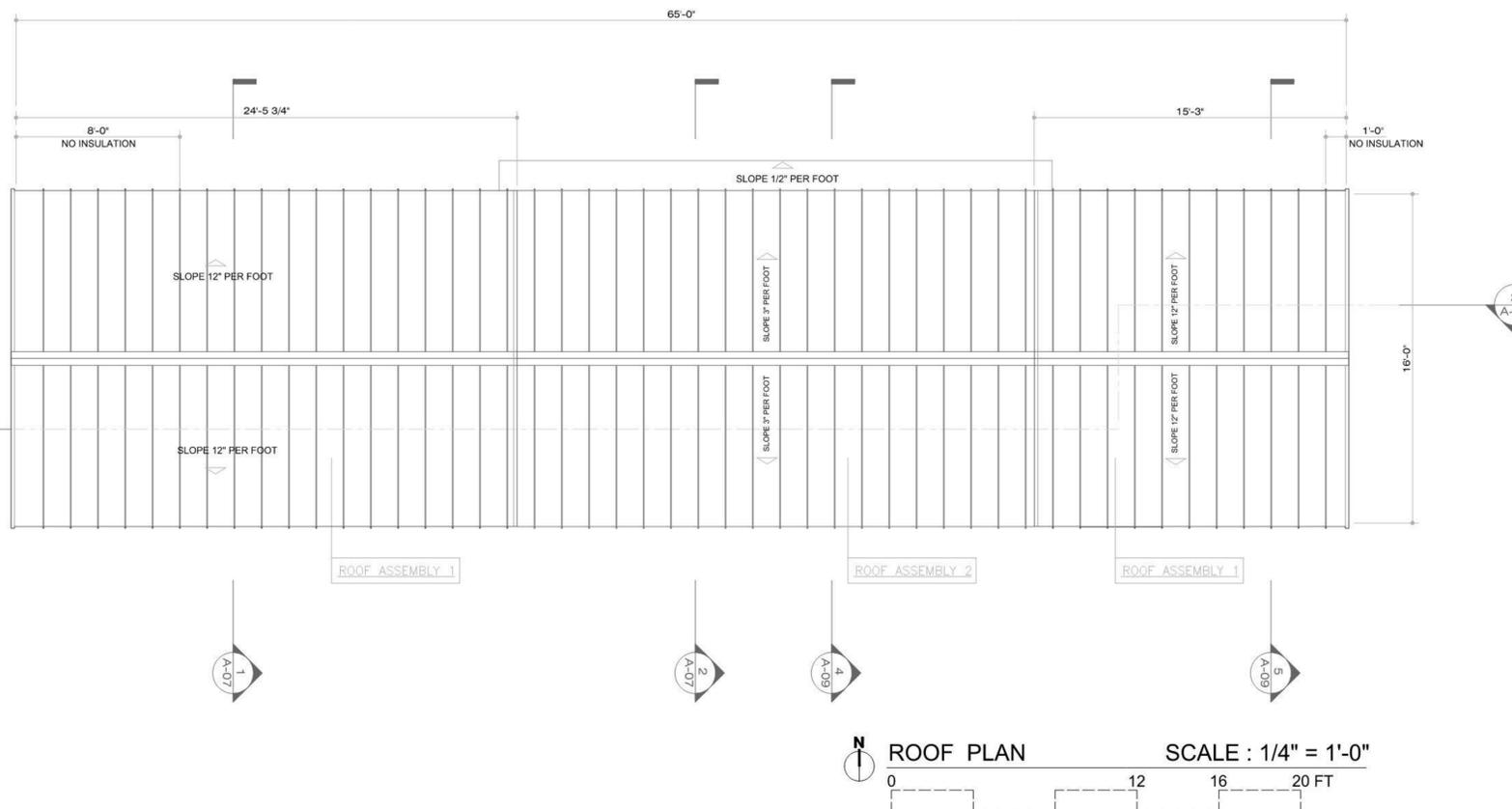
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 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



DRAWING NAME:
FLOOR PLANS

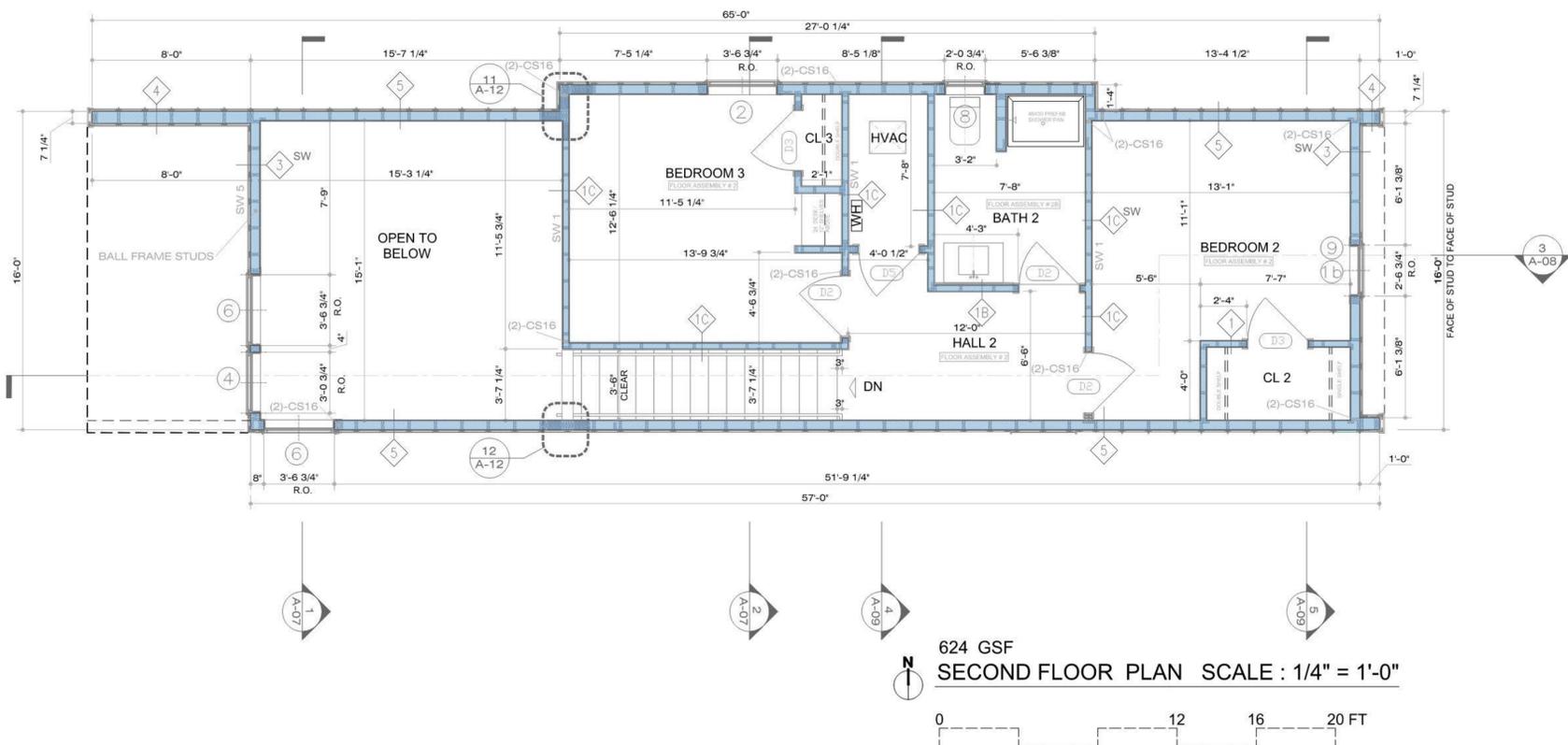
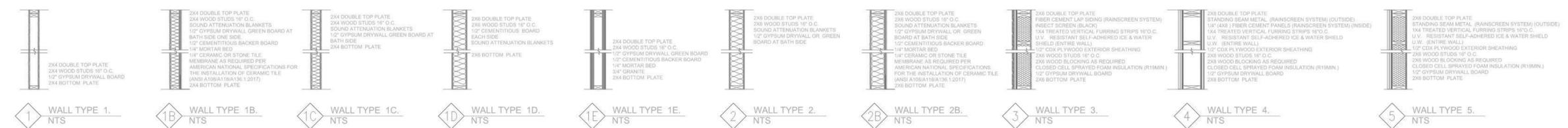
A-02
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ROOF ASSEMBLY # 1
 STANDING SEAM METAL ROOF
 1/4" TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 ML SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF
 3/4" PLYWOOD ROOF DECKING WITH H CLIPS
 2X6 RAFTERS 16" O.C. 3-1/2 PITCH
 CLOSED CELL SPRAYED FOAM INSULATION (R 38MIN.)
 GALVANIZED STEEL HURRICANE STRAPS
 PROVIDE FLASHING AND ACCESSORIES AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. (NO INSULATION PASSED EXTERIOR WALLS)

ROOF ASSEMBLY # 2
 STANDING SEAM METAL ROOF
 1/4" TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 ML SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF
 3/4" PLYWOOD ROOF DECKING WITH H CLIPS
 2X6 RAFTERS 16" O.C. 3-1/2 PITCH (2X4 STRUTS AND WEB AS REQUIRED)
 CLOSED CELL SPRAYED FOAM INSULATION (R 38MIN.)
 GALVANIZED STEEL HURRICANE STRAPS
 PROVIDE FLASHING AND ACCESSORIES AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. (NO INSULATION PASSED EXTERIOR WALLS)



FLOOR ASSEMBLY # 1
 1/4" TERLING OAK 8 1/2 IN. W X 47 8 IN. L LUXURY VINYL PLANK FLOORING
 3/4" T&G SHEATHING PLYWOOD
 2X12 GREEN PRESSURE TREATED JOISTS 16" O.C.
 HANGERS AS REQUIRED
 CLOSED CELL SPRAYED FOAM INSULATION (R 38MIN.)

FLOOR ASSEMBLY # 1B
 CERAMIC TILE
 MORTAR BED
 1/2" CEMENTITIOUS BACKER BOARD
 30 ML MEMBRANE
 1/2" PLYWOOD SUB FLOOR
 2X12 GREEN PRESSURE TREATED JOISTS 16" O.C.
 HANGERS AS REQUIRED
 CLOSED CELL SPRAYED FOAM INSULATION (R 38MIN.)

FLOOR ASSEMBLY # 1C
 5/8 IN. X 6 IN. X 16 FT. STANDARD GROUND CONTACT PRESSURE-TREATED PINE DECKING BOARD
 2X12 GREEN PRESSURE TREATED JOISTS 16" O.C.
 HANGERS AS REQUIRED

FLOOR ASSEMBLY # 2
 CARPET
 CARPET PAD
 3/4" PLYWOOD SUB FLOOR
 16" CUSTOM PREFABRICATED WOOD TRUSSES 16" O.C.
 HANGERS AS REQUIRED

FLOOR ASSEMBLY # 2B
 CERAMIC TILE
 1/2" CEMENTITIOUS BACKER BOARD
 MORTAR BED
 MEMBRANE AS REQUIRED PER AMERICAN NATIONAL SPECIFICATIONS FOR THE INSTALLATION OF CERAMIC TILE (ANSI A108A118A136 1.2017)
 1/2" PLYWOOD SUB FLOOR
 16" CUSTOM PREFABRICATED WOOD TRUSSES 16" O.C.
 TRUSSES HANGERS AS REQUIRED

624 GSF
SECOND FLOOR PLAN SCALE : 1/4" = 1'-0"
 0 12 16 20 FT

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ELEVATION MATERIAL KEY

1	STANDING SEAM METAL PANELS - 16W PANELS SL150-16" PANEL X 24 GAUGE - SMOOTH (MEC)
2	FIBER CEMENT SIDING - WOOD TONE LAP SIDING - ALLURA (RAIN SCREEN SYSTEM) COLOR: MIXED ASPEN RIDGE 70% + RIVER ROCK 30% - 4" EXPOSURE
3	HARDIESOFFIT PANEL SMOOTH.25"x24"x48"
4	CLERESTORY WINDOW - 18" X 28"
5	METAL CAP TO MATCH STANDING SEAM METAL
6	1/2" (ONE COAT) STUCCO PARING (EXTERIOR PLASTER)
7	METAL - RIDGE/ Z ANGLE - TO MATCH
8	LIGHT FIXTURE (WP - EXTERIOR)
9	.75" X 2.5"-HARDITRIM SMOOTH BATTEN BOARDS
10	SLOPE 5% MIN AWAY FROM BUILDING
11	.75" X 11.25" - HARDITRIM BOARD 4/4 SMOOTH
12	FRESH AIR VENT
13	DRYER VENT / EXHAUST VENT
14	CONCRETE LANDING SEE FLOOR PLAN
15	1.5"SQ. GALV. METAL GUARD RAILING.HORIZONTAL CABLE 3"O.G. SEE IRC CODE R312.1.3

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

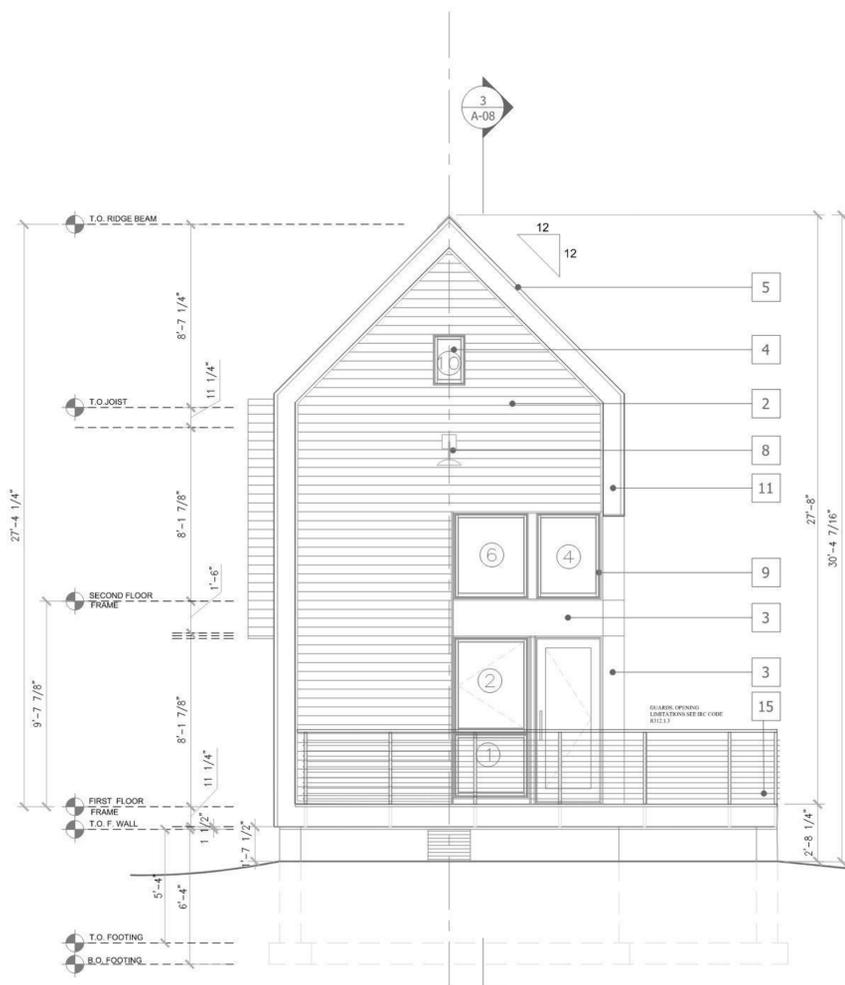
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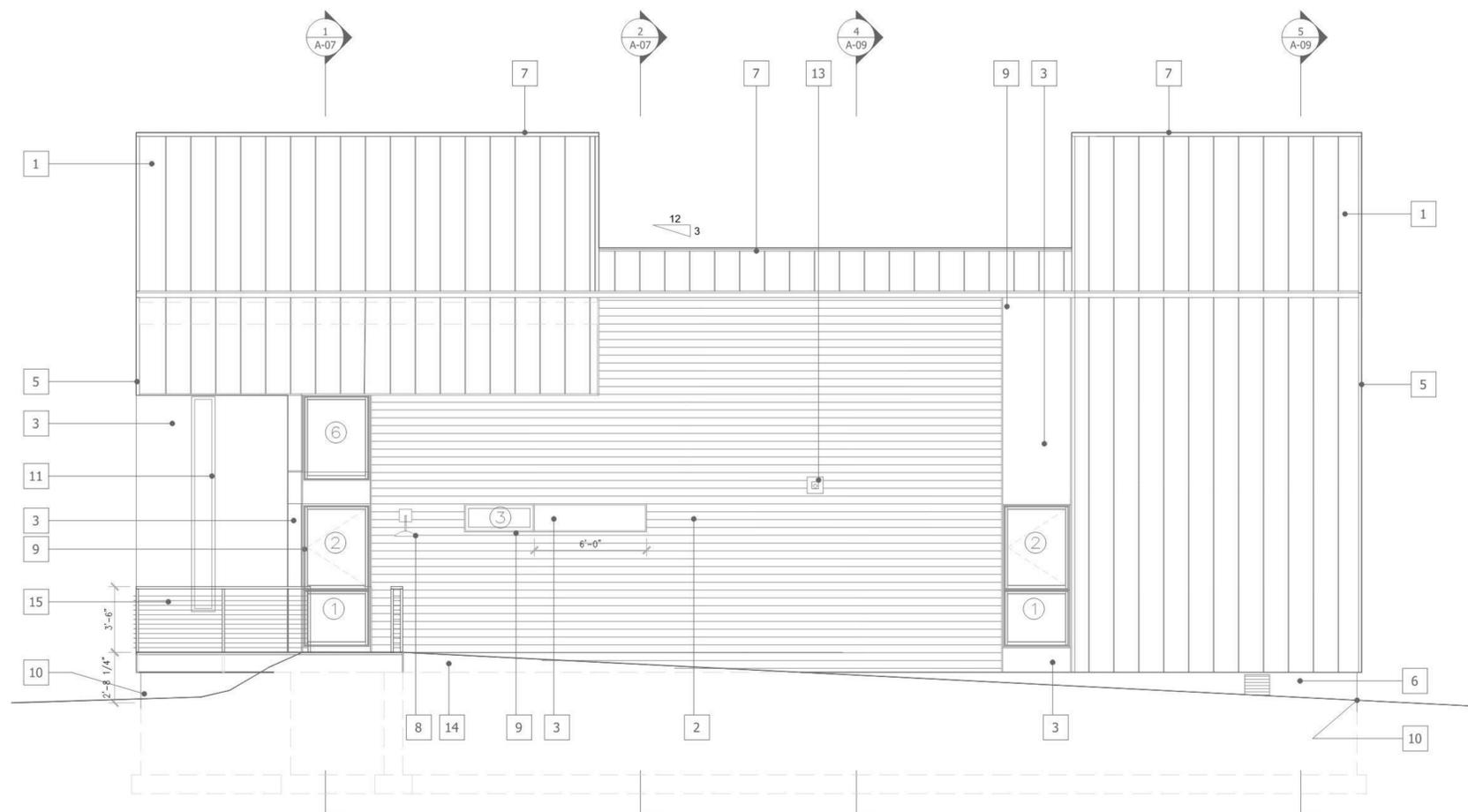
DRAWING NAME:
ELEVATIONS

A-03
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WEST ELEVATION



SOUTH ELEVATION



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3	HARDIESOFFIT PANEL SMOOTH, 25"X24"X48"
4	CLERESTORY WINDOW - 18" X 28"
5	METAL CAP TO MATCH STANDING SEAM METAL
6	1/2" (ONE COAT) STUCCO PARING (EXTERIOR PLASTER)
7	METAL - RIDGE/ Z ANGLE - TO MATCH
8	LIGHT FIXTURE (WP - EXTERIOR)
9	.75" X 2.5" - HARDI TRIM SMOOTH BATTEN BOARDS
10	SLOPE 5% MIN AWAY FROM BUILDING
11	.75" X 11.25" - HARDI TRIM BOARD 4/4 SMOOTH
12	FRESH AIR VENT
13	DRYER VENT / EXHAUST VENT
14	CONCRETE LANDING SEE FLOOR PLAN
15	1.5"50. GALV. METAL GUARD RAILING, HORIZONTAL CABLE 3"O.C. SEE IRC CODE R312.1.3

PROJECT NAME:
4X4 ALL TERRAIN
SINGLE FAMILY RESIDENCE

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Houston, Texas 77009

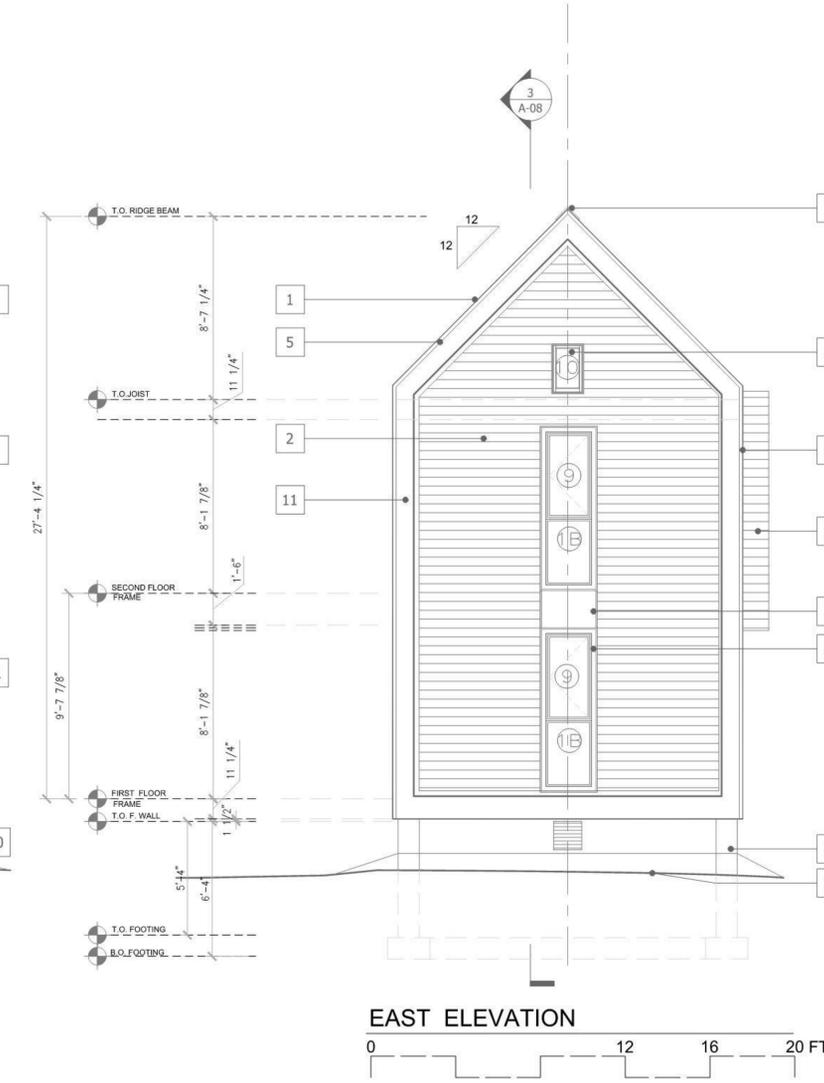
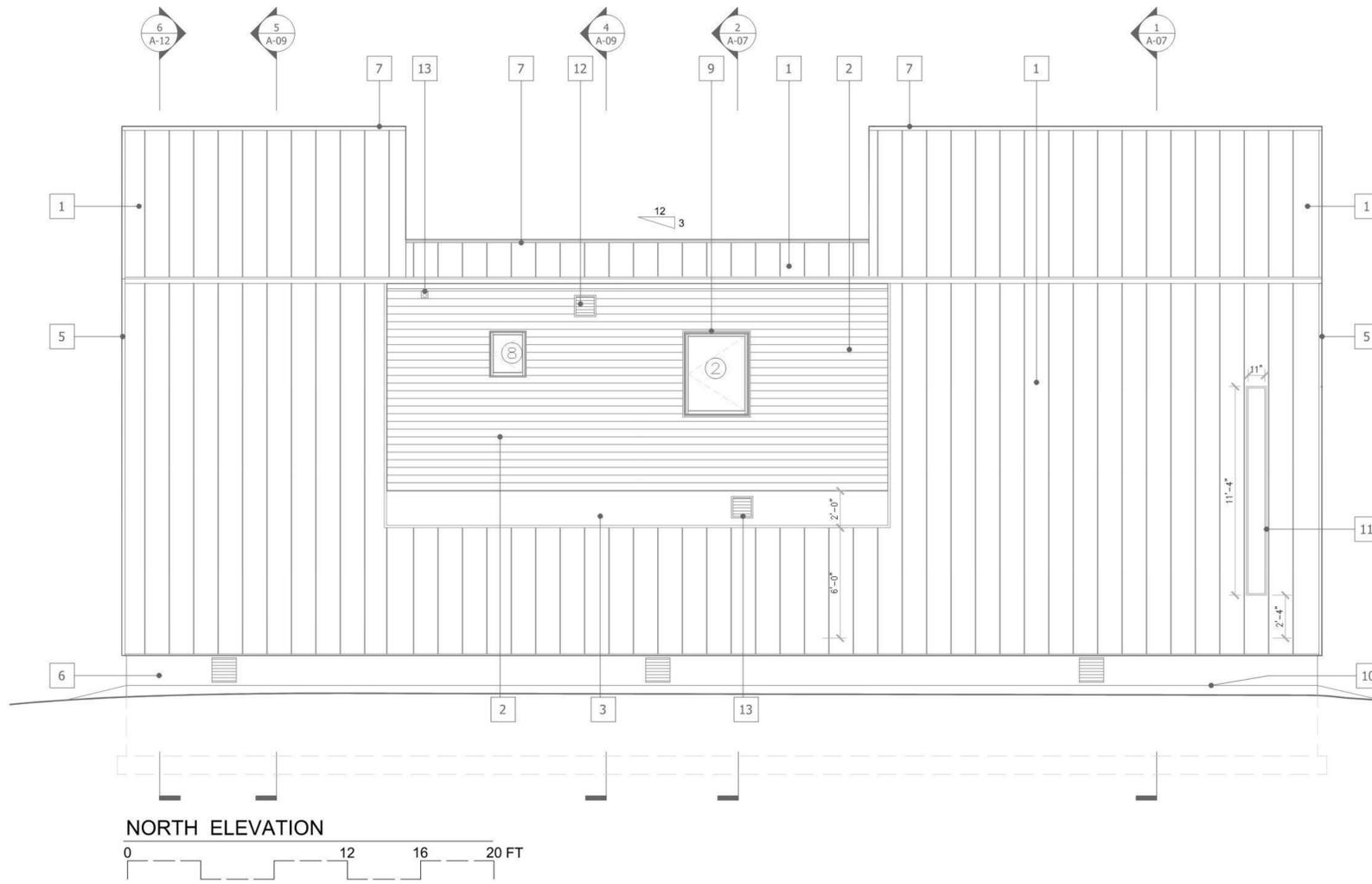
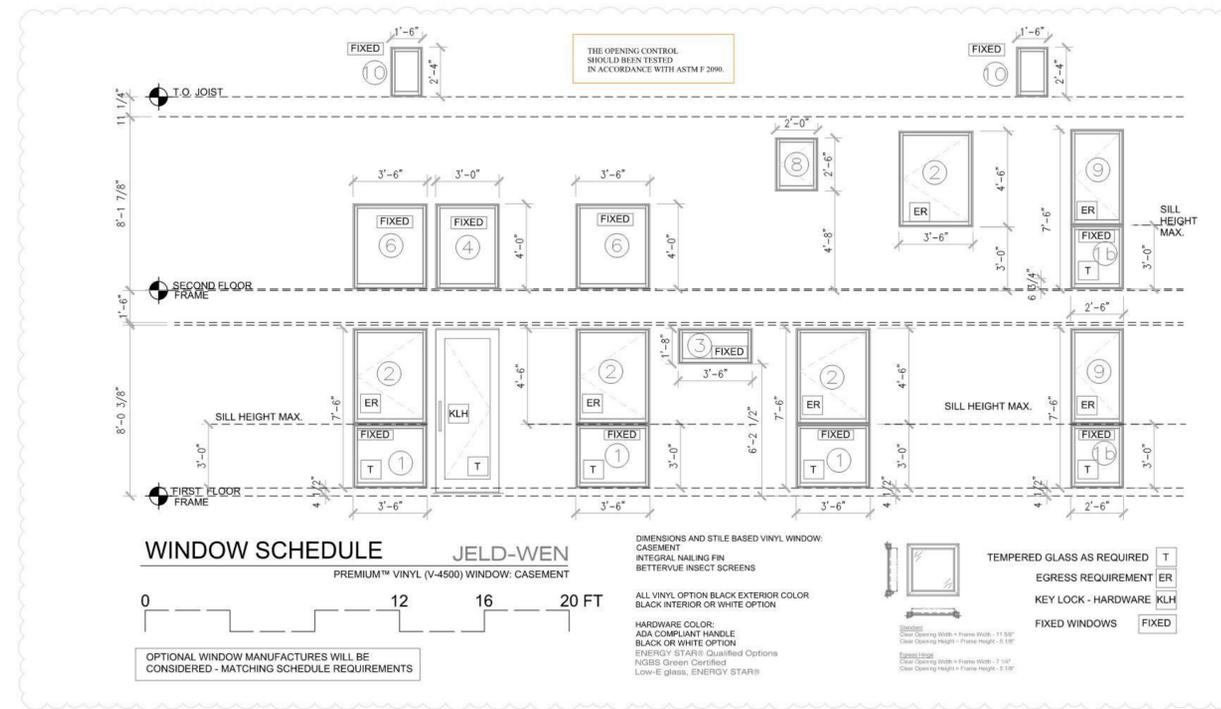
OWNER:
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 4600 ROBERTSON STREET
 Houston, Texas 77009

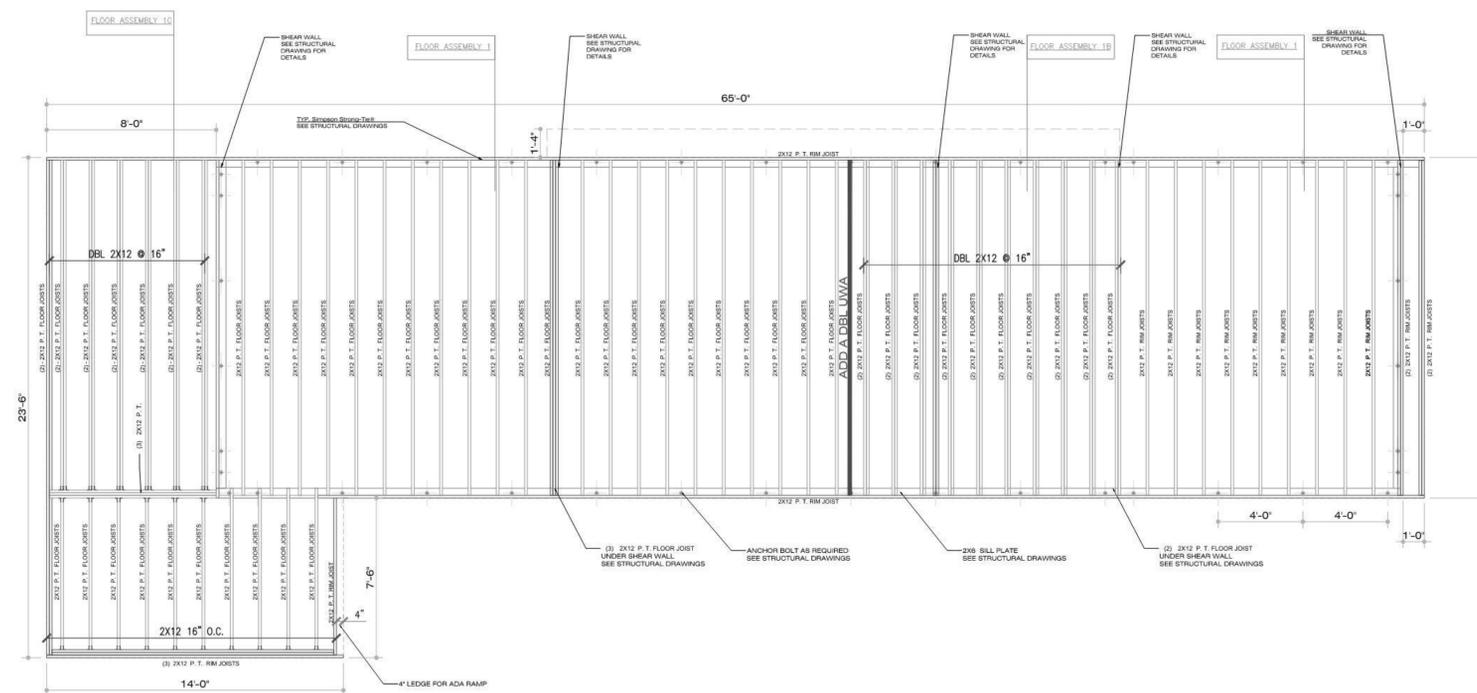
OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



DRAWING NAME:
FRAMING PLANS

A-05
 SHEET

DATE: 11.20.2021



FIRST FLOOR PLAN SCALE : 1/4" = 1'-0"
FLOOR FRAMING
 0 12 16 20 FT

NICOLAS CASABANO

ARCHITECT, AIA
 14520 Briar Forrest Drive #2308
 Houston, Texas 77077
 ARQUITECTURA3000@ATT.NET



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REVISION:
 SET DATED : 11.20.2021
 SET DATED : 09.27.2021
 SET DATED : 08.23.2021
 SET DATED : 06.06.2021
 SET DATED : 04.04.2021
 VALUE ENGINEERED SET
 SET DATED : 03.15.2021
 REVISED : 01.22.2022

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

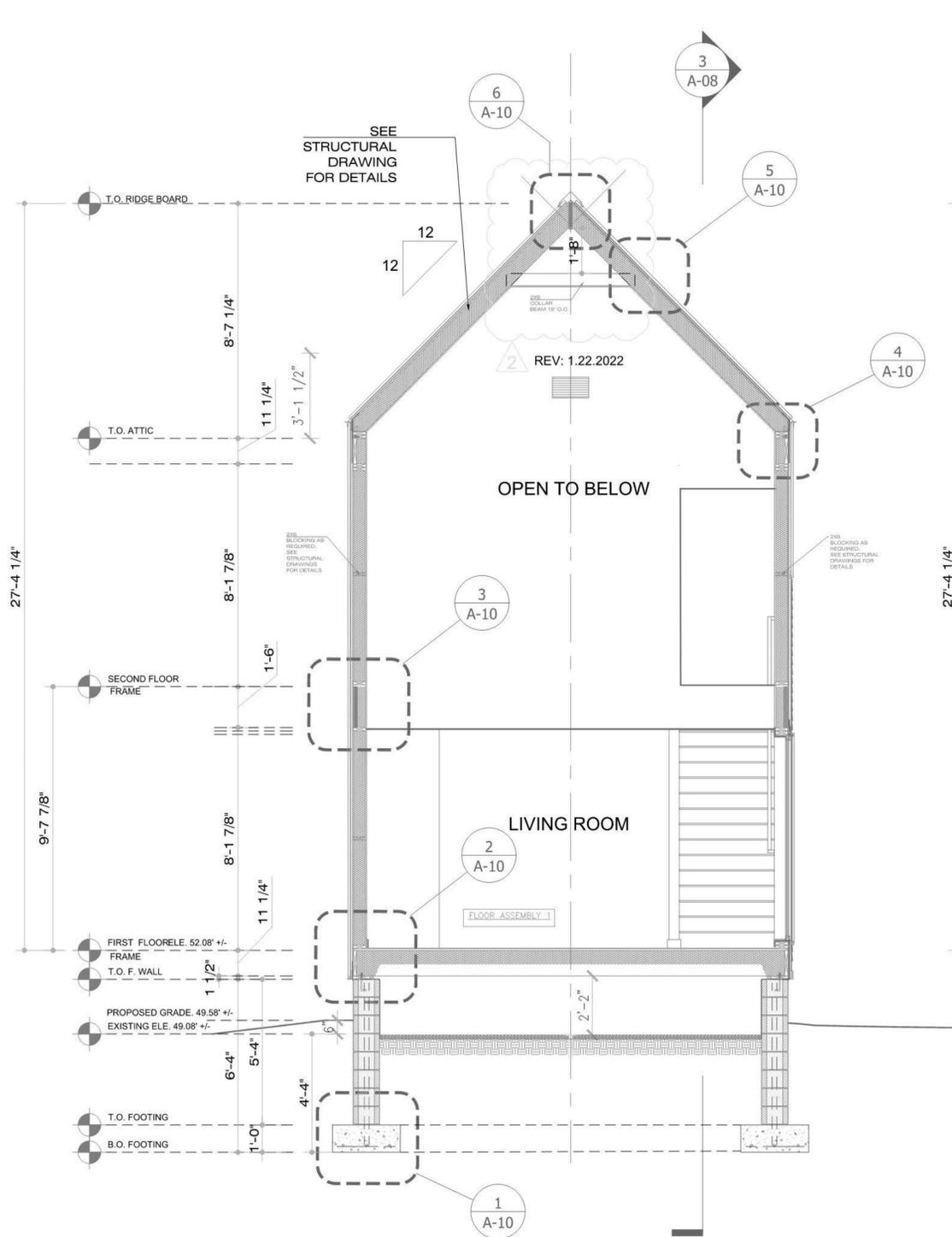
OWNER:
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 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



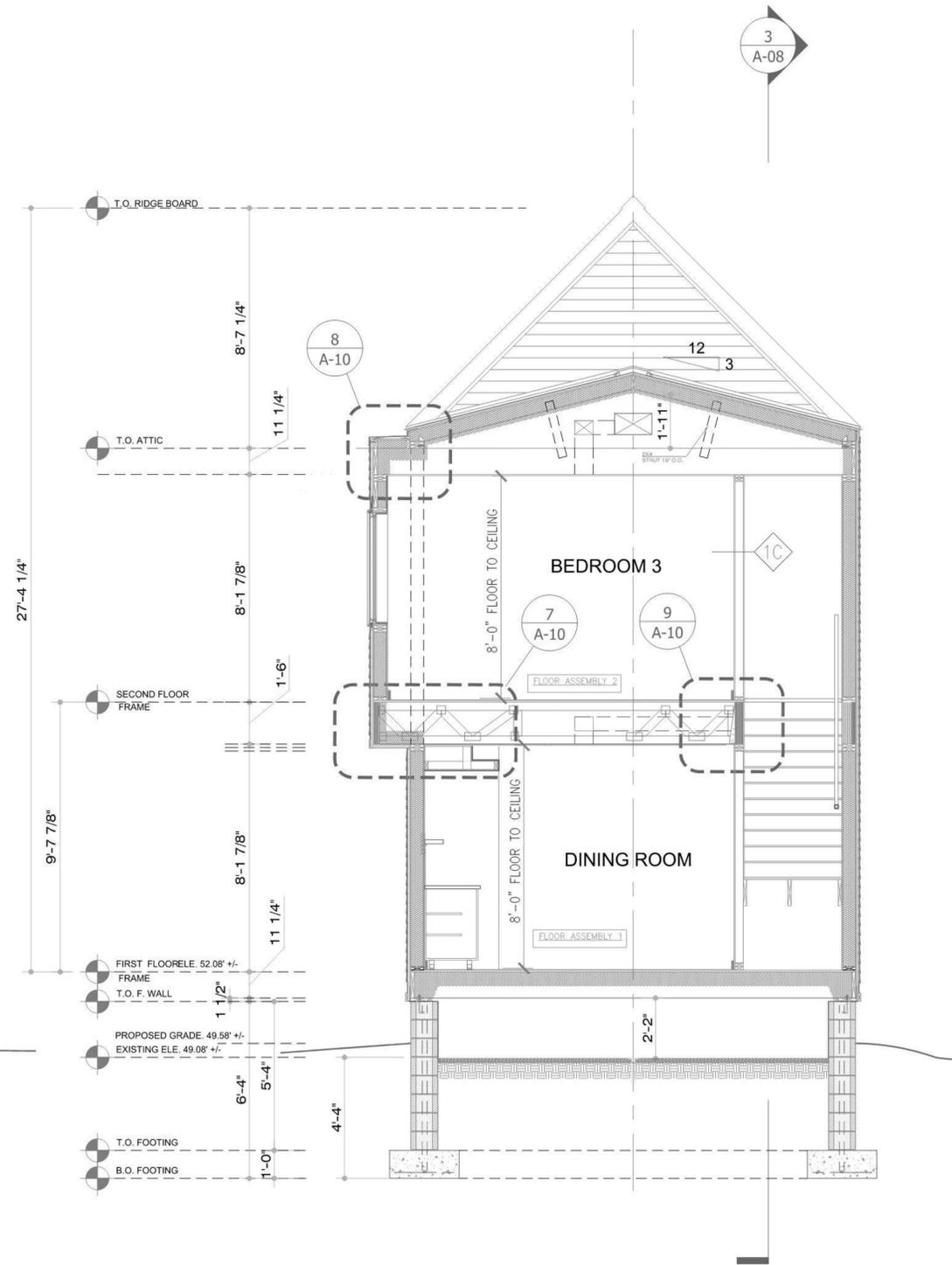
DRAWING NAME:
SECTIONS

A-07
 SHEET

DATE: 11.20.2021



SECTION 1. SCALE : 3/8" = 1'-0"



SECTION 2. SCALE : 3/8" = 1'-0"



NICOLAS CASCABANO

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 14520 Briar Forrest Drive #2308
 Houston, Texas 77077
 ARQUITECTURA3000@ATT.NET



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 SET DATED :06.06.2021
 SET DATED :04.04.2021
 VALUE ENGINEERED SET
 SET DATED :03.15.2021
 REVISED : 01.22.2022

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

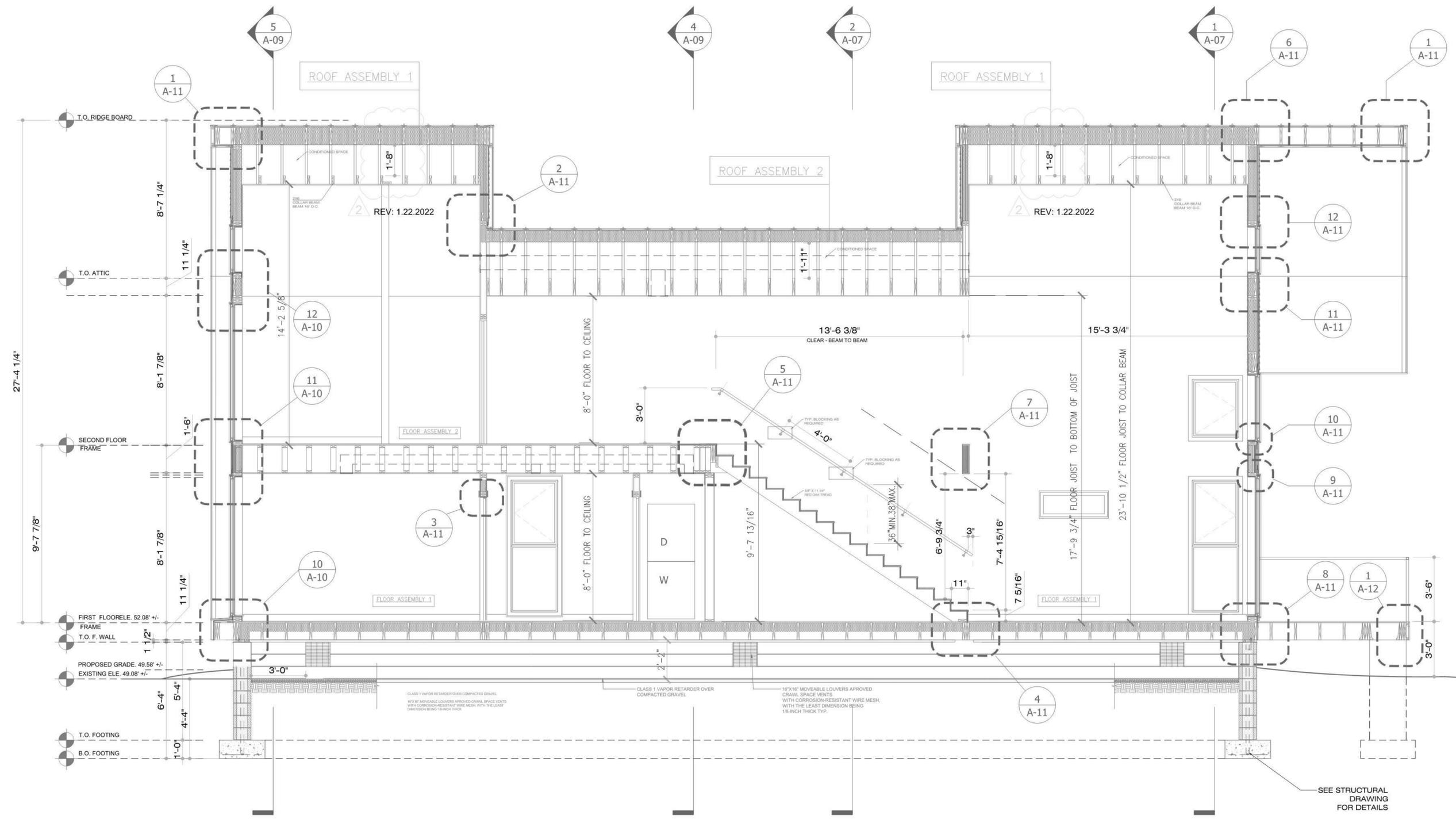
OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



DRAWING NAME:
SECTIONS

A-08
 SHEET

DATE: 11.20.2021



SECTION 3. SCALE : 3/8" = 1'-0"
 0 12 16 20 FT

SEE STRUCTURAL
 DRAWING
 FOR DETAILS

NICOLAS CASABANO

ARCHITECT, AIA
 14520 Briar Forrest Drive #2308
 Houston, Texas 77077
 ARQUITECTURA3000@ATT.NET



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REVISION:
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 SET DATED :06.06.2021
 SET DATED :04.04.2021
 VALUE ENGINEERED SET
 SET DATED :03.15.2021
 REVISED : 01.22.2022

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

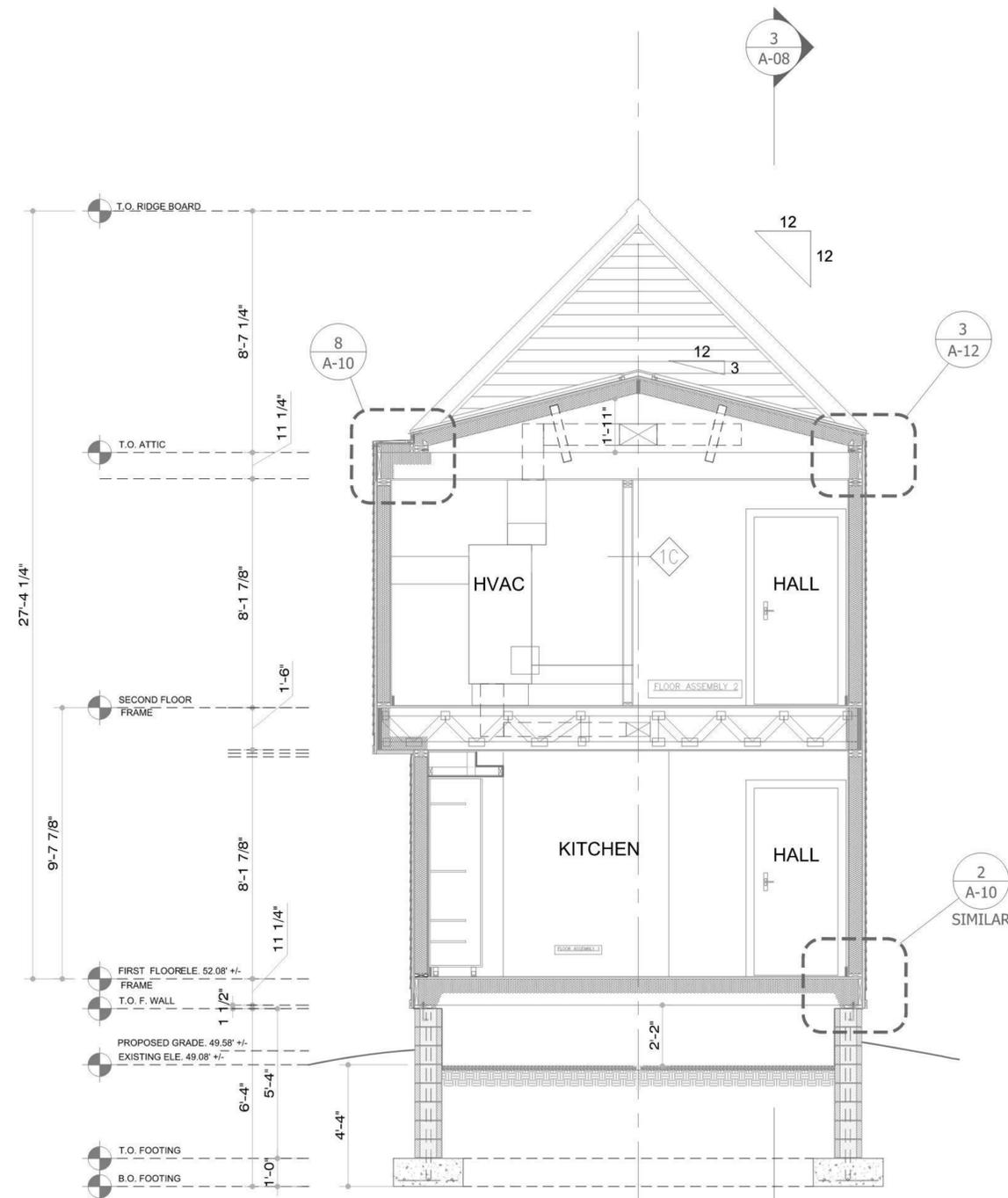
OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



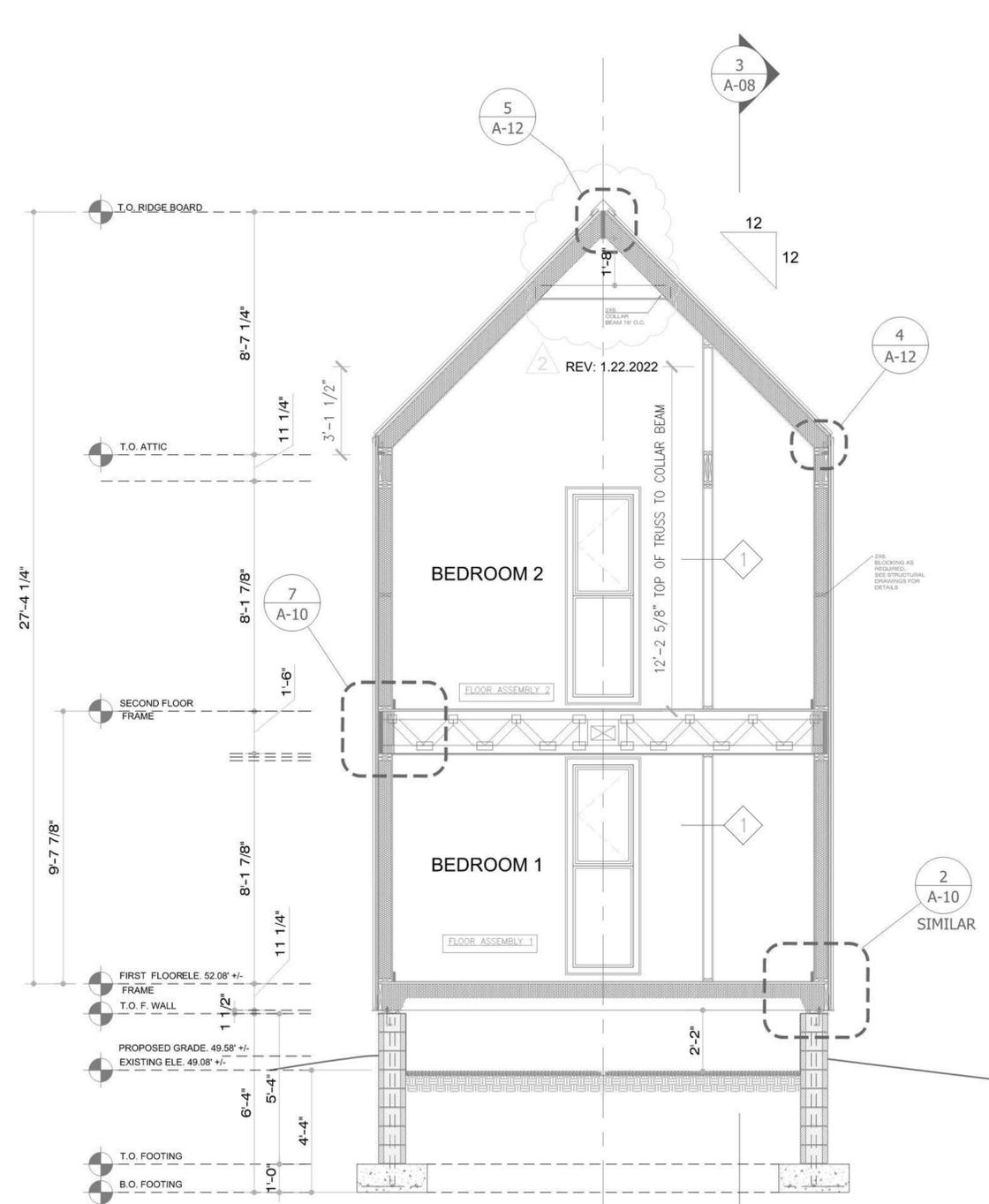
DRAWING NAME:
SECTIONS

A-09
 SHEET

DATE: 11.20.2021

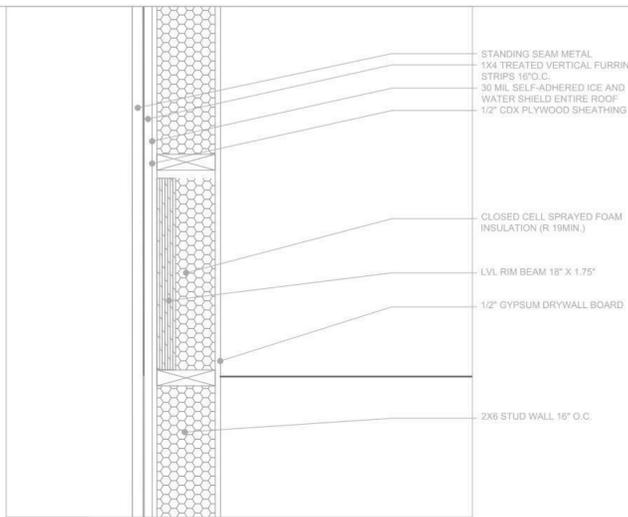


SECTION 4. SCALE : 3/8" = 1'-0"

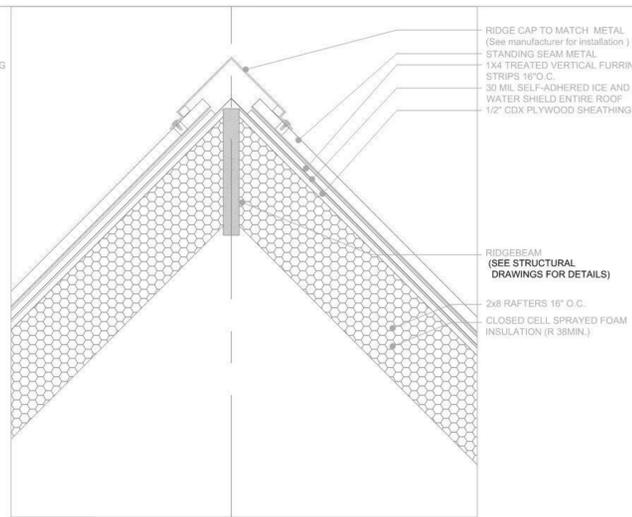


SECTION 5. SCALE : 3/8" = 1'-0"

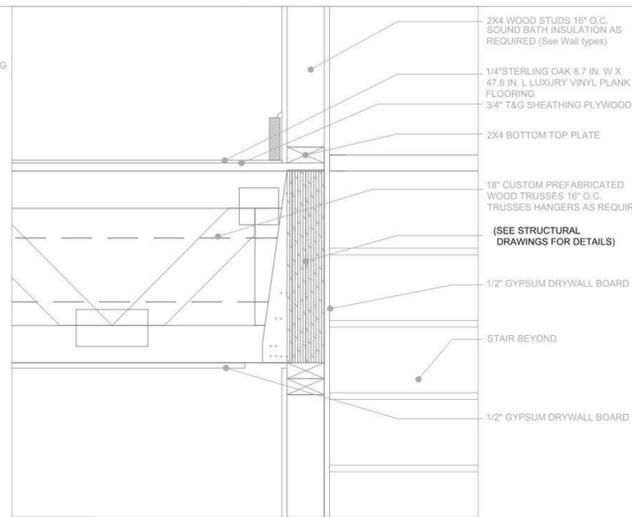




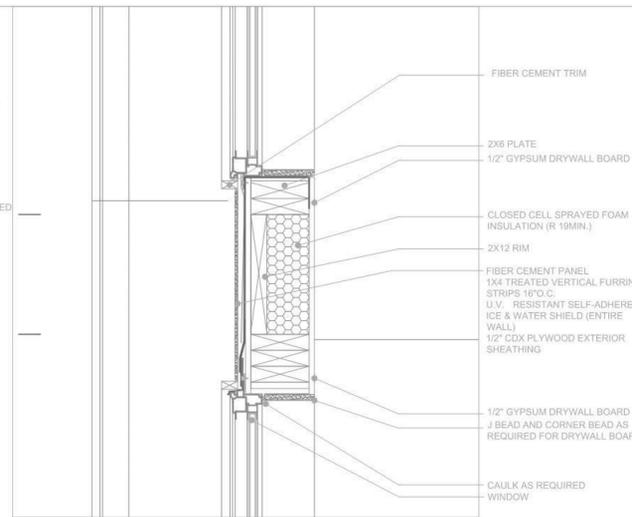
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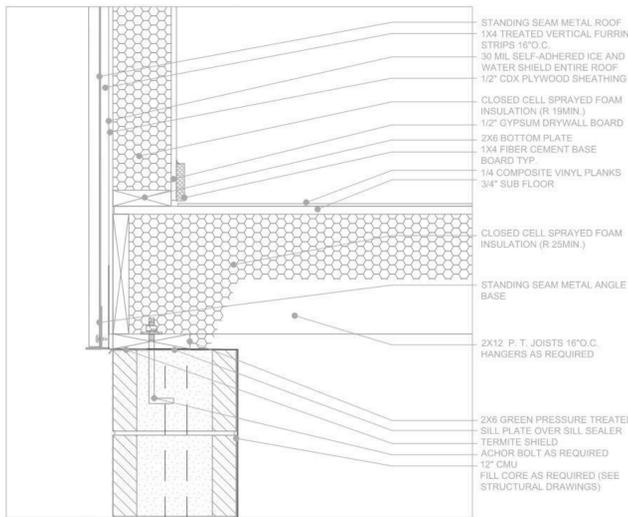
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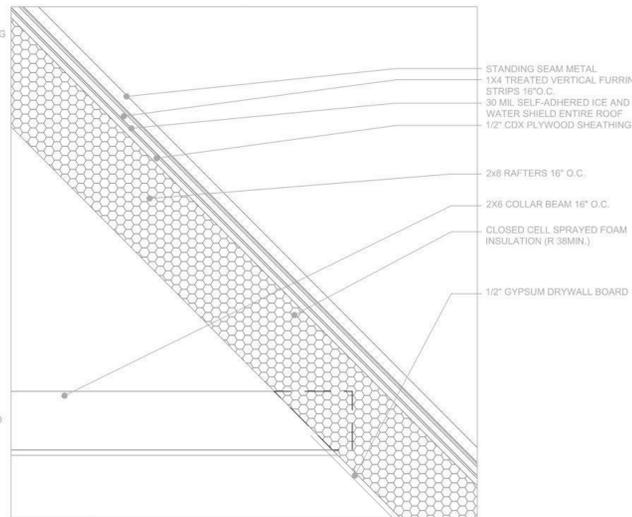
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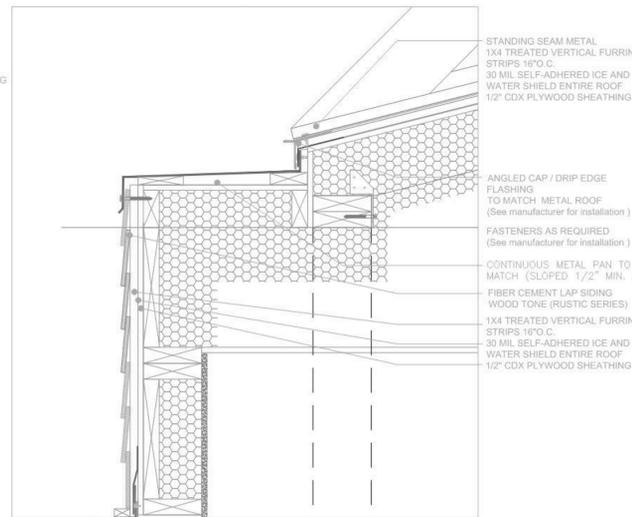
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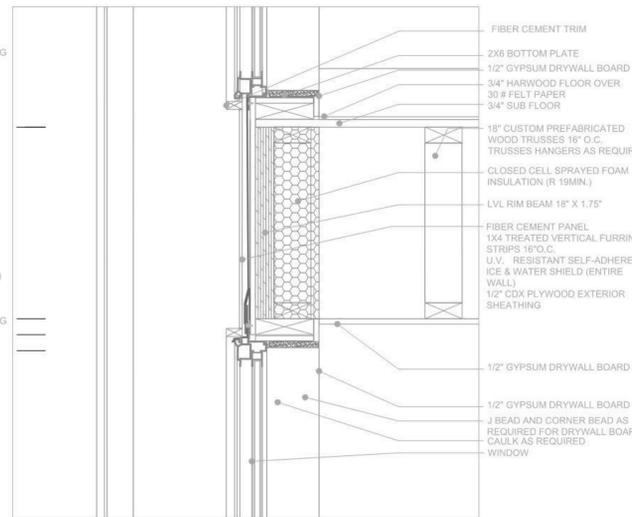
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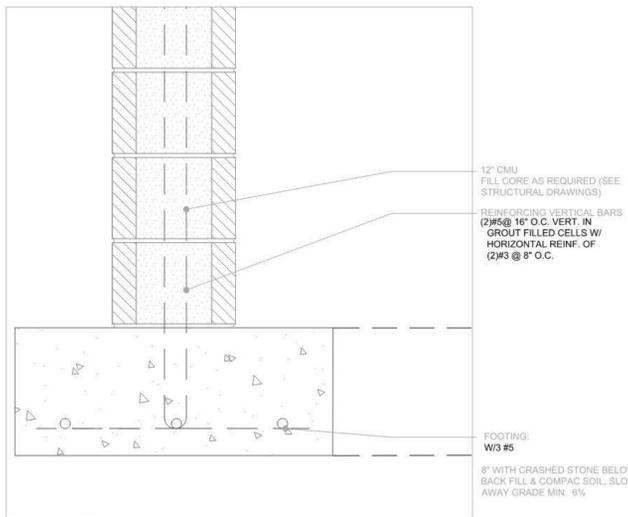
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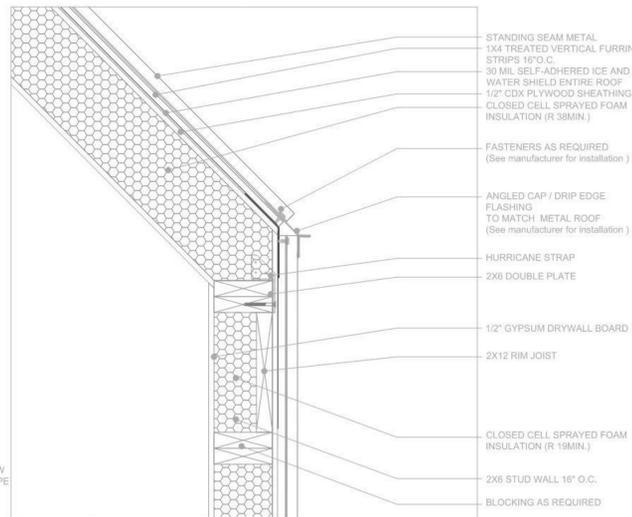
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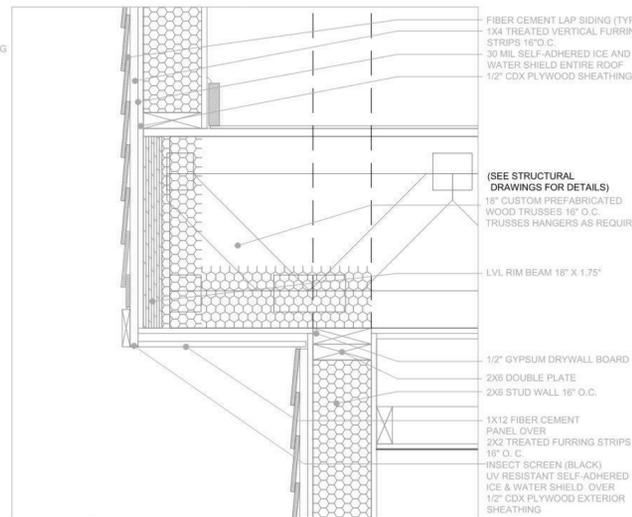
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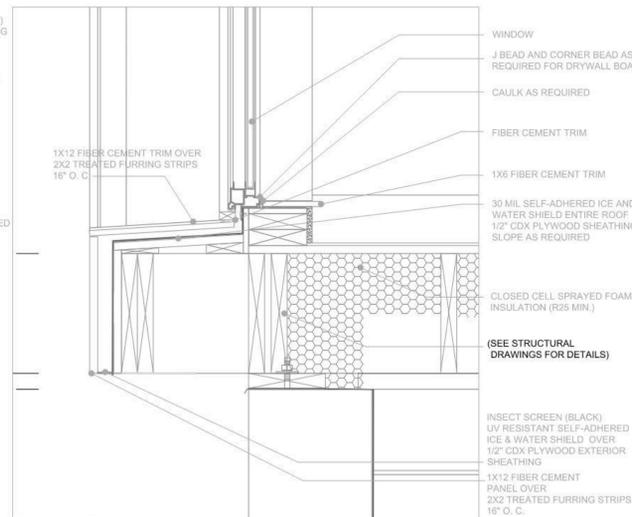
1



4



7



10

NICOLAS CASCARANO

ARCHITECT, AIA
 14520 Briar Forrest Drive #2308
 Houston, Texas 77077
 ARQUITECTURA3000@ATT.NET



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 SET DATED :04.04.2021
 VALUE ENGINEERED SET
 SET DATED :03.15.2021

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX 77002



DRAWING NAME:
DETAILS

A-10
 SHEET

DATE: 11.20.2021

NICOLAS CASCARANO

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 14520 Briar Forrest Drive #2308
 Houston, Texas 77077
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PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

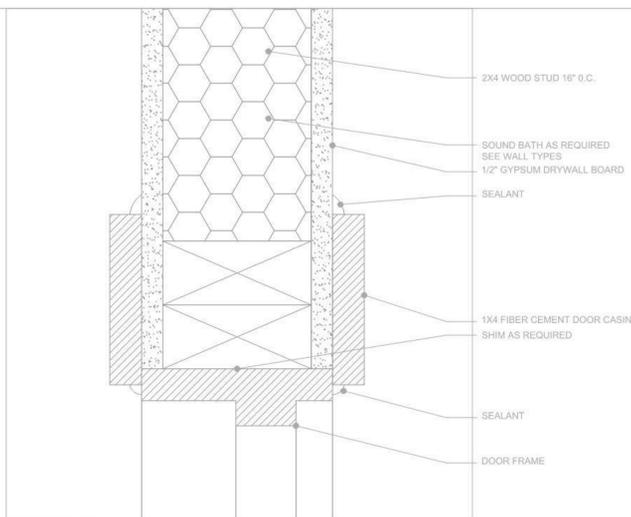
OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



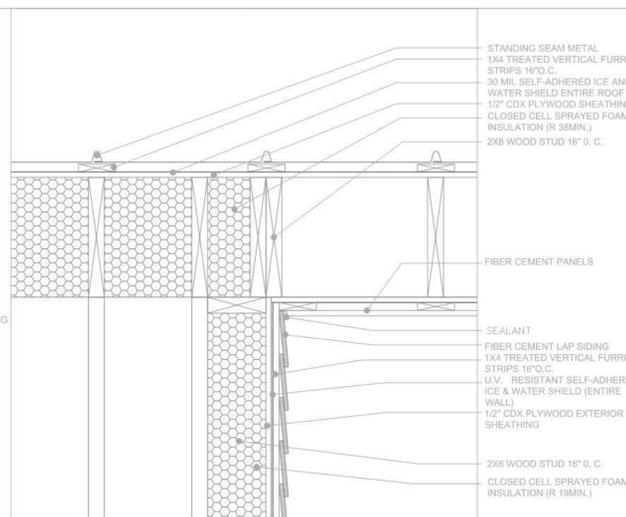
DRAWING NAME:
DETAILS

A-11
 SHEET

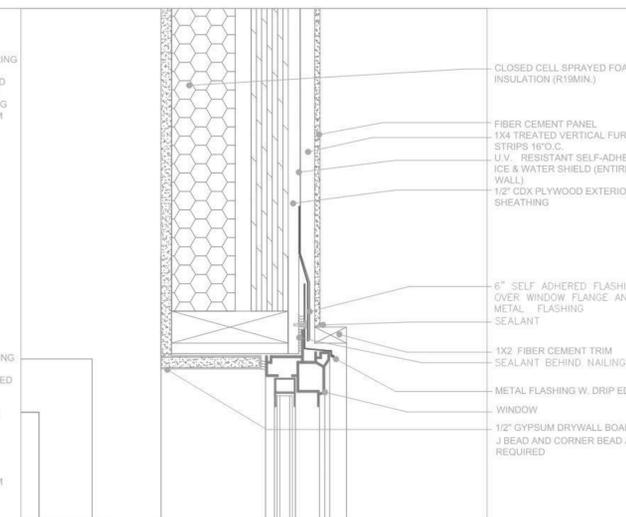
DATE: 11.20.2021



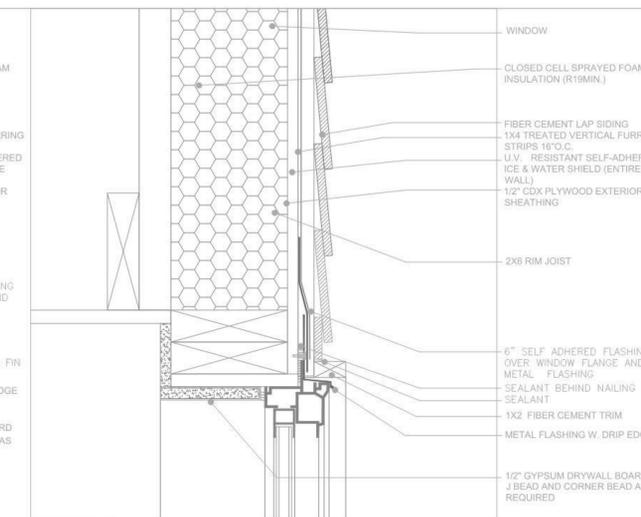
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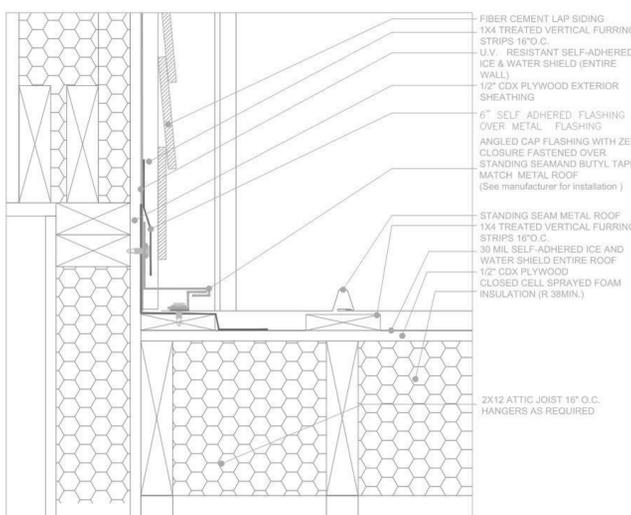
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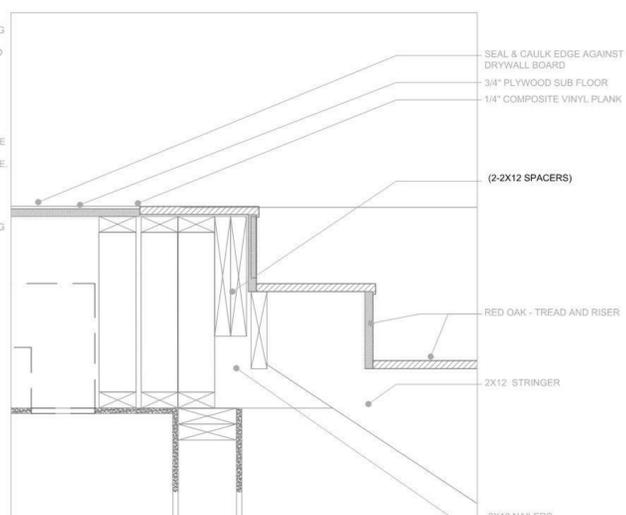
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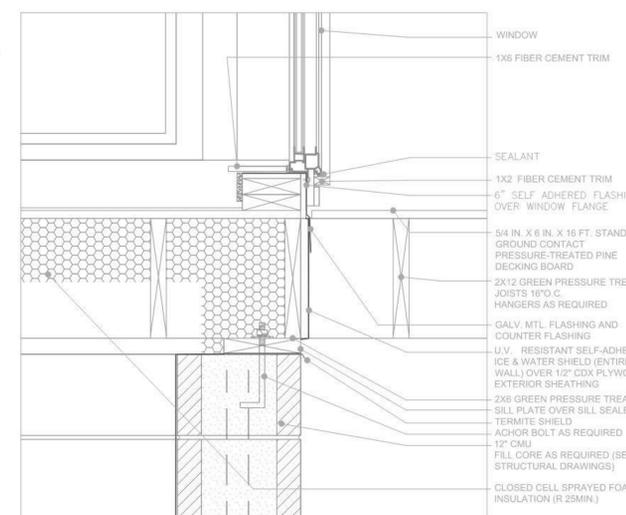
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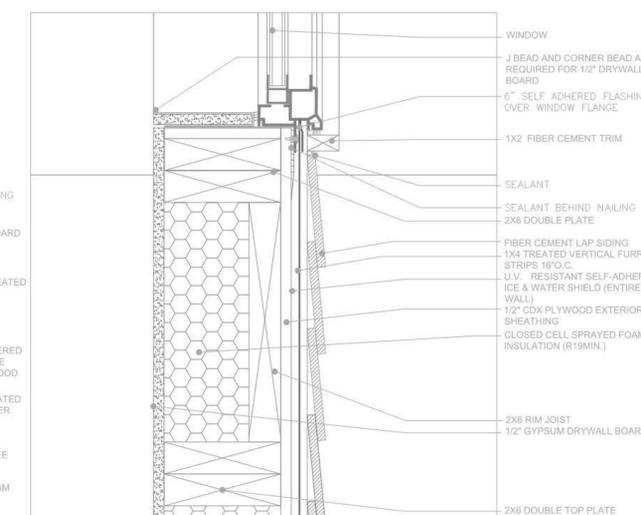
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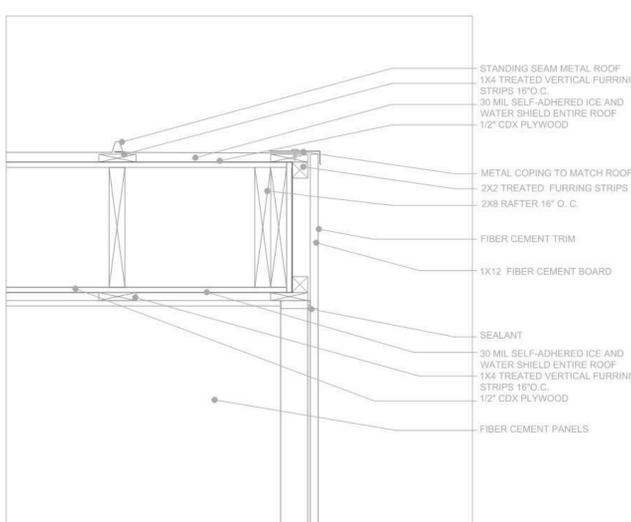
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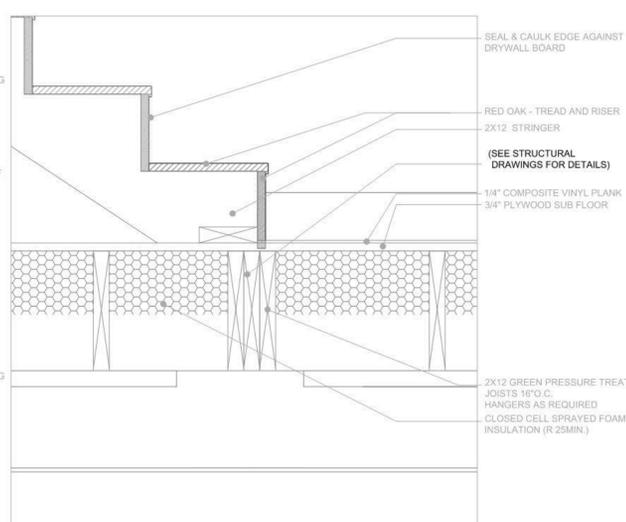
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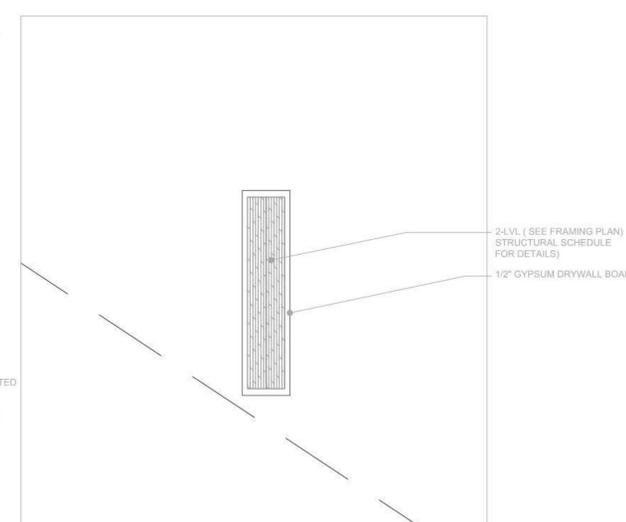
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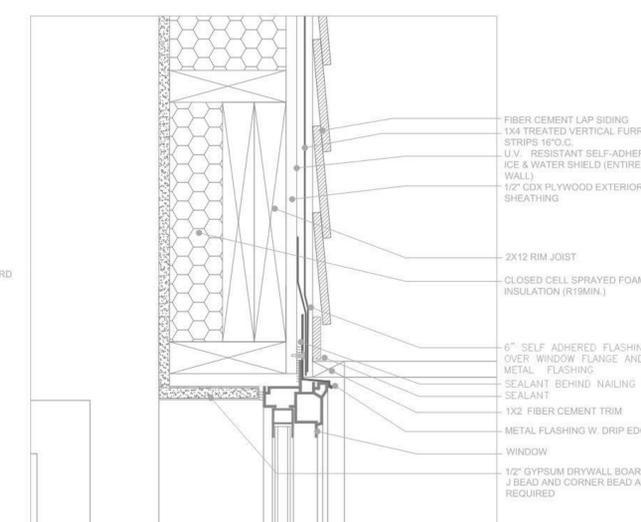
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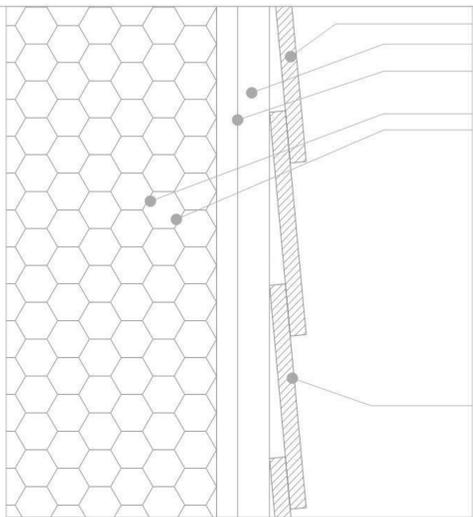
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7

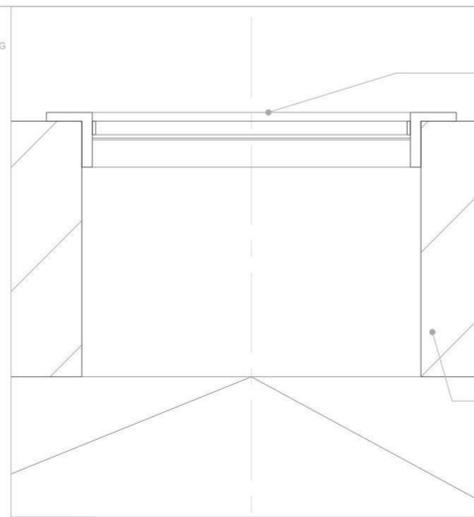


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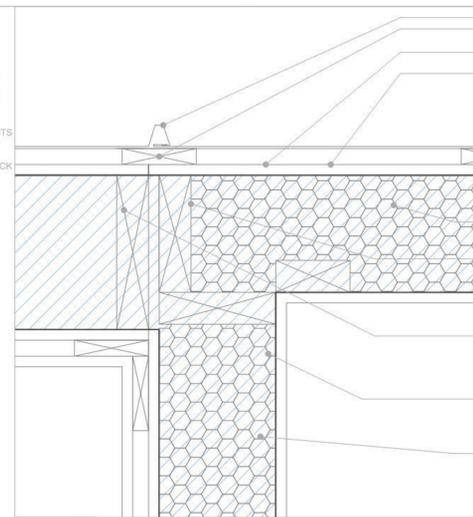
STANDING SEAM METAL
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 2X6 WOOD STUDS 16" O.C.
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)
 FIBER CEMENT LAP SIDING WOOD TONE (RUSTIC SERIES)

3



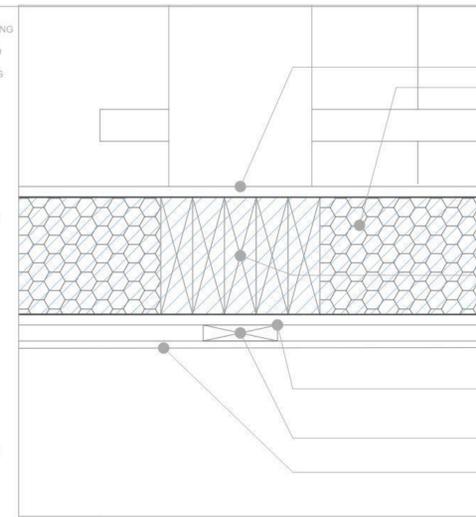
METAL CRAWL SPACE VENT W. SCREEN (See manufacturer for installation) 24"X24" ACCESS LOUVER AND 18"X18" MOVEABLE LOUVERS APPROVED CRAWL SPACE VENTS WITH CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION BEING 1/8-INCH THICK
 FOUNDATION WALL

6



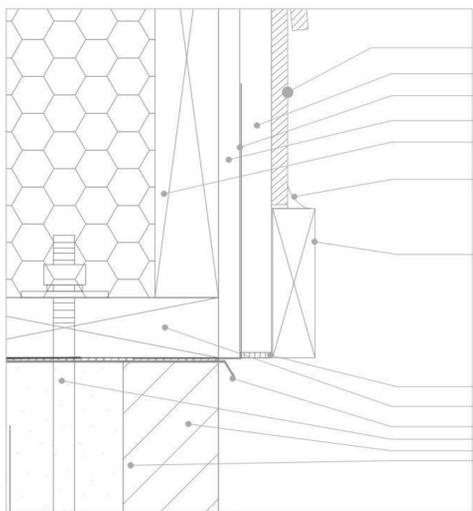
STANDING SEAM METAL
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)
 2X6 WOOD STUD 16" O.C.
 2X8 WOOD STUD 16" O.C.
 2X8 WOOD STUD 16" O.C.
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)

9



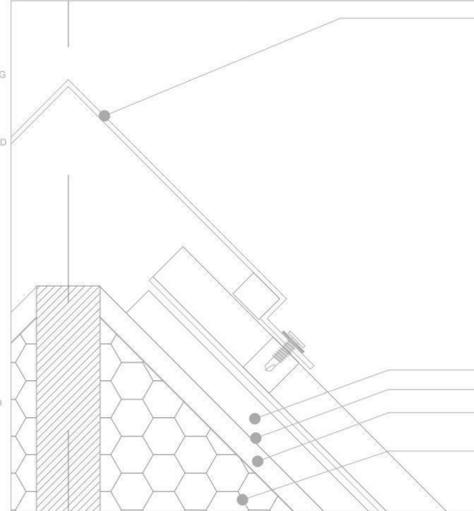
1/2" GYPSUM DRYWALL BOARD
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)
 2X8 WOOD STUDS 16" O.C. (SEE STRUCTURAL DRAWINGS FOR DETAILS)
 ICE AND WATER SHIELD OVER 1/2" CDX SHEATHING, WRAP INTO R.O. 6" MIN.
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 FIBER CEMENT LAP SIDING WOOD TONE (RUSTIC SERIES)

12



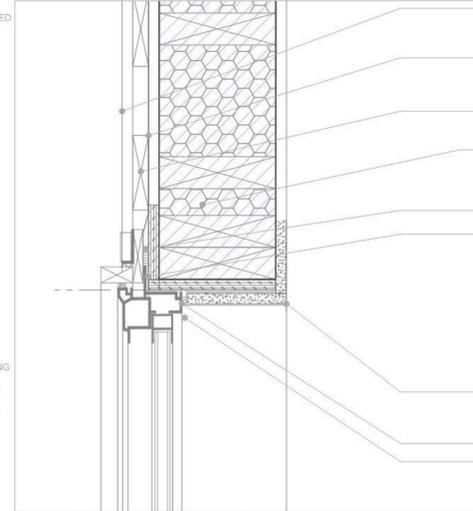
FIBER CEMENT LAP SIDING WOOD TONE (RUSTIC SERIES)
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 2X12 GREEN PRESSURE TREATED JOISTS 16" O.C.
 SEALANT
 1X1 FIBER CEMENT TRIM TO MATCH

2



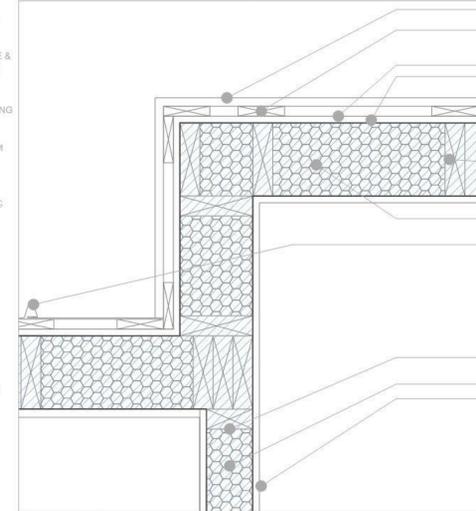
STANDING SEAM METAL - VENTED RIDGE CAP - TO MATCH (SEE MANUFACTURER FOR INSTALLATION)
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)

5



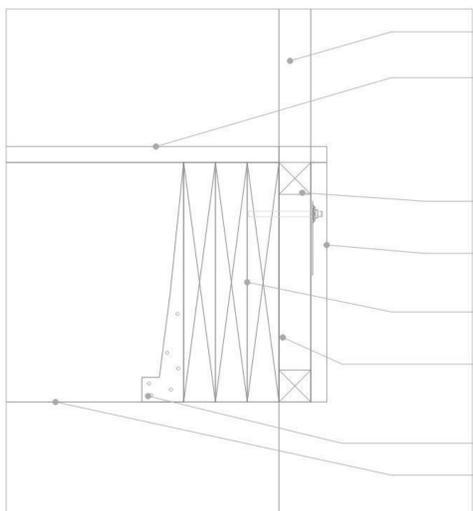
FIBER CEMENT LAP SIDING WOOD TONE (RUSTIC SERIES)
 RESISTANT SELF-ADHERED ICE & WATER SHIELD (ENTIRE WALL) 1/2" CDX PLYWOOD EXTERIOR SHEATHING
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)
 6" SELF ADHERED FLASHING OVER WINDOW FLANGE
 SEALANT BEHIND NAILING FIN
 1/2" GYPSUM DRYWALL BOARD
 SEALANT WINDOW

8



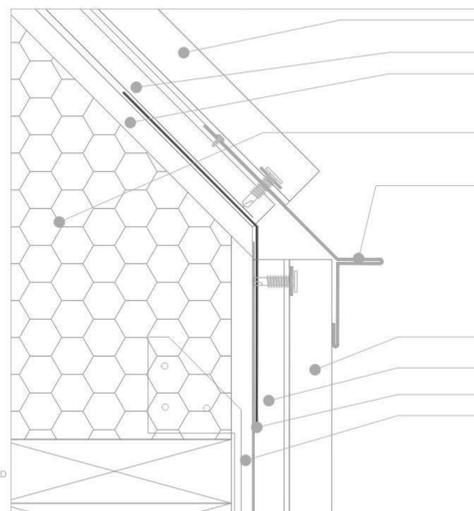
FIBER CEMENT LAP SIDING WOOD TONE (RUSTIC SERIES)
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 2X6 WOOD STUDS 16" O.C.
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)
 STANDING SEAM METAL
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 2X4 STUD WALL 16" O.C.
 SOUND ATTENUATION BLANKETS
 1/2" GYPSUM DRYWALL

11



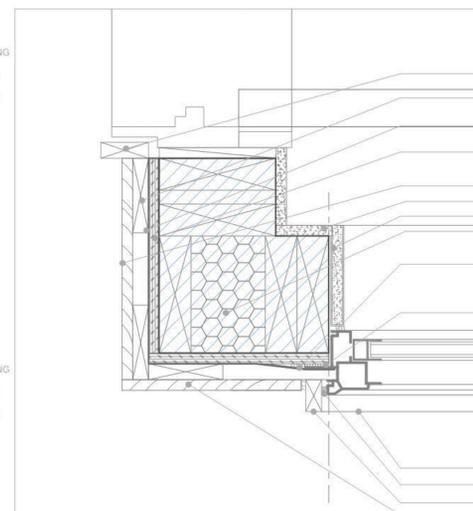
1.5" GALV. METAL RAILING POST
 5/4 IN. X 6 IN. X 16 FT. STANDARD GROUND CONTACT PRESSURE-TREATED PINE DECKING BOARD
 2X2 TREATED FURRING STRIPS
 1X12 FIBER CEMENT BOARD
 (3) 2X12 GREEN PRESSURE TREATED JOISTS HANGERS AS REQUIRED
 5/8" LOG BOLT
 HANGER AS REQUIRED
 2X12 GREEN PRESSURE TREATED JOISTS HANGERS AS REQUIRED

1



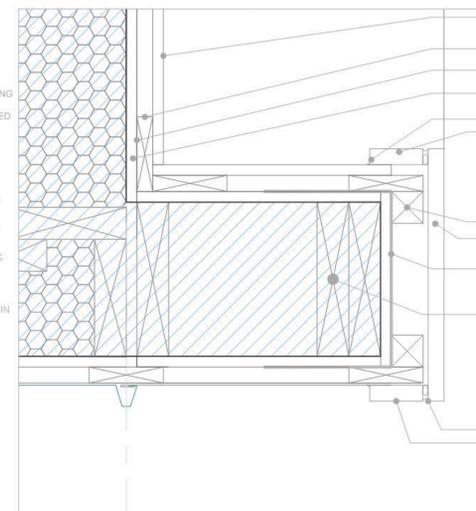
STANDING SEAM METAL (SEE MANUFACTURER FOR INSTALLATION) 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)
 ANGLED CAP / DRIP EDGE FLASHING TO MATCH METAL ROOF (See manufacturer for installation)
 STANDING SEAM METAL (SEE MANUFACTURER FOR INSTALLATION) 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING

4



FIBER CEMENT TRIM
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 U.V. RESISTANT SELF-ADHERED ICE & WATER SHIELD (ENTIRE WALL) 1/2" CDX PLYWOOD EXTERIOR SHEATHING
 FIBER CEMENT PANEL
 1/2" GYPSUM DRYWALL BOARD
 2X6 STUD WALL
 CLOSED CELL SPRAYED FOAM INSULATION (R 19MIN.)
 6" SELF ADHERED FLASHING OVER WINDOW FLANGE
 SEALANT BEHIND NAILING FIN
 FIBER CEMENT SILL BELOW SEALANT & BACKER ROD
 FIBER CEMENT TRIM
 FIBER CEMENT PANEL

7



FIBER CEMENT LAP SIDING WOOD TONE (RUSTIC SERIES)
 1X4 TREATED VERTICAL FURRING STRIPS 16" O.C.
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 FIBER CEMENT TRIM
 SEALANT
 2X2 TREATED FURRING STRIPS
 1X12 FIBER CEMENT BOARD
 30 MIL SELF-ADHERED ICE AND WATER SHIELD ENTIRE ROOF 1/2" CDX PLYWOOD SHEATHING
 2X8 WOOD STUDS
 SEALANT
 FIBER CEMENT TRIM

10

NICOLAS CASCARANO

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 Houston, Texas 77077
 ARQUITECTURA3000@ATT.NET



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 SET DATED :08.23.2021
 SET DATED :06.06.2021
 SET DATED :04.04.2021
 VALUE ENGINEERED SET
 SET DATED :03.15.2021

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



DRAWING NAME:
DETAILS

A-12
 SHEET

DATE: 11.20.2021

NICOLAS CASCARANO

ARCHITECT, AIA
 14520 Briar Forrest Drive #2308
 Houston, Texas 77077
 ARQUITECTURA3000@ATT.NET



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 SET DATED :04.04.2021
 VALUE ENGINEERED SET
 SET DATED :03.15.2021

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

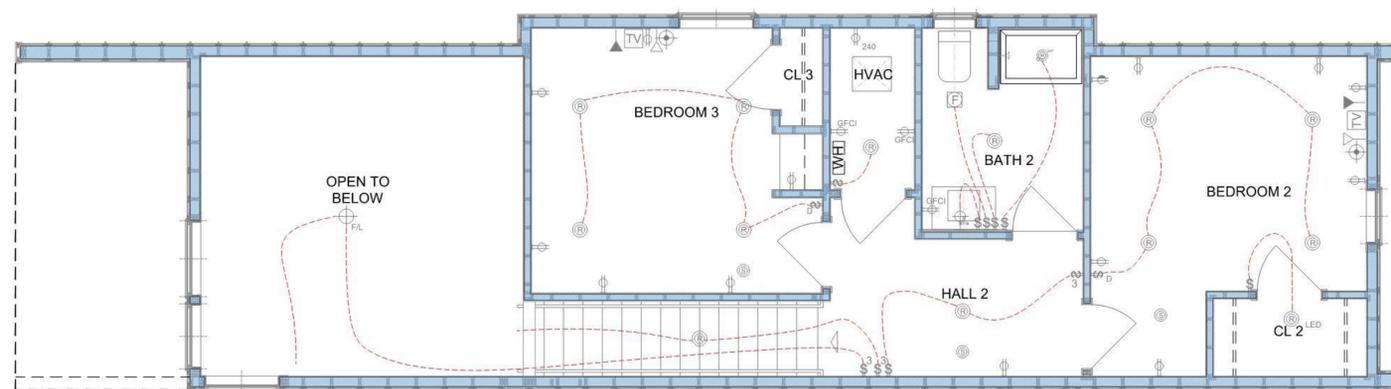
OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



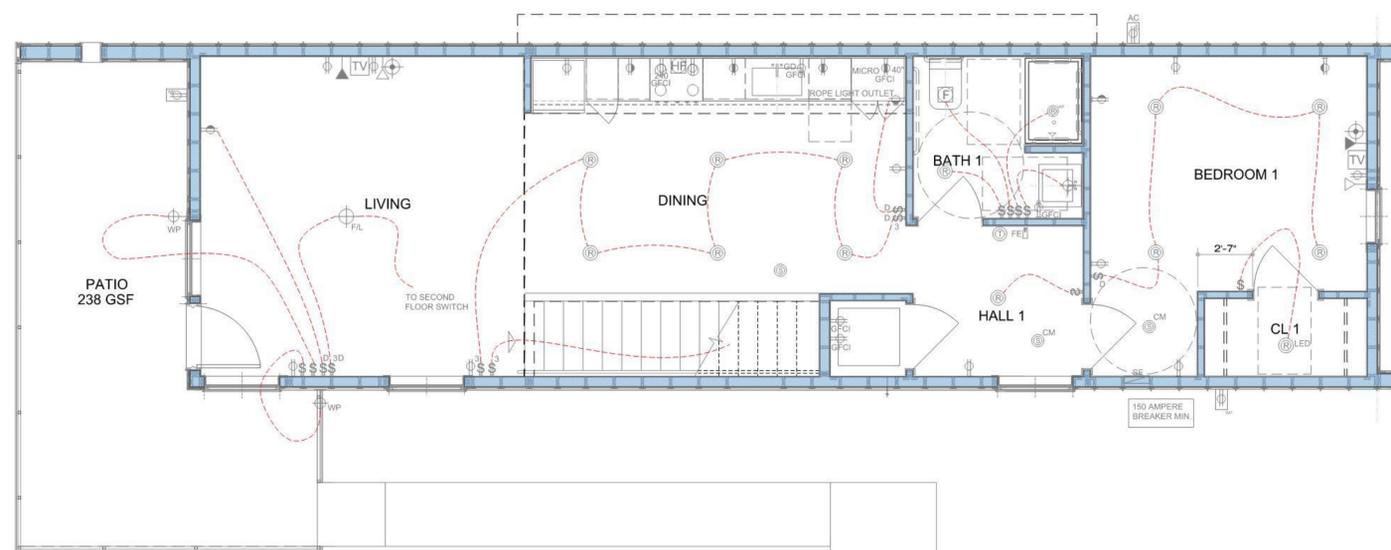
DRAWING NAME:
**FLOOR PLANS
 ELECTRICAL LAYOUT**

A-13
 SHEET

DATE: 11.20.2021



SECOND FLOOR PLAN SCALE : 1/4" = 1'-0"
ELECTRICAL



FIRST FLOOR PLAN SCALE : 1/4" = 1'-0"
ELECTRICAL

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOOK THROUGH ALL DRAWINGS ASSOCIATED WITH THIS PROJECT. WORK ASSOCIATED WITH THE ELECTRICAL CONTRACTOR'S TRADE MAY BE SHOWN ON OTHER DRAWINGS. ANY ADDITIONAL COST RESULTING FROM THE FAILURE TO INCLUDE THESE ITEMS SHOWN ON THE OTHER DRAWINGS WILL BE INCURRED BY CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO ESTABLISH A STANDARD OF QUALITY. THE CONTRACTOR SHALL BE RESPONSIBLE TO REQUEST THE ENGINEER WAIVE THE STANDARDS TO ALLOW ALTERNATE MEANS AND METHODS PRIOR TO BEGINNING THE PROJECT. CONTRACT DOCUMENT REVISIONS TO ACCOMMODATE INSTALLED CONDITIONS, WITHOUT PRIOR APPROVAL, WILL RESULT IN ADDITIONAL DESIGN CHARGES TO THE CONTRACTOR.
- ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE IRC ELECTRICAL 2015
- ALL WORK, MATERIALS AND EQUIPMENT SHALL CONFORM TO THE CURRENTLY ADOPTED EDITION OF ALL APPLICABLE NATIONAL, STATE AND CITY CODES AND ORDINANCES.
- ALL ELECTRICAL SYSTEM COMPONENTS SHALL BE LISTED OR LABELED BY UL OR OTHER RECOGNIZED TESTING FACILITY AS ALLOWED BY AUTHORITY HAVING JURISDICTION.
- WHERE AN APPARENT DISCREPANCY EXISTS BETWEEN THE REQUIREMENTS OF THE GENERAL NOTES AND INFORMATION PORTRAYED IN THE ELECTRICAL DRAWINGS, THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF THE GREATER QUALITY OR QUANTITY.
- CONTRACTOR SHALL VISIT JOB SITE PRIOR TO BID AND VERIFY EXISTING CONDITIONS.
- CONTRACTOR SHALL INCLUDE IN BASE BID ALL COSTS REQUIRED FOR PERMITS AND INSPECTIONS.
- CONTRACTOR SHALL VERIFY, WITH OWNERS REPRESENTATIVE PRIOR TO SUBMITTING BID, ALLOWABLE WORKING HOURS, EMPLOYEE PARKING AREAS, MATERIAL DELIVERY, STORAGE REQUIREMENTS, DEMOLITION AND REMOVAL OF CONSTRUCTION DEBRIS, AS WELL AS DAILY CLEAN UP REQUIREMENTS. INCLUDE ALL COSTS IN BID FOR DUST BARRIERS, DUMPSTERS ETC. AS REQUIRED FOR THE DURATION OF THE PROJECT. PERFORM ALL WORK AS DIRECTED BY OWNERS REPRESENTATIVE AND ARCHITECT.
- ALL ELECTRICAL SYSTEMS SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, CONTRACTOR SHALL MAKE ALL NECESSARY CORRECTIONS AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP WHICH MAY OCCUR UNDER NORMAL USE FOR A PERIOD OF ONE YEAR AFTER OWNERS ACCEPTANCE. ALL DEFECTS SHALL BE PROMPTLY CORRECTED BY CONTRACTOR WITHOUT ADDITIONAL COST TO OWNER.
- DO NOT SCALE ELECTRICAL DRAWINGS. VERIFY EXACT LOCATION OF ALL DEVICES, JUNCTION BOXES, LIGHTING FIXTURES, ETC. WITH ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS PRIOR TO INSTALLATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL MECHANICAL EQUIPMENT AND OTHER EQUIPMENT REQUIRING ELECTRICAL CONNECTION PRIOR TO ROUGH-IN. EVERY OUTLET HEIGHT SHALL BE VERIFIED ON EACH WALL WITH THE INTERIOR PLANNING AND DESIGN DRAWINGS. COORDINATE WITH CABINET SHOP DRAWINGS TO ENSURE PROPER HEIGHT AND LOCATION WITH RESPECT TO MILLWORK, EQUIPMENT, ETC.
- THESE DRAWINGS INDICATE THE FINISHED REQUIREMENTS FOR THE ELECTRICAL SYSTEMS, EQUIPMENT, LIGHTING FIXTURES, OUTLETS AND DEVICES. DUE TO STRUCTURAL CONDITIONS, MECHANICAL DUCT, PIPING CONFLICTS, OR OTHER LEGITIMATE REASONS, THE CONTRACTOR MAY DESIRE TO INSTALL THE WORK INDICATED IN A MANNER DIFFERENT FROM THAT SHOWN.
- ANY VARIANCE OR EXCEPTIONS THE THE DRAWINGS AND SPECIFICATIONS MUST BE REQUESTED AND APPROVED IN WRITING BY THE OWNER/ARCHITECT. WHERE UNAUTHORIZED CHANGES ARE FOUND, THE CONTRACTOR SHALL REMOVE THE INSTALLED WORK AND INSTALL ITS AS SHOWN ON THE DRAWINGS AT NO ADDITIONAL COST THE THE OWNER. COST SHALL INCLUDE ANY CUTTING, PATCHING, PAINTING AND REPAIR COST TO INSTALLED CEILING, WALLS ETC. AS REQUIRED FOR CORRECTING THE DEFICIENCY.
- PRIOR TO INSTALLATION, CONTRACTOR SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR CONFLICTS WITH OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK WITH OTHER TRADES TO AVOID CONFLICT DURING INSTALLATION. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN EQUIPMENT LOCATION AND ROUTING AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ELECTRICAL REQUIREMENTS FOR ALL PLUMBING AND MECHANICAL EQUIPMENT WITH FINAL CONTRACTOR SELECTION.
- THE ELECTRICAL CONTRACTOR PRIOR TO ROUGH-IN, SHALL VERIFY ALL HVAC AMPERAGES, PHASES AND VOLTAGES AGAINST PLAN REQUIREMENTS AND NOTIFY ENGINEER/ARCHITECT OF ANY DISCREPANCIES. FAILURE TO VERIFY AND NOTIFY ENGINEER/ARCHITECT PRIOR TO ROUGH-IN SHALL RESULT IN THE ELECTRICAL CONTRACTOR ASSUMING RESPONSIBILITY FOR DESIGN AND INSTALLATION REQUIREMENTS.
- THE ELECTRICAL CONTRACTOR SHALL INSURE FINAL COORDINATION OF THE MANUFACTURERS RECOMMENDED FUSE SIZES FOR THE INSTALLED MECHANICAL EQUIPMENT WITH THE SIZE DISCONNECT PRIOR TO OR DURING ROUGH-IN. ADVISE ENGINEER IF CHANGES IN THE FINAL SELECTION OF MECHANICAL EQUIPMENT HAVE IMPACTED DISCONNECT SWITCH, BREAKER, OR CONDUCTOR SIZES.
- VERIFY DEVICE COLOR AND MOUNTING ORIENTATION (VERTICAL OR HORIZONTAL) WITH ARCHITECT.
- THE ELECTRICAL CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR ANY "VALUE ENGINEERING" OF THE MATERIALS, SPECIFICATIONS AND DESIGN OF THIS PROJECT, INCLUDING ANY AND ALL COST FOR ANY REVISIONS TO THE CONTRACT DOCUMENTS REQUIRED AS A RESULT IF THE "VALUE ENGINEERING".
- PROPOSED ALTERNATE LIGHT FIXTURES SHALL BE SUBMITTED WITH A PHOTOMETRIC STUDY SHOWING COMPLIANCE WITH ALL APPLICABLE LIGHTING CODES AND ORDINANCES.
- AFTER COMPLETION OF THE INSTALLATION, THE ENTIRE ELECTRICAL SYSTEM SHALL BE THOROUGHLY CLEANED, REMOVE ALL FOREIGN MATERIAL, DUST, PAINT, OIL GREASE, UNNEEDED LABELS AND STICKERS FROM EQUIPMENTS. REMOVE ALL DEBRIS ACCUMULATED DURING CONSTRUCTION.
- ALL 120V AND 277V DEVICES SHALL HAVE A DEDICATED NEUTRAL. ELECTRICAL CONTRACTOR TO INSTALL A LIGHTNING ROD PROTECTION SYSTEM.

ELECTRICAL LEGEND

- | | | |
|------------------|-----|--|
| WP | 1. | OUTLET WP (WATER PROOF) |
| GFI | 2. | OUTLET GFCI (GROUND-FAULT CIRCUIT INTERRUPTER) |
| ⊕ | 3. | LOCATION OF SWITCH TO LIGHT |
| ⊕ | 4. | SURFACE CEILING LIGHT |
| ⊕ | 5. | RECESSED CEILING LIGHT WITH INSULATED CAN OPTION (LED FOR CLOSETS) |
| GFI | 6. | ABOVE COUNTER OUTLET - GFCI |
| HFH HOOD FAN FIL | 7. | EXHAUST/CEILING FAN / FAN LIGHT |
| ⊕ | 8. | WEATHERPROOF LANDSCAPE LIGHT |
| ⊕ | 9. | WALL MOUNTED LIGHT FIXTURE T 3 |
| ⊕ | 10. | THERMOSTAT |
| ⊕ | 11. | SINGLE POLE SWITCH |
| ⊕ | 12. | 3-WAY SWITCH |
| ⊕ | 13. | 4-WAY SWITCH |
| ⊕ | 14. | SWITCH WITH TIMER |
| ⊕ | 15. | SWITCH DIMMER |
| 220/240 | 16. | 240V OR 220V OUTLET |
| ⊕ | 17. | 110V DUPLEX OUTLET |
| ⊕ | 18. | 110V DUPLEX OUTLET WITH UPPER LIVE |
| ⊕ | 19. | FLOOR MOUNT OUTLET |
| ⊕ | 20. | TELEPHONE OUTLET |
| ⊕ | 21. | COMPUTER DATA OUTLET |
| ⊕ | 22. | STEREO SPEAKER OUTLET |
| ⊕ | 23. | CABLE TELEVISION OUTLET CH |
| ⊕ | 24. | TRACK LIGHT |
| ⊕ | 25. | PENDANT LIGHT |
| FE | 26. | FIRE EXTINGUISHER |
| CM | 27. | SMOKE DETECTOR / CARBON MONOXIDE |
| SE | 28. | SERVICE ENTRANCE PANEL |
| ⊕ | 29. | 2 LAMP FLUORESCENT LIGHT |
| ⊕ | 30. | 4 LAMP FLUORESCENT LIGHT |
| ⊕ | 31. | UNDER COUNTER FLUORESCENT LIGHT |
| ⊕ | 32. | ROPE LIGHT |

Smoke Detectors: All smoke detectors shall be hard-wired with battery back-up and interconnected with all other alarms. There shall be a minimum of one (1) smoke detector per floor (including the basement) and a smoke detector shall be located adjacent to all bedrooms/sleeping rooms and adjacent to the central heating source. A smoke detector shall be installed in each sleeping room. All smoke detectors shall be installed per manufacturer's installation instructions.

Carbon Monoxide Detectors: Where a heating system source, other than solid fuel burning appliances (e.g., wood stoves), and/or water heater that burns solid, liquid or gaseous fuels is located horizontally adjacent to any habitable room, a hard-wired with battery back-up carbon monoxide detector is required and is to be installed per the manufacturer's instructions. Any dwelling that has a fuel source heating system (not electric), other solid fuel burning appliances (e.g., wood stoves, pellet, or corn stoves), and/or fuel source water heater (not electric), a hard-wired with battery back-up combination smoke alarm/carbon monoxide detector is required to be installed per the manufacturer's instructions on the main living area floor.

COMBINATION SMOKE & CARBON MONOXIDE DETECTORS: DETECTORS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE CONNECTED TO THE MAIN PANEL AND A SOUNDING DEVICE OR OTHER DETECTORS TO PROVIDE AN ALARM AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

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PROJECT NAME:
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 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

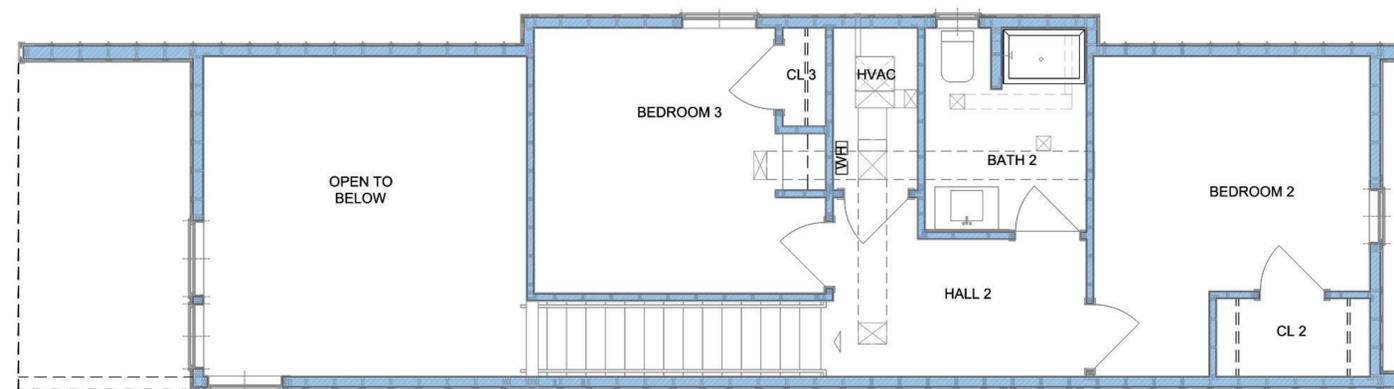
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 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



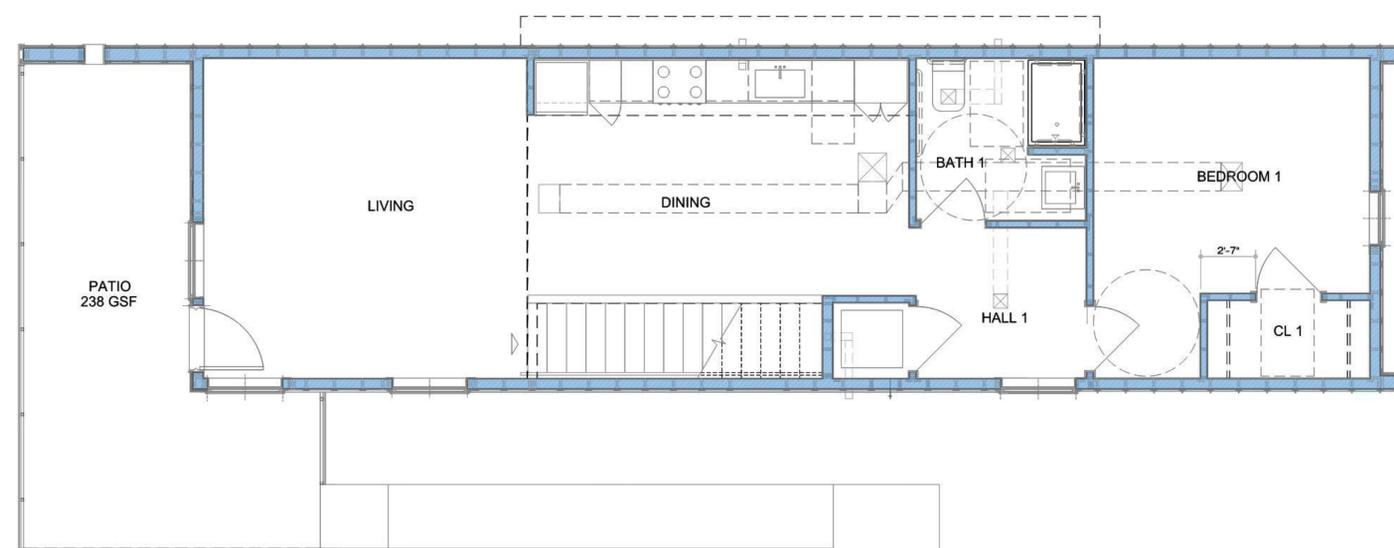
DRAWING NAME:
**FLOOR PLANS
 HVAC LAYOUT**

A-14
 SHEET

DATE: 11.20.2021



SECOND FLOOR PLAN SCALE : 1/4" = 1'-0"
 HVAC
 0 12 16 20 FT



FIRST FLOOR PLAN SCALE : 1/4" = 1'-0"
 HVAC
 0 12 16 20 FT

1. DO NOT SCALE FROM THESE DRAWINGS. DIMENSIONS SHALL BE TAKEN FROM ARCHITECTURAL DRAWINGS.
2. THESE DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED ONLY TO DEFINE THE BASIC FUNCTIONS REQUIRED. ACCESSORIES REQUIRED FOR PROPER OPERATION OF THE SYSTEMS, EVEN THOUGH NOT SPECIFICALLY INDICATED, SHALL BE INCLUDED AND INSTALLED. SUCH ACCESSORIES MAY INCLUDE.
3. SCOPE OF WORK CONSISTS OF FURNISHING LABOR, MATERIALS AND EQUIPMENT FOR THE INSTALLATION. IT ALSO INCLUDES PLACING INTO OPERATION COMPLETE AND OPERABLE HEATING, VENTILATING AND AIR CONDITIONING SYSTEMS AS SPECIFIED AND SHOWN. THIS INCLUDES, BUT IS NOT LIMITED TO: HVAC UNITS, EXHAUST FANS, DUCTLESS SPLIT-SYSTEMS, DUCTWORK, AIR DISTRIBUTION, CONTROLS AND ACCESSORIES.
4. ALL REQUIRED OFFSETS, RISES AND DROPS DUE TO POSSIBLE OBSTRUCTIONS OF DUCT AND PIPE RUNS ARE NOT NECESSARILY SHOWN. MECHANICAL CONTRACTOR SHALL INCLUDE A CONTINGENCY IN HIS BID TO OFFSET ANY COST REQUIRED FOR ADDITIONAL FITTINGS AND LABOR THAT MAY BE REQUIRED. MINOR DEVIATIONS FROM THE DESIGN LAYOUT IN ROUTING OF DUCT AND/OR PIPING ARE ANTICIPATED AND SHALL BE CONSIDERED A PART OF THE WORK INCLUDED. THE CONTRACTOR SHALL VERIFY THE ACTUAL DIMENSIONS OF THE EQUIPMENT PROPOSED TO ENSURE THAT THE EQUIPMENT WILL FIT IN THE AVAILABLE SPACE.
5. HVAC LAYOUT IS BASED ON ARCHITECTURAL DRAWINGS AVAILABLE AT TIME OF DESIGN. AS STRUCTURAL OR OTHER FIELD CHANGES MAY OCCUR, CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY LOCATION OF ALL HVAC EQUIPMENT AND DUCTWORK BEFORE INSTALLATION. MECHANICAL CONTRACTOR SHALL NOTIFY BUILDER OF ANY REQUIRED ALTERATIONS.
6. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE AND LOCAL ORDINANCES WHICH MAY BE IN EFFECT. ALL HVAC MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NECESSARY TO COMPLY WITH THESE RULES, REGULATIONS AND ORDINANCES AT NO ADDITIONAL COST. THESE CODES REPRESENT THE MINIMUM ACCEPTABLE REQUIREMENTS.
7. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
8. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED HVAC, FIRE PROTECTION, ELECTRICAL, STRUCTURAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. IN ADDITION, THE MECHANICAL CONTRACTOR MUST COORDINATE WITH AN OWNER REPRESENTATIVE TO FULLY UNDERSTAND ALL REQUIREMENTS WHICH MAY NOT BE SPECIFIED HEREIN AND WHICH THE OWNER MAY CONSIDER PART OF THIS CONTRACT. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO WORK CLOSELY WITH ALL ACCOMPANYING CONTRACTORS AND TRADESMEN IN ORDER TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
9. ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND THE RELATED PLUMBING, ELECTRICAL, STRUCTURAL, ARCHITECTURAL, AND SITE ENGINEERING DRAWINGS, OR BETWEEN THESE BID DOCUMENTS AND FIELD CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER, ARCHITECT PRIOR TO BID SUBMISSION.
10. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL NEW PRODUCTS OF ESTABLISHED AND REPUTABLE MANUFACTURERS. NO EQUIPMENT SUBSTITUTIONS SHALL BE MADE THAT WOULD LEAVE INADEQUATE OPERATING OR SERVICE SPACE. EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND IN AN ARRANGEMENT THAT WILL GIVE THE GREATEST PRACTICAL EASE OF OPERATION AND SERVICE TO THE OWNER.
11. CONSTRUCT AND BRACE EQUIPMENT, PIPING, ETC., SO THAT THERE WILL BE NO VIBRATION AND/OR RATTLING WHEN THE SYSTEM IS IN OPERATION.
12. SPECIFIC REFERENCE TO A MANUFACTURER'S PRODUCT IS ONLY TO ESTABLISH TYPE, QUALITY, AND PERFORMANCE REQUIRED. THESE QUALIFICATIONS ARE IN ADDITION TO THE REQUIREMENTS SHOWN ON THE PLANS.
13. ALL OUTSIDE AIR INTAKES SHALL BE LOCATED A MINIMUM OF 10' FROM ANY PLUMBING VENT, EXHAUST, AND FLUE OUTLETS.
14. EXHAUST DUCTS SHALL TERMINATE THREE (3) FEET FROM ANY BUILDING OPENING AND BE EQUIPPED WITH A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION.
15. ALLOW 24" TO 36" OF STRAIGHT RUN FROM FAN OUTLET POINT BEFORE ADDING AN ELBOW OR BEND TO EXHAUST DUCTWORK.
16. FLASH AND COUNTER FLASH ALL ROOF PENETRATIONS. COORDINATE INSTALLATION OF ALL ROOF FLASHING AT ROOF PENETRATION.
17. SEAL ALL REFRIGERATION LINE PENETRATIONS AIR AND WATER TIGHT W/ SILICONE SEALANT.
18. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING, ADJUSTING, AND BALANCING.
19. CONTRACTOR SHALL INSPECT ANY EXISTING DUCTWORK FOR DEFECTS AND REPORT TO THE ARCHITECT/ENGINEER AND THE OWNER ANY DEFICIENCIES PRIOR TO PERFORMING ANY WORK. CONTRACTOR SHALL CLEAN ALL EXISTING DUCTWORK, GRILLES, REGISTERS AND DIFFUSERS PRIOR TO INSTALLING THE NEW WORK.
20. CONTRACTOR SHALL PAINT BLACK BEHIND ALL GRILLES AND REGISTERS AND INSIDE OF DUCT WHERE VISIBLE.
21. ALL DUCT JOINTS TO BE SEALED IN ACCORDANCE WITH CODE STANDARDS AND ACCEPTED GOOD PRACTICE.
22. IF NEEDED CONTRACTOR SHALL PROVIDE AND INSTALL REFRIGERANT PIPING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
23. REFRIGERANT PIPING SHALL BE INSTALLED IN ACCORDANCE IRC CODE STANDARDS. COMPRESSOR.
24. ALL MATERIALS OF INSULATION SHALL BE OF THE TYPE AND QUALITY AS MANUFACTURED BY ARMSTRONG, CERTAINTED, OWENS-CORNING OR MANVILLE. ALL MATERIAL AND EQUIPMENT SPECIFIED TO BE INSULATED SHALL BE THOROUGHLY TESTED AND APPROVED PRIOR TO APPLYING THE INSULATION. THE INSTALLATION OF ALL INSULATION SHALL BE PERFORMED BY AN EXPERIENCED CRAFTSMAN IN A NEAT WORKMANSHIP-LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR SERVICE INTENDED.
25. VIBRATION ISOLATORS FOR AC EQUIPMENT SHALL BE EQUAL TO MASON INDUSTRIES MODEL 30N, COMBINATION SPRING AND DOUBLE DEFLECTION NEOPRENE HANGER, OR DEFLECTION AS RECOMMENDED BY MANUFACTURER.
26. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND SHALL ADVISE THE ARCHITECT/ENGINEER AND THE OWNER OF ANY DISCREPANCIES BEFORE PERFORMING THE WORK.
27. THE CONTRACTOR SHALL PROVIDE MAINTENANCE INSTRUCTIONS FOR EQUIPMENT AND SYSTEM THAT REQUIRE PREVENTATIVE MAINTENANCE. INSTRUCTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL AND INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT.

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PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

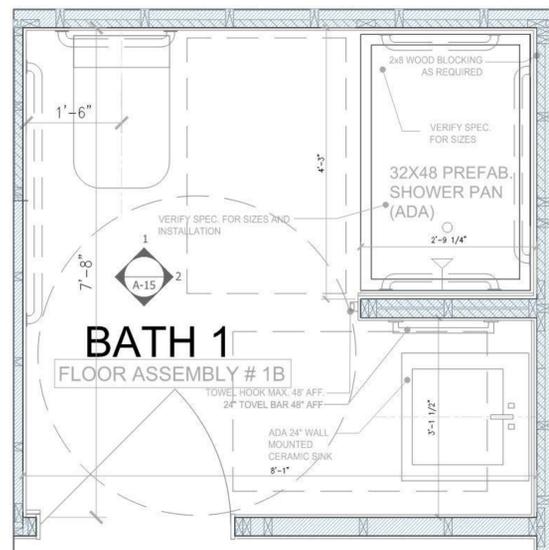
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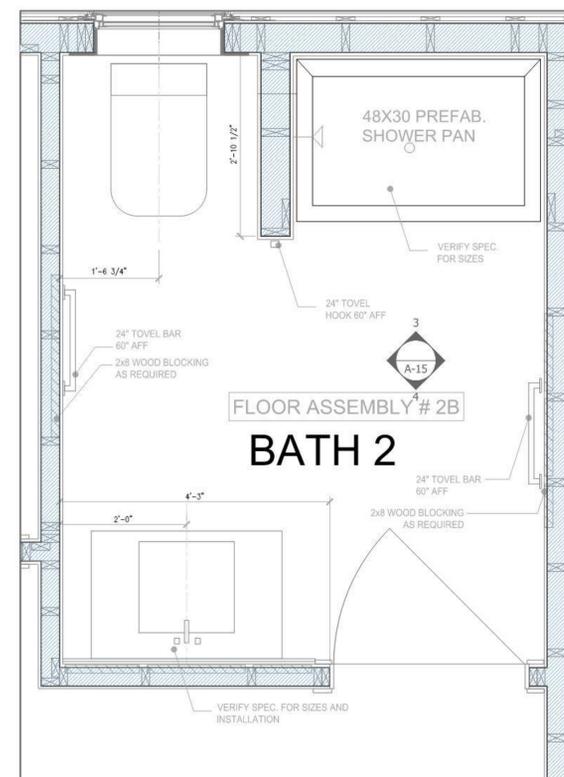
DRAWING NAME:
BATH 1 & 2

A-15
 SHEET

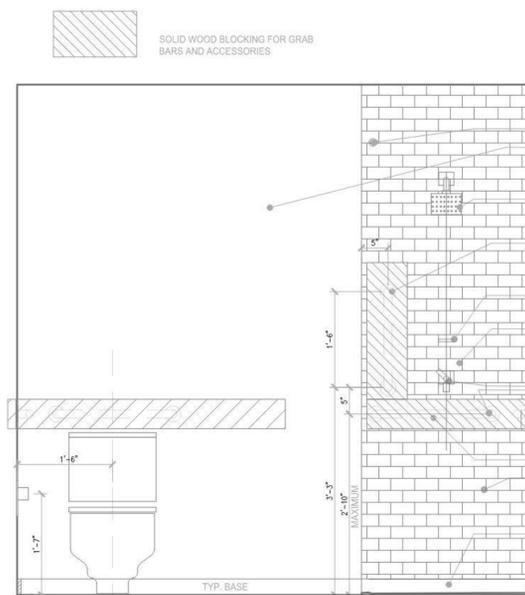
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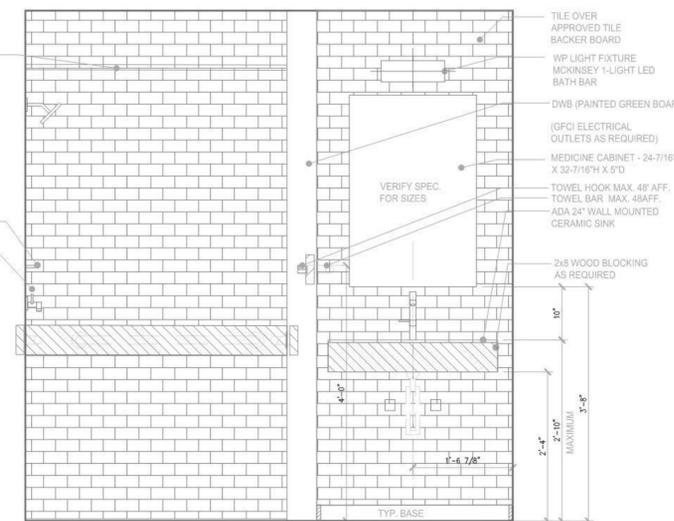
**FLOOR PLAN
 BATH 1
 SCALE : 3/4" = 1'-0"**



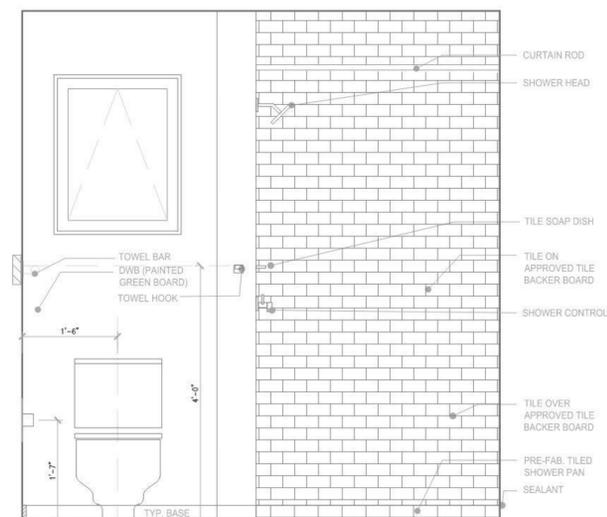
**FLOOR PLAN
 BATH 2
 SCALE : 3/4" = 1'-0"**



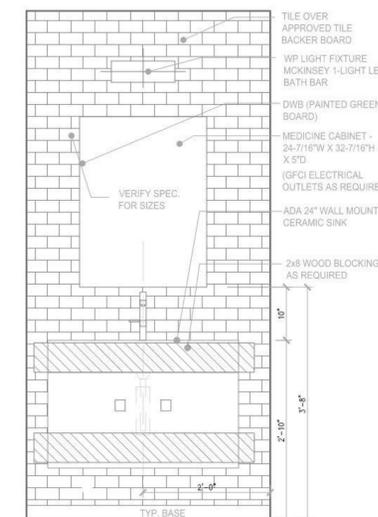
1. TOILET / SHOWER (GFCI ELECTRICAL OUTLETS AS REQUIRED)



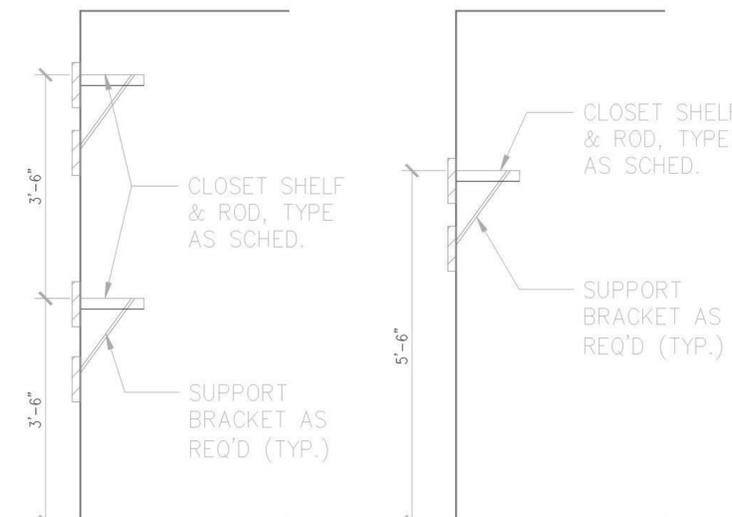
2. SHOWER / VANITY (GFCI ELECTRICAL OUTLETS AS REQUIRED)



3. TOILET / SHOWER



4. VANITY



DOUBLE SHELF SINGLE SHELF

GENERAL NOTES:
 1. INSTALL SHELF AND ROD PER MANUFACTURER'S SPECIFICATIONS, PROVIDE SOLID WOOD BLOCKING AS REQUIRED.

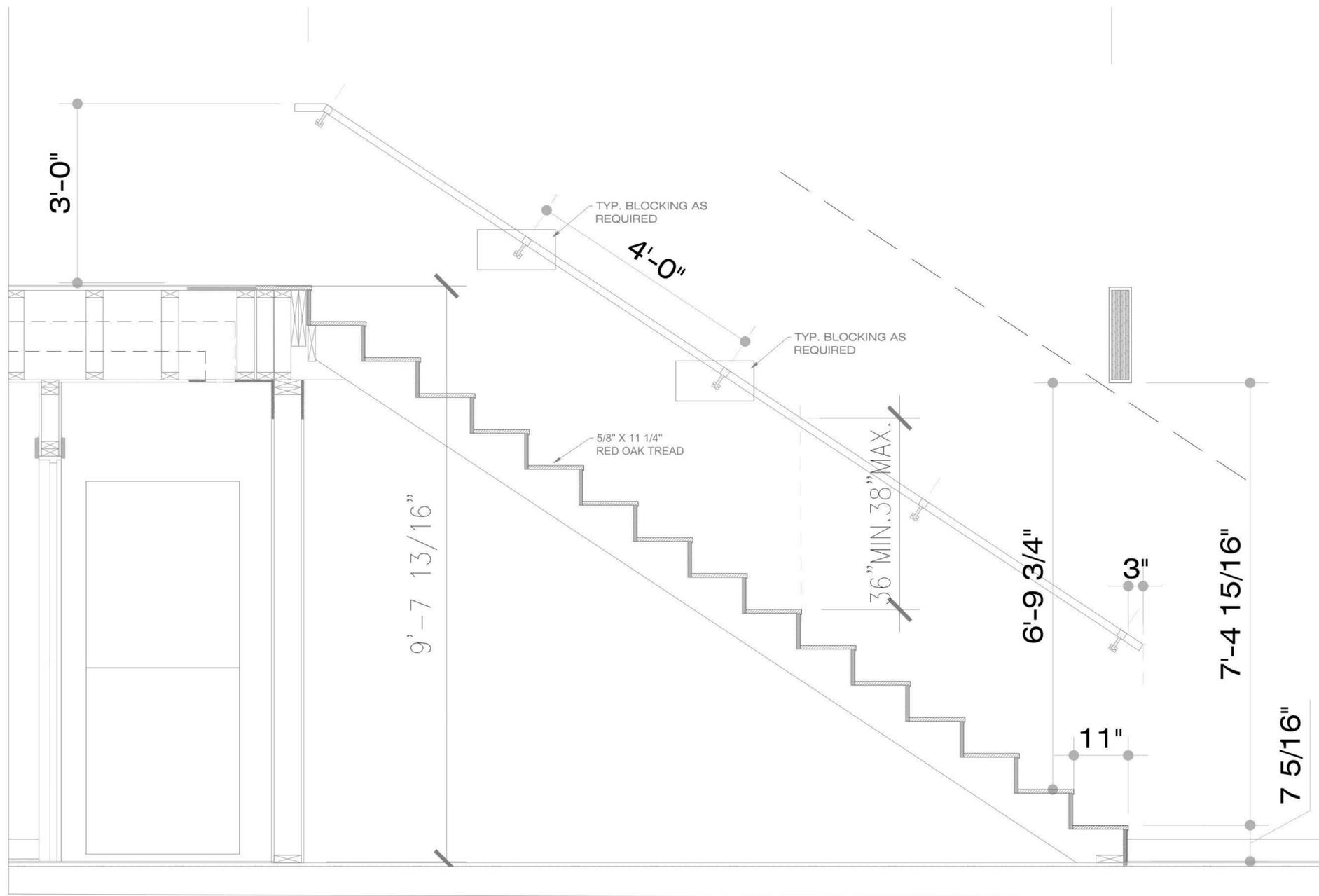
BATH # 2

REDI BASE® SINGLE CURB SHOWER PAN WITH CENTER DRAIN, 30"D X 48"W Shower Base with Single Drain P3048C-PVC BATH 2	OLENE 24" SINGLE BATHROOM VANITY SET WITH MIRROR SKU: W002312681
DELTA SHOWER FAUCET VERO 17 SERIES DUAL-FUNCTION SHOWER TRIM KIT WITH SINGLE-SPRAY TOUCH-CLEAN RAIN SHOWER HEAD, CHROME T17253	OPTIONAL: MEDICINE CABINET - 24-7/16"W X 32-7/16"H X 5"D DELTA VERO SINGLE HOLE VANITY FAUCET WITH POP-UP DRAIN ASSEMBLY - INCLUDES LIFETIME WARRANTY MODEL: 553LF
DELTA VERO DOUBLE ROBE HOOK MODEL: 77736	Glacier Bay (TOILET) 1-Piece 1.1 GPF/1.6 GPF High Efficiency Dual Flush Elongated All-in-One Toilet in White
DELTA VERO 24" TOWEL BAR MODEL: 77724	
DELTA VERO SINGLE HOOK TISSUE HOLDER MODEL: 77750	

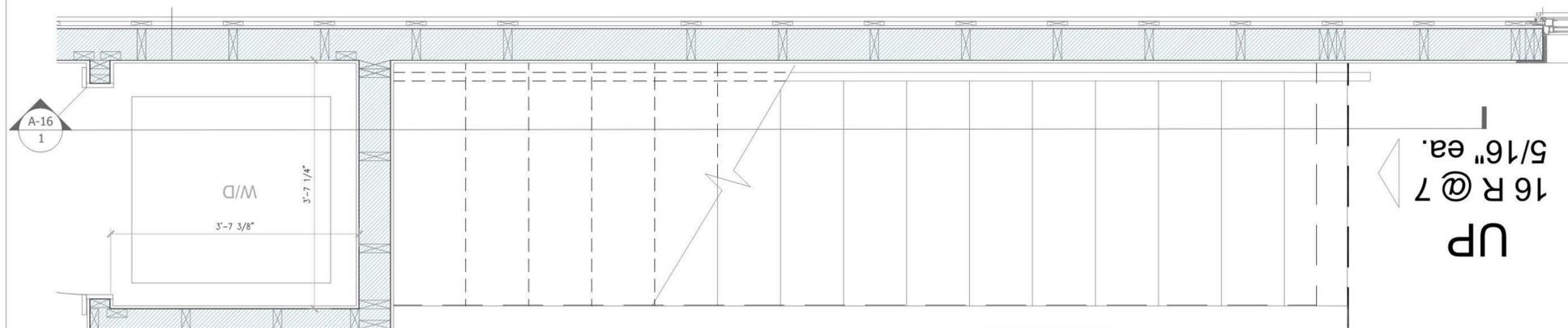
ADA - BATH # 1

ADA VANITY SPEC. OPTION: ADA 24" WALL MOUNTED CERAMIC SINK CERAMIC WALL MOUNT INSTALLATION WITH OVERFLOW DELTA VERO SINGLE HOLE BATHROOM FAUCET WITH POP-UP DRAIN ASSEMBLY - INCLUDES LIFETIME WARRANTY MODEL: 553LF DELTA VERO 24" TOWEL BAR MODEL: 77724 Glacier Bay (TOILET) 1-Piece 1.1 GPF/1.6 GPF High Efficiency Dual Flush Elongated All-in-One Toilet in White	62 1/2" X 32 1/2" ADA SHOWER PAN ACRYLIC (60" X 30" ID) MODEL: AP965328PAN DELTA SHOWER MONITOR 17 SERIES DUAL-FUNCTION PRESSURE-BALANCED SHOWER SYSTEM WITH INTEGRATED VOLUME CONTROL, SHOWER HEAD, AND HAND SHOWER - INCLUDES ROUGH-IN VALVES MODEL: 055-VERO-1701 DELTA VERO DOUBLE ROBE HOOK MODEL: 77736 DELTA VERO SINGLE HOOK TISSUE HOLDER MODEL: 77750
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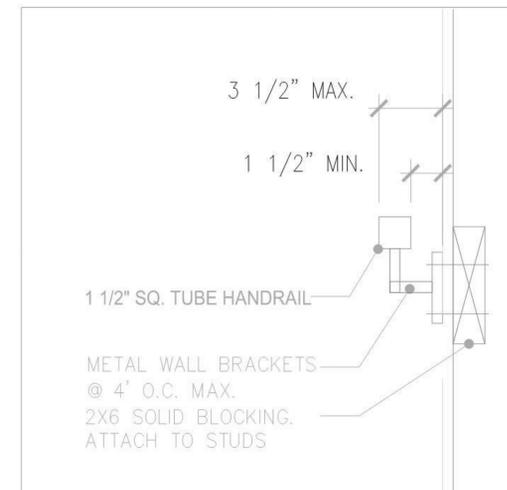
OPTIONAL
 OLENE 24" SINGLE BATHROOM VANITY SET WITH MIRROR SKU: W002312681
 MEDICINE CABINET - 24-7/16"W X 32-7/16"H X 5"D
 DELTA VERO SINGLE HOLE VANITY FAUCET WITH POP-UP DRAIN ASSEMBLY - INCLUDES LIFETIME WARRANTY MODEL: 553LF



1. STAIR ENLARGE DETAILS



2. STAIR PLAN
SCALE : 1" = 1'-0"



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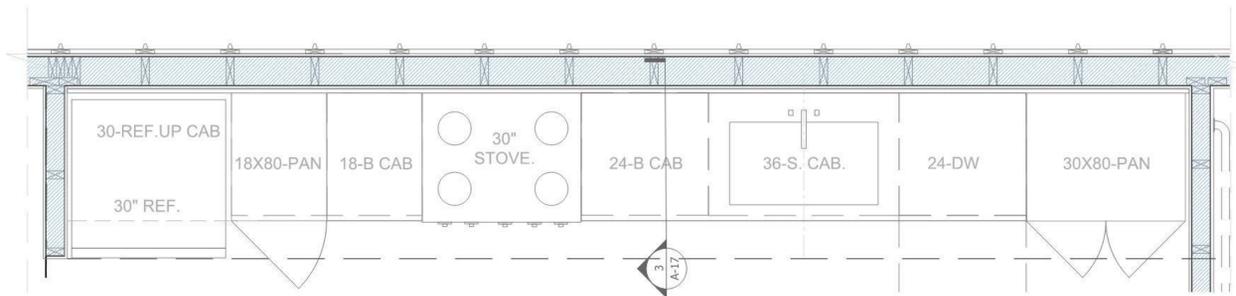
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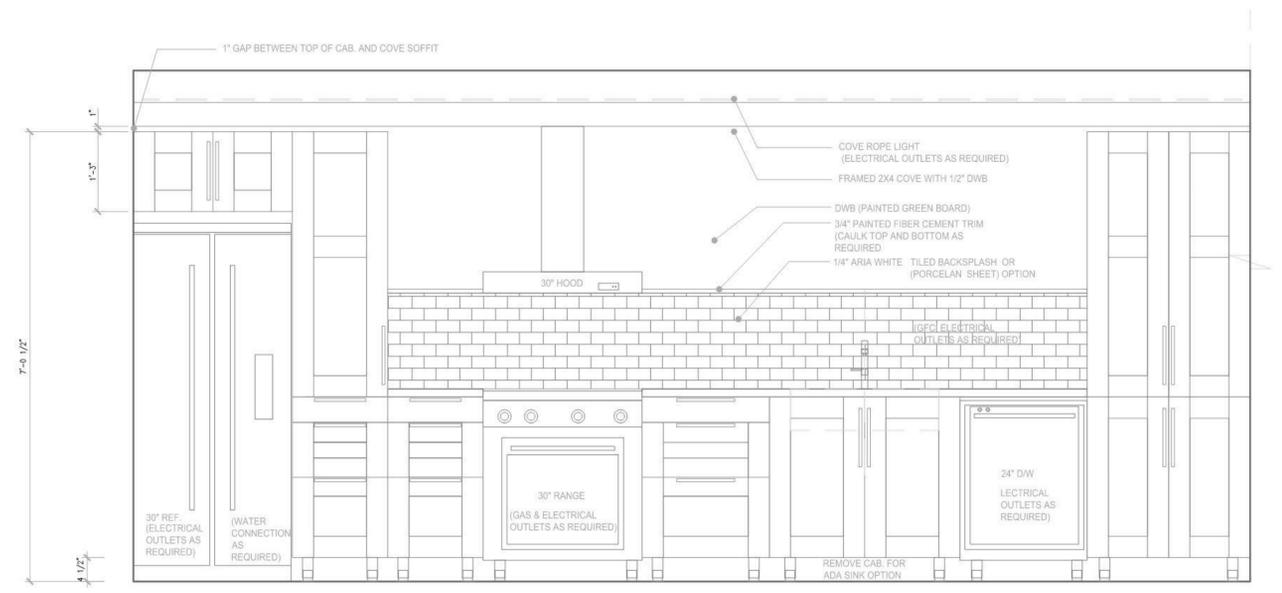
DRAWING NAME:
STAIRS DETAILS

A-16
SHEET

DATE: 11.20.2021



**1. FLOOR PLAN
 KITCHEN
 SCALE : 3/4" = 1'-0"**



2. KITCHEN ELEVATION

FAUSET & SINK SPEC.

KRAUS FAUSET
 KPF-1610SS Bolden Single Handle 18-inch Commercial Kitchen Faucet with Dual Function Pull Down Spray Head Finish Kpf-1610SS, Stainless Steel

KRAUS SINK
 Standard PRO 30in. 16 Gauge Undermount Single Bowl Stainless Steel Kitchen Sink

EXHAUST CEILING FAN
 PANASONIC FV-0511VKS2 WHISPERGREEN MULTI-FLOW BATHROOM FAN, WHITE

VENT HOOD SPEC., RANGE

ZLINE RANGE
 Professional 30 in. 4.6 cu. ft. 6-Gas Burner/Electric Oven Range in Stainless Steel

ZLINE HOOD
 ZLINE 30 in. 760 CFM Wall Mount Range Hood in Stainless Steel

CABINETS SPEC.

CABINETS SPEC. OPTION
 CABINETS (IKEA)
 HILLESJON DOUBLE BOWL DUAL MOUNT SINK STAINLESS STEEL 29 1/2X18 1/8"

95541643 ALMAREN KITCHEN FAUCET
 STAINLESS STEEL

CABINETS NOB:
 12" BILLSBRO HANDLE STAINLESS STEEL

CABINETS LEGS SEKTION LEG ADJUSTABLE 4 1/2"

DISHWASHER SPEC.

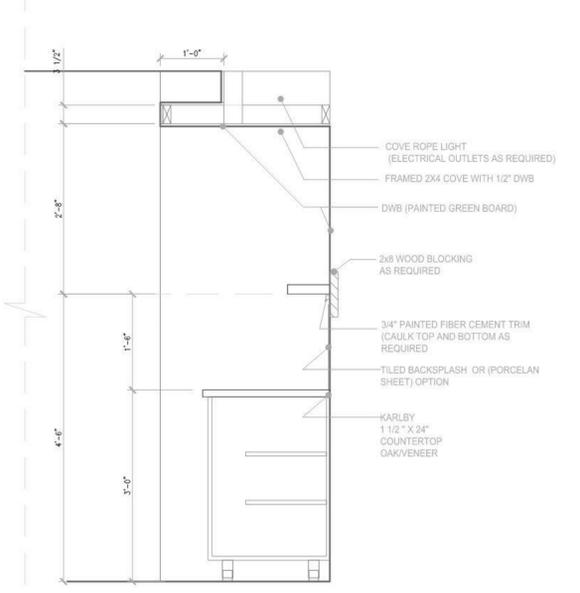
TBD

WASHER / DRYER SPEC.

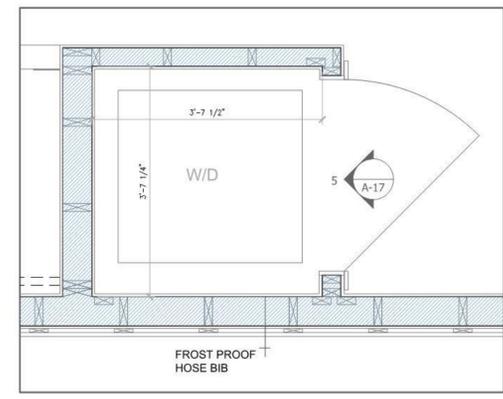
Whirlpool 3.5 Cu. Ft. White Electric Stacked Laundry Center - WET4027HW

RECESSED DRYER VENT
 Dundas Jafine DRB4XZW Box, 4", White

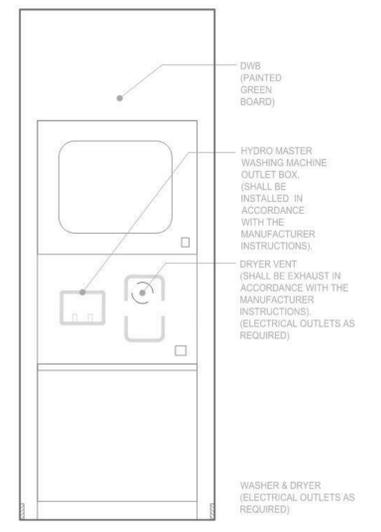
WATER OUTLET BOX
 Hydro Master Washing Machine, Washing Stop Valves with Water Hammer Arrestor



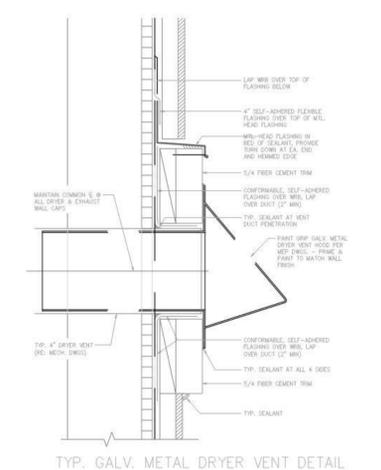
3. SECTION



**4. WASHER AND DRYER CLOSET
 SCALE : 3/4" = 1'-0"**



5. W/D WALL



NICOLAS CASCABANO

ARCHITECT, AIA
 14520 Briar Forrest Drive #2308
 Houston, Texas 77077
 ARQUITECTURA3000@ATT.NET



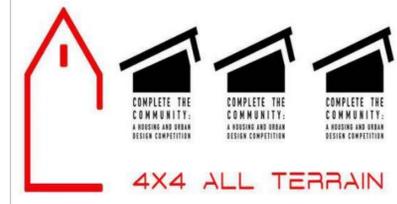
100% SET
 FOR PERMIT

REVISION:
 SET DATED :11.20.2021
 SET DATED :09.27.2021
 SET DATED :08.23.2021
 SET DATED :06.06.2021
 SET DATED :04.04.2021
 VALUE ENGINEERED SET
 SET DATED :03.15.2021

PROJECT NAME:
4X4 ALL TERRAIN
 SINGLE FAMILY RESIDENCE

PROJECT LOCATION:
 4600 ROBERTSON STREET
 Houston, Texas 77009

OWNER:
 CITY OF HOUSTON
 HOUSING AND COMMUNITY DEVELOPMENT DEPT.
 2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
 77002



DRAWING NAME:
KITCHEN

A-17
 SHEET

DATE: 11.20.2021

ROOM FINISH SCHEDULE																															
ROOM NAME	FLOOR							WALLS					MILLWORK WALL BASE		CEILING					DOORS				REMARKS							
	CARPET	SHEET VINYL	VINYL COMPOSITION TILE	CONCRETE	HARDWOOD	PORCELAIN TILE	CERAMIC TILE	MATERIAL				FINISH		MATERIAL	FINISH	MATERIAL			FINISH		HT.	SHELVING MATERIAL	DOORS								
								GYPSUM BOARD - 1/2" REG.	GYPSUM BOARD - 1/2" M.R.	GYPSUM BOARD - 5/8" TYPE "X"	GYPSUM BOARD - 5/8" REG.	SIDING	LIGHT TEXTURE			FLAT PAINT	EGGSHELL PAINT	SEMI-GLOSS PAINT	SHERWIN-WILLIAMS 7631 CITY LOFT	FIBER CEMENT 1X4 MDF BOARD S4S			NONE		CERAMIC TILE	SEMI-GLOSS PAINT	MATCH WALL	GYPSUM BOARD - 1/2" REG.	GYPSUM BOARD - 5/8" TYPE "X"	GYPSUM BOARD - 5/8" REG.	MATCH WALL
LIVING ROOM			X					X				X	X				X	X					X	X	X	21'-8 7/8"					X
LAUNDRY CLOSET			X					X				X	X				X	X							X	8'-0"	X	X			X
KITCHEN			X					X				X	X				X	X							X	8'-0"					X
HALL 1			X					X				X	X				X	X							X	8'-0"					X
BATH 1						X	X	X				X	X	X			X	X					X	X	X	8'-0"	X	X			X
BEDROOM 1			X					X				X	X				X	X							X	8'-0"	X	X			X
CLOSET 1			X					X				X		X			X	X				X	X	X	8'-0"	WIRE	X		X		X
HALL 2	X							X				X	X				X	X							X	8'-0"					X
BATH 2						X	X	X				X	X	X			X	X						X	X	8'-0"	X	X			X
BEDROOM 2	X							X				X	X				X	X						X	12'-1 1/8"	X	X			X	
CLOSET 2	X							X				X		X			X	X				X	X	X	8'-0"	WIRE	X		X		X
BEDROOM 3	X							X				X	X				X	X						X	8'-0"	X	X			X	
CLOSET 3	X							X				X		X			X	X				X	X	X	8'-0"	WIRE	X		X		X
HVAC/WATER HEATER CLOSET								X				X		X			X	X						X	8'-0"	X	X			X	DOOR VENT AS REQUIRED

TYP.VINYL PLANK:
Sterling Oak 8.7 in. W x 47.6 in. L Luxury Vinyl Plank Flooring

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Houston, Texas 77077
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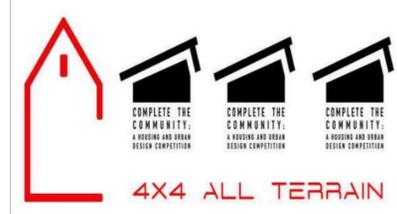
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HOUSING AND COMMUNITY DEVELOPMENT DEPT.
2100 TRAVIS STREET | 9TH FLOOR | HOUSTON TX
77002



DRAWING NAME:
INTERIOR FINISH SCHEDULE

A-18
SHEET

DATE: 11.20.2021