

**CERTIFICATE OF APPROPRIATENESS**

**Applicant:** Tomesha Hobson owner

**Property:** 1512 Ashland Lot 24, Block 145, Houston Heights Subdivision. The property includes a 1,500 square foot converted garage situated on a 4,408.8 square foot (33.4' x132') lot.

**Significance:** Noncontributing converted 2 story residence, constructed circa 1930, remodeled in 1993 and located in the Houston Heights Historic District West.

**Proposal:** New Construction – primary residence and garage

- Existing non-contributing building will be demolished (exempt).
- Primary residence of 2,046 sq ft and detached garage with apartment of 882 sq ft
- Primary residence with pier and beam foundation
- Cladding of primary residence proposed is smooth cementitious siding and stucco. Garage will also be smooth cementitious siding.
- 7/12 roof pitch on primary residence 5/12 on garage, shingle roof
- Recessed, inset vinyl windows
- Garage will be alley loading
- Meets Heights Design Guidelines

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation: Approval**

**HAHC Action: -**



**HEIGHTS DESIGN GUIDELINES**

**HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS**

**S D NA**

S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<b>&lt;4000</b>	.44 (44%)
<b>4000-4999</b>	.44 (44%)
<b>5000-5999</b>	.42 (42%)
<b>6000-6999</b>	.40 (40%)
<b>7000-7999</b>	.38 (38%)
<b>8000+</b>	.38 (38%)

Existing Lot Size: 4,408.8

Proposed Lot Coverage: 1,313sqft

Proposed Percentage: .29 (28%)

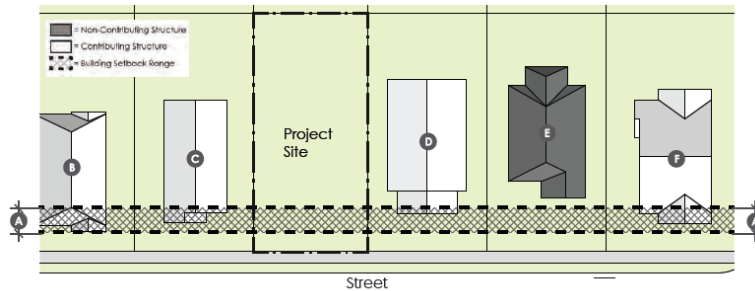
Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<b>&lt;4000</b>	.48
<b>4000-4999</b>	.48
<b>5000-5999</b>	.46
<b>6000-6999</b>	.44
<b>7000-7999</b>	.42
<b>8000+</b>	.40

Existing Lot Size: 4,408.8

Proposed FAR: .46

Front Setbacks (New Construction)



KEY	MEASUREMENT	APPLICATION
A	RANGE	Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area.

Proposed front setback: 20" on figure ground  
 Plans to be inline with 1524 Ashland – see updated site plan

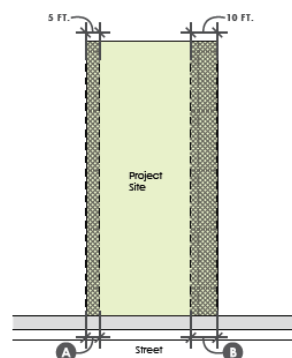
Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 10'

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (1): North 3'4"  
 Proposed side setback (2): South 4'  
 Cumulative side setback: 7'4"  
 \*ok due to atypical width of lot size (33.4 ft width)

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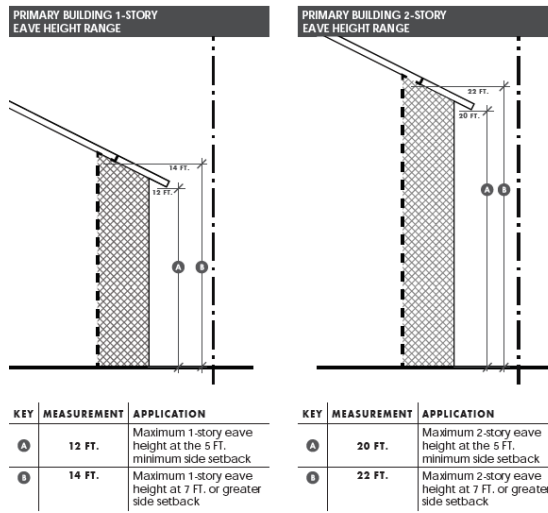
Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 58'  
Inset Length: 2' 8"

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Eave Height (Addition and New Construction)



Proposed eave height: 21' *\*ok due to atypical width of lot size*

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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 29"  
Proposed first floor plate height: 11' *\*ok due to atypical width of lot size*  
Proposed second floor plate height: 9'

Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

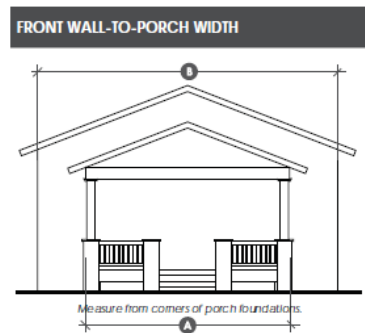
Porch Eave Height: 11"

Front Wall Width and Insets (New Construction)

MEASUREMENT	APPLICATION
30 FT.	Maximum front wall width before inset
4 FT.	Minimum width of inset section of front wall
40 FT.	Maximum width of 1-story building for lots </= 50 ft wide
35 FT.	Maximum width of 2-story building for lots </= 50 ft wide
50 FT.	Maximum width of building for lots > 50 ft wide

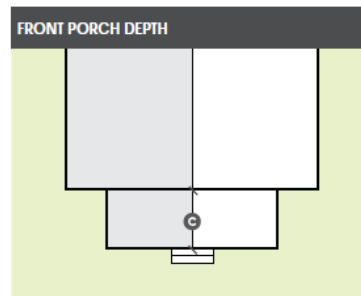
Proposed front wall width: 27'

Front Porch Width and Depth (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	Porch Width	
B	House Width at Front Wall	

KEY	MEASUREMENT	APPLICATION
A	50%	Minimum percentage of front wall width that is covered by porch

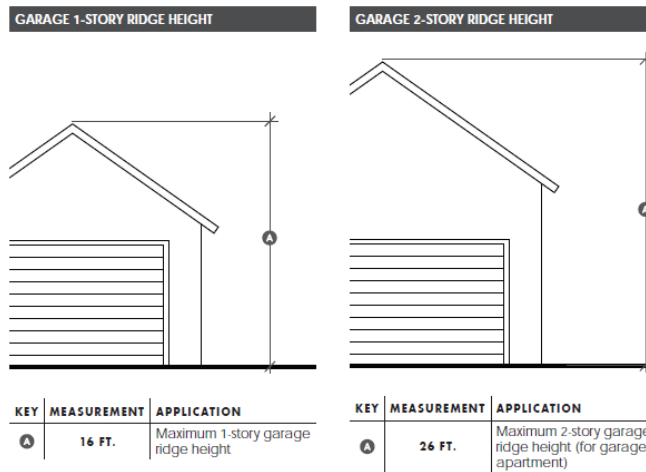


KEY	MEASUREMENT	APPLICATION
C	6 FT.	Minimum depth of front porch

Proposed front porch width: 16 ft, 59%  
Front Porch Depth: 6ft



Detached Garage Ridge Height (New Construction)



Proposed ridge height: 25' 3-1/2"



PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT WEST



Building Classification

- Contributing
- Non-Contributing
- Park



**INVENTORY PHOTO**



**CURRENT PHOTO**

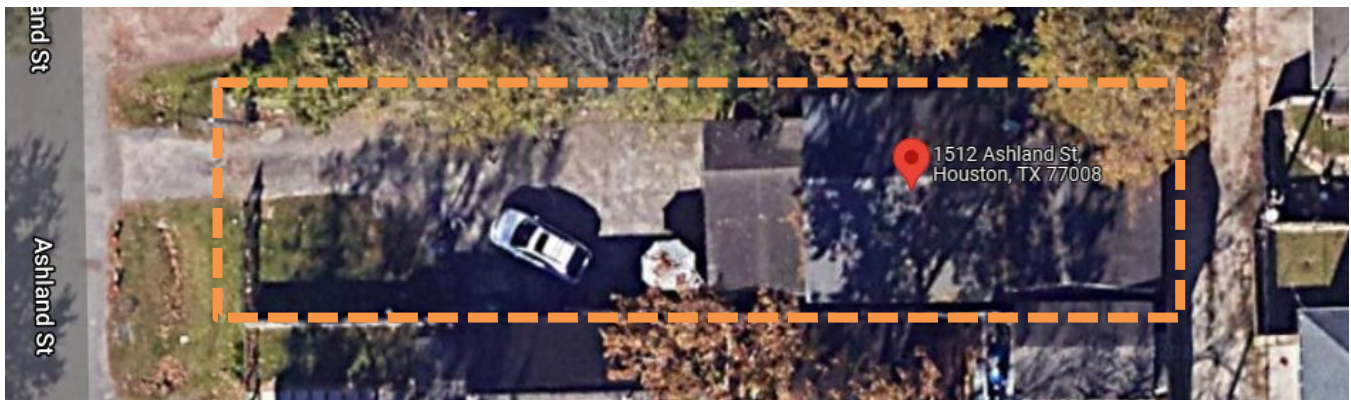




CURRENT PHOTO

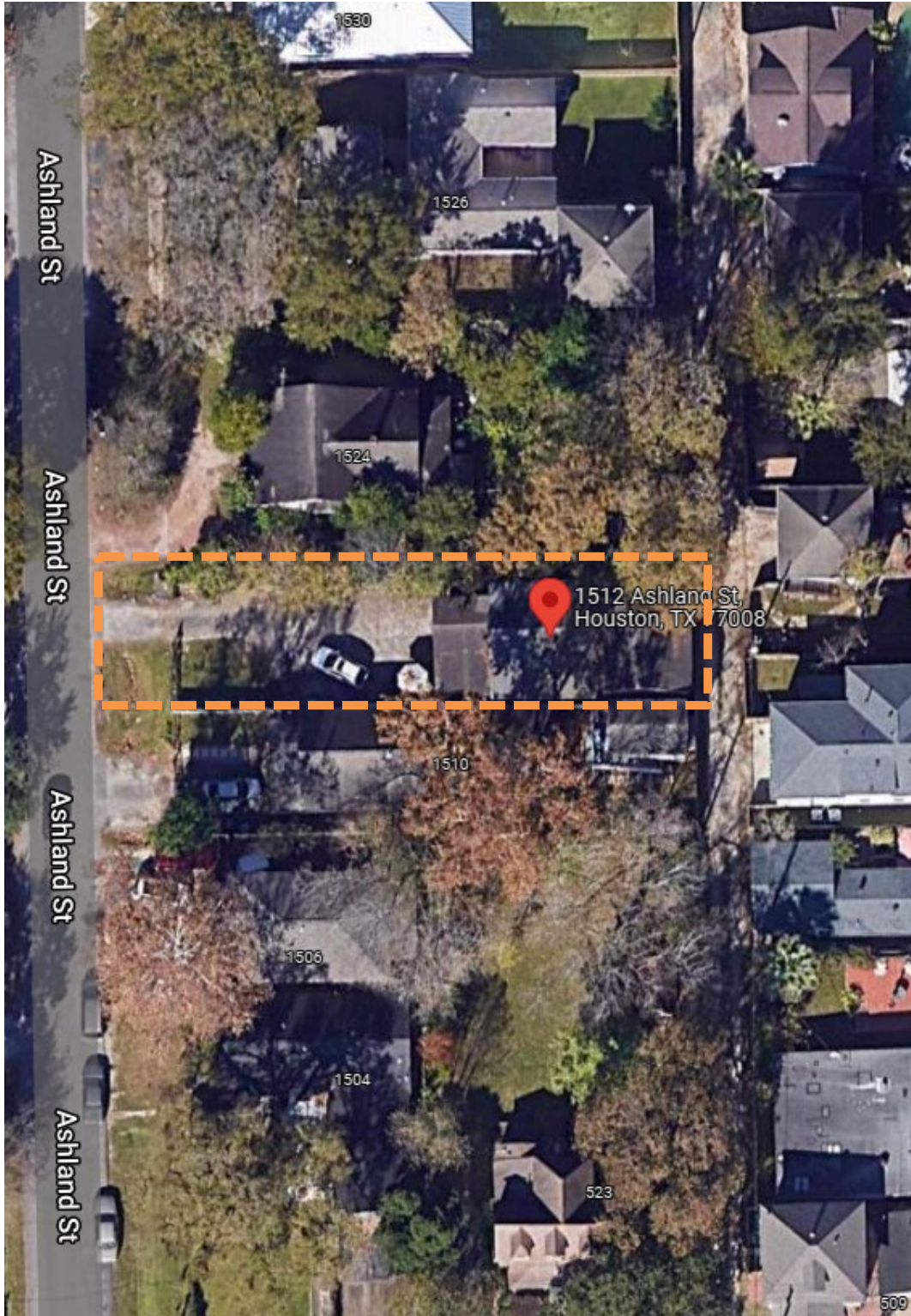


CURRENT AERIAL





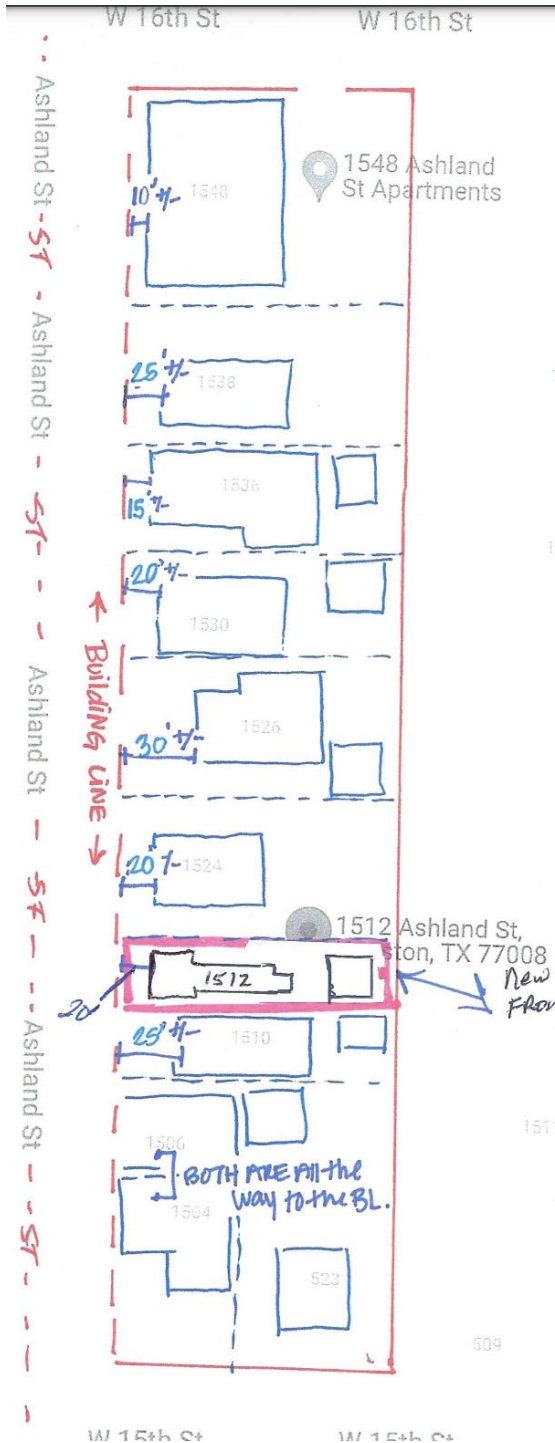
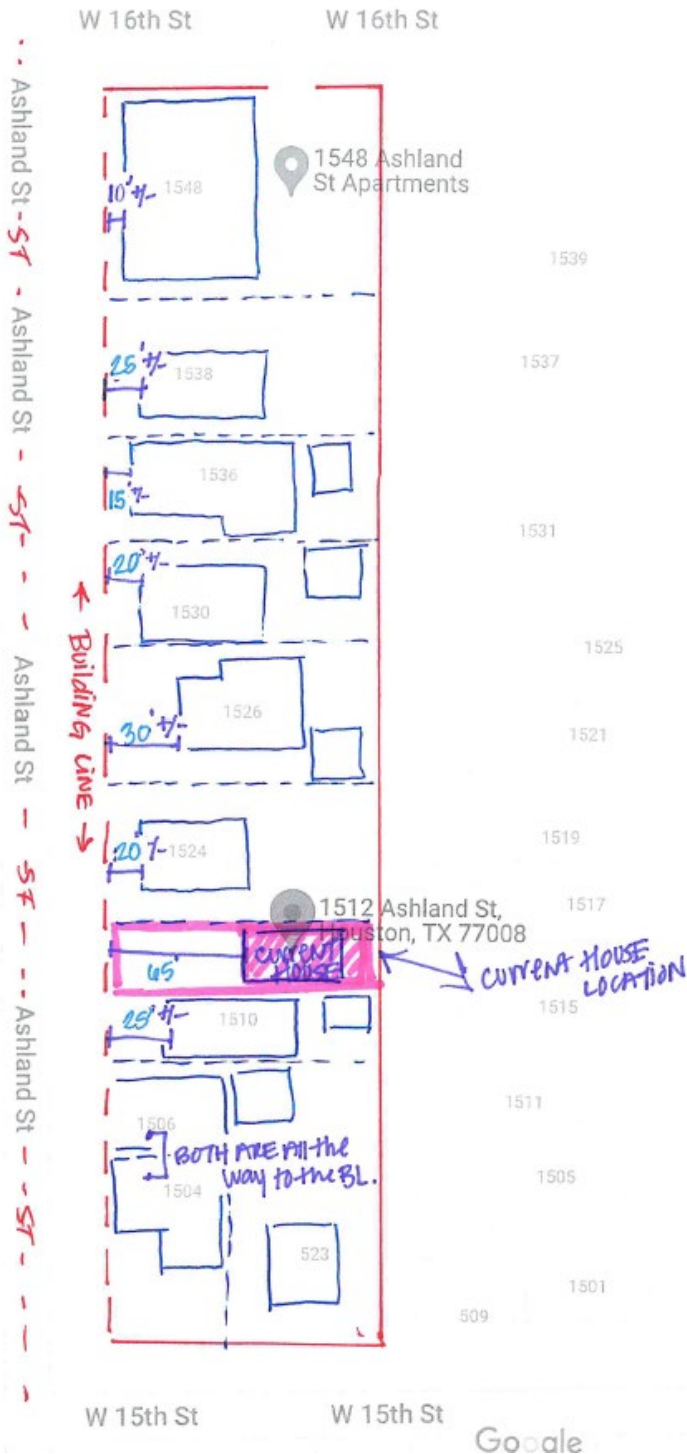
CURRENT AERIAL/CONTEXT- SETBACKS



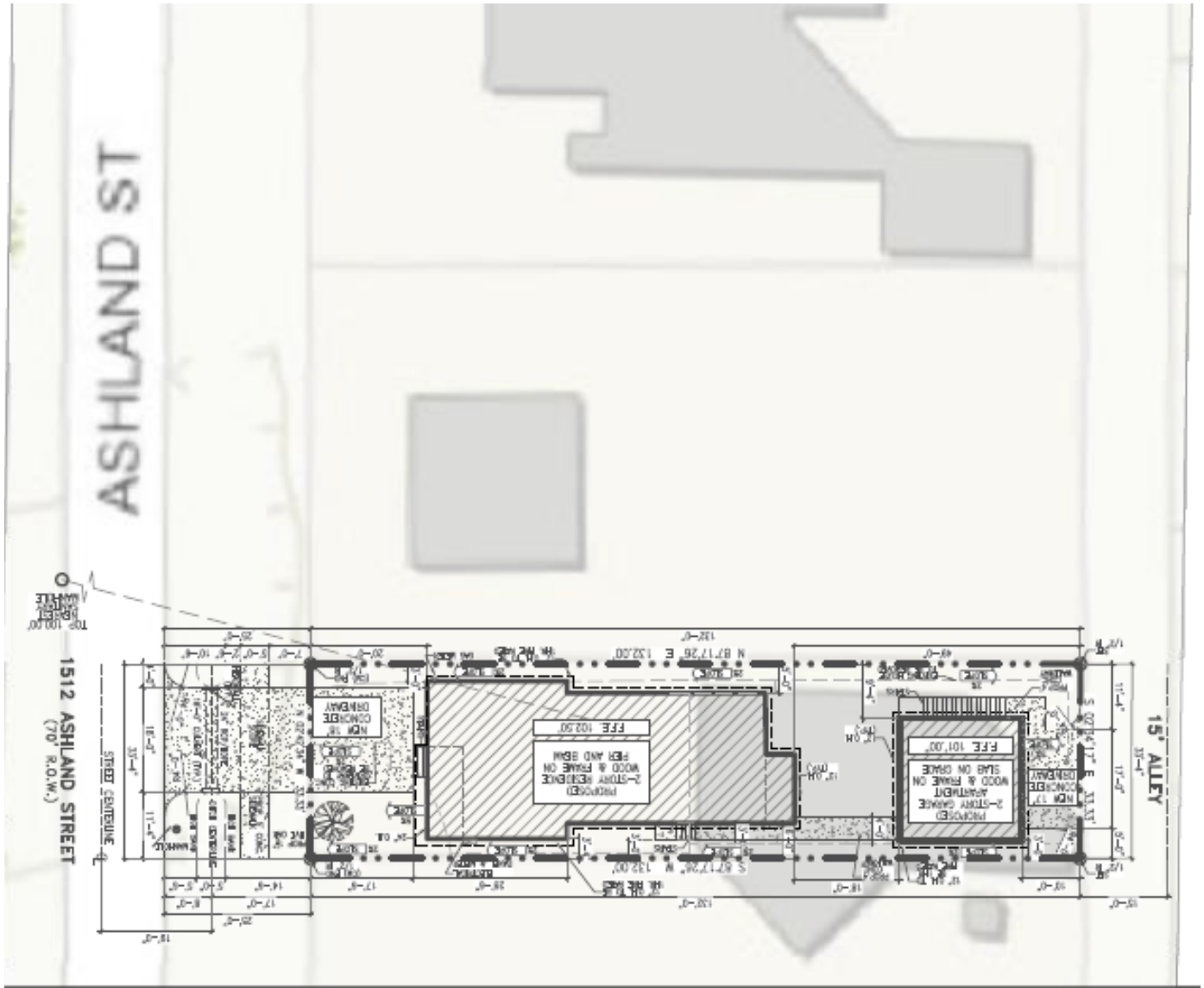
FRONT SETBACKS

EXISTING

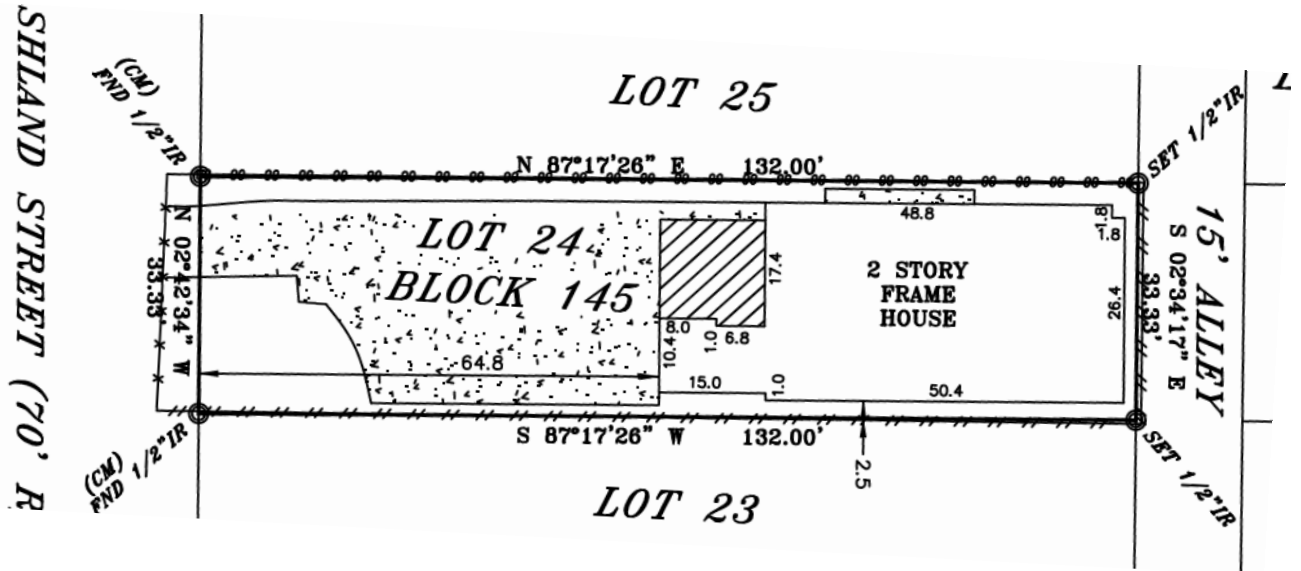
PROPOSED



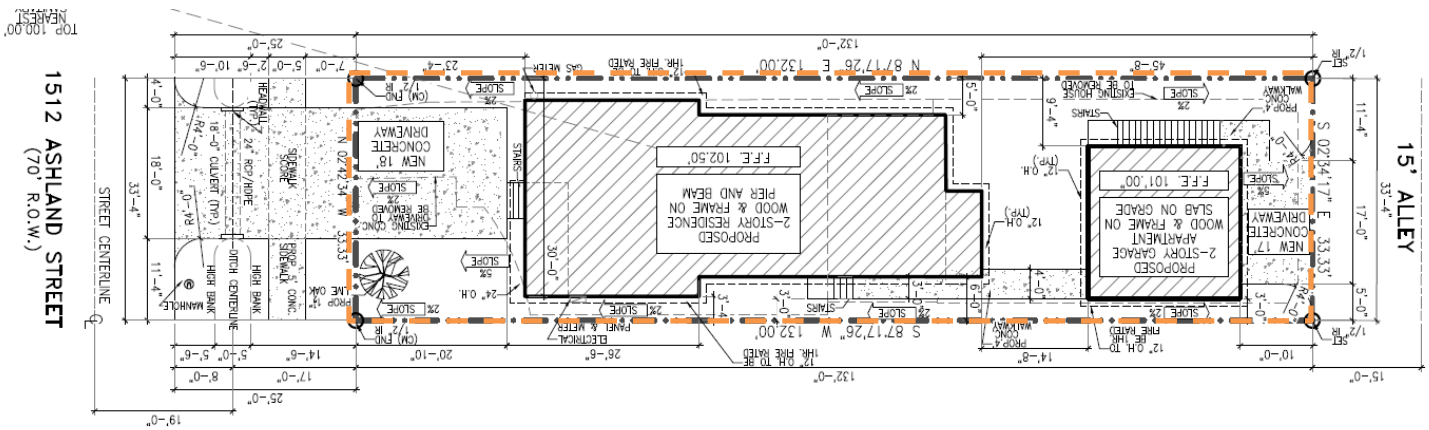
FRONT SETBACKS



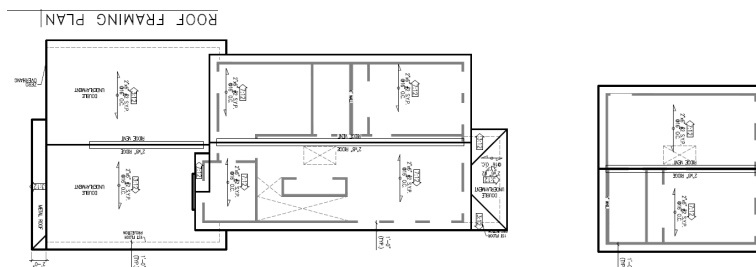
EXISTING - SURVEY



PROPOSED SITE PLAN

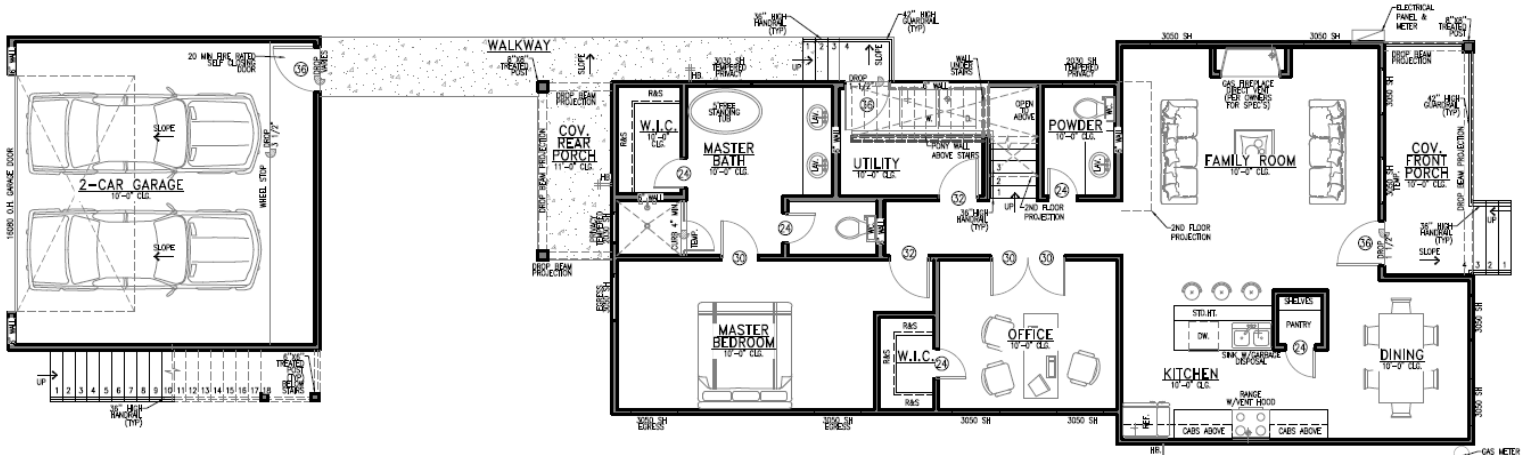


PROPOSED ROOF PLAN

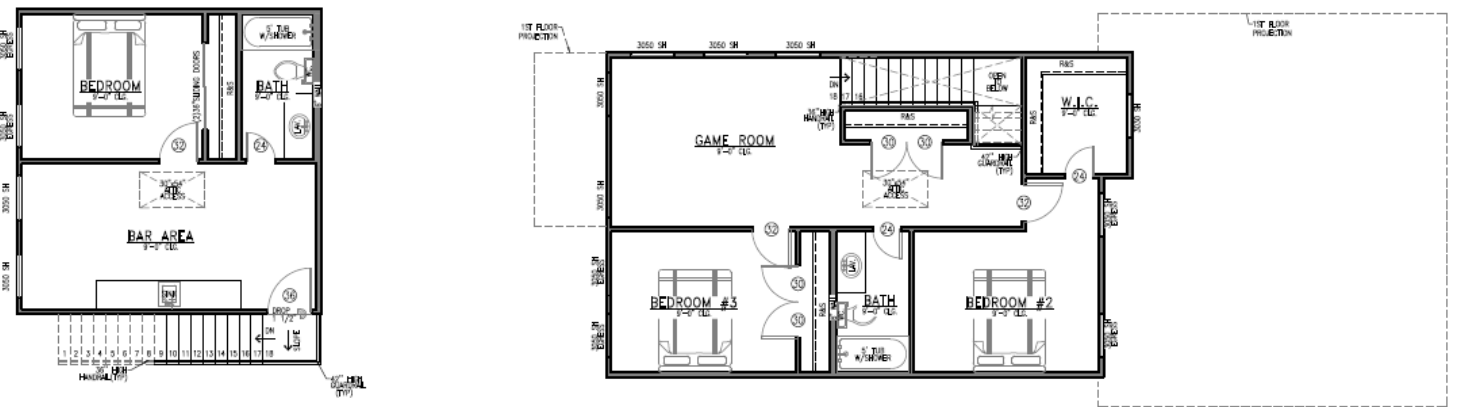




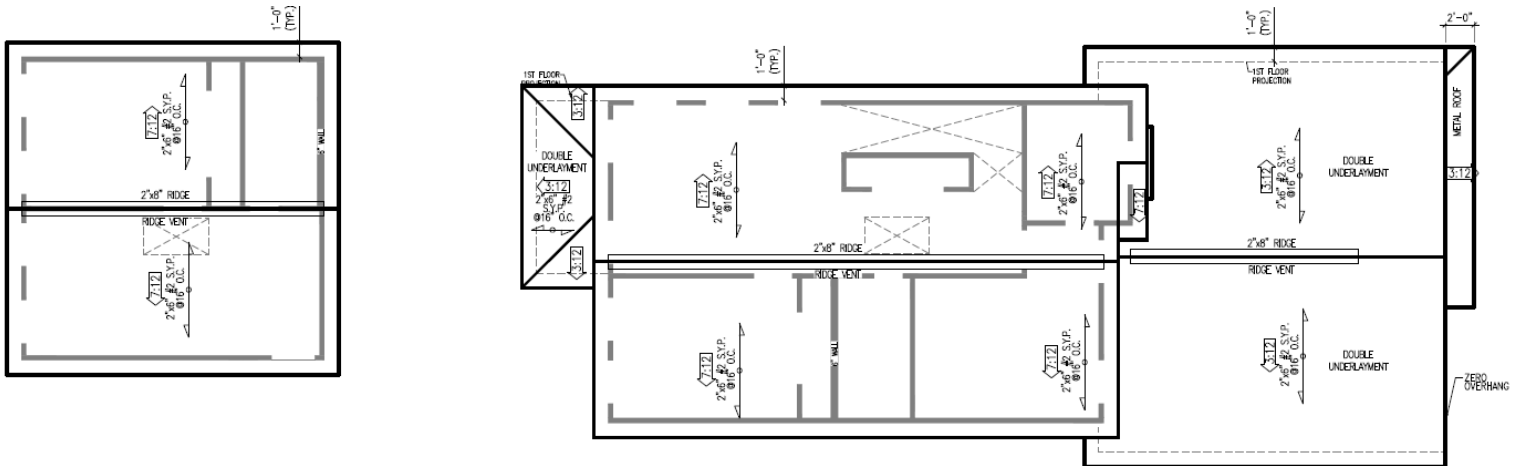
FIRST FLOOR PLAN - PROPOSED



SECOND FLOOR PLAN - PROPOSED



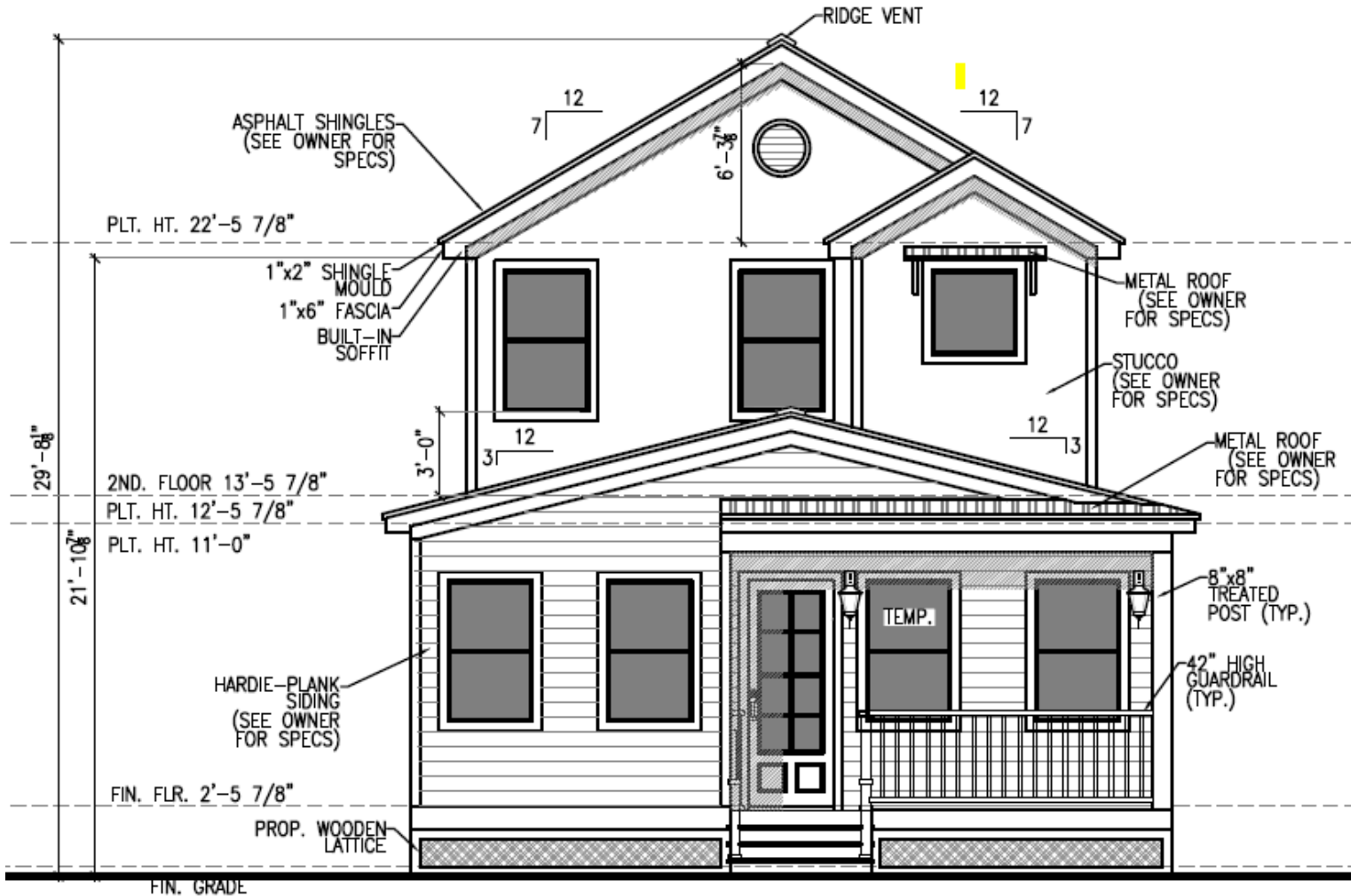
ROOF PLAN - PROPOSED



ROOF FRAMING PLAN

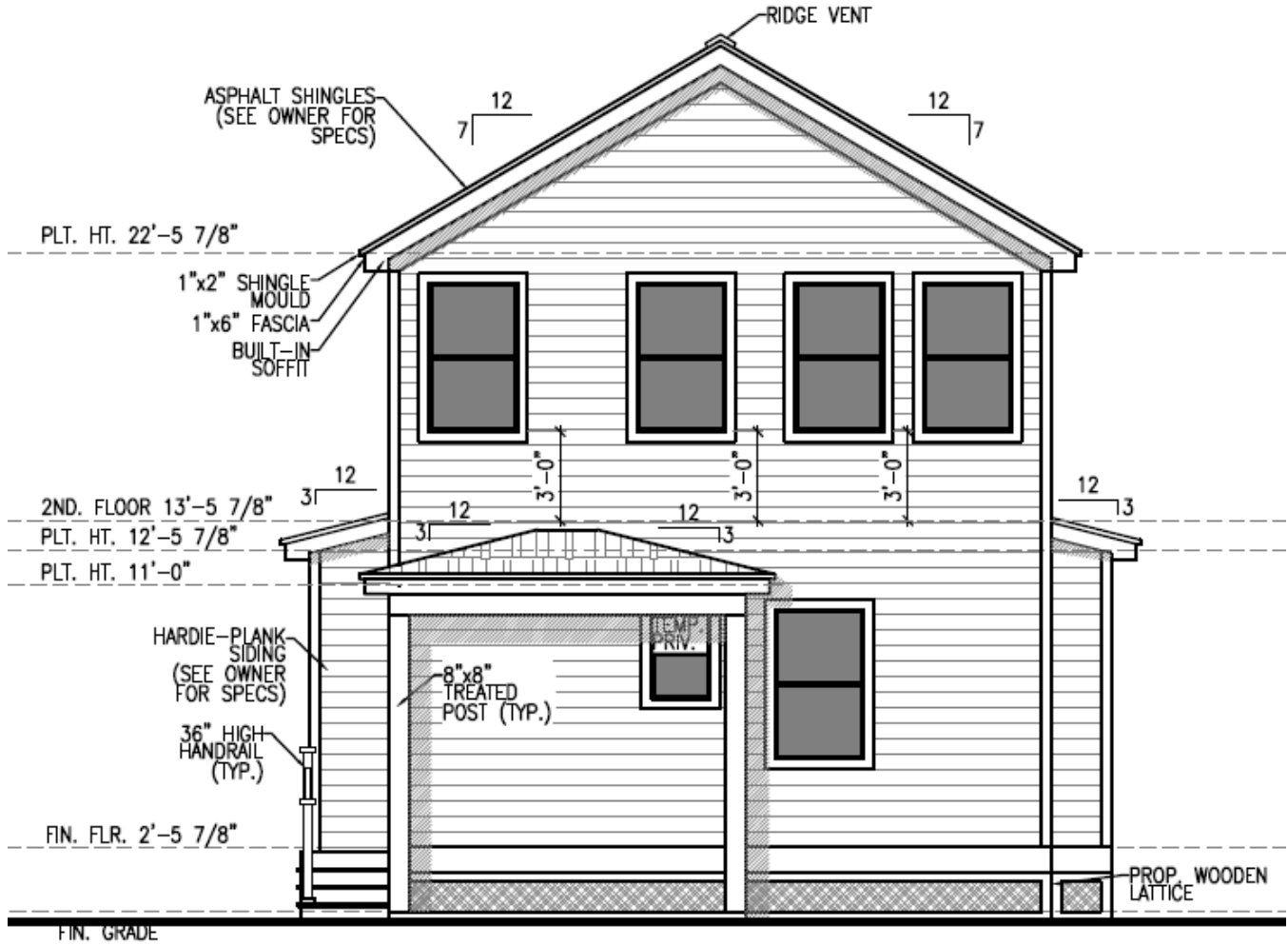
WEST ELEVATION – FRONT FACING ASHLAND

PROPOSED





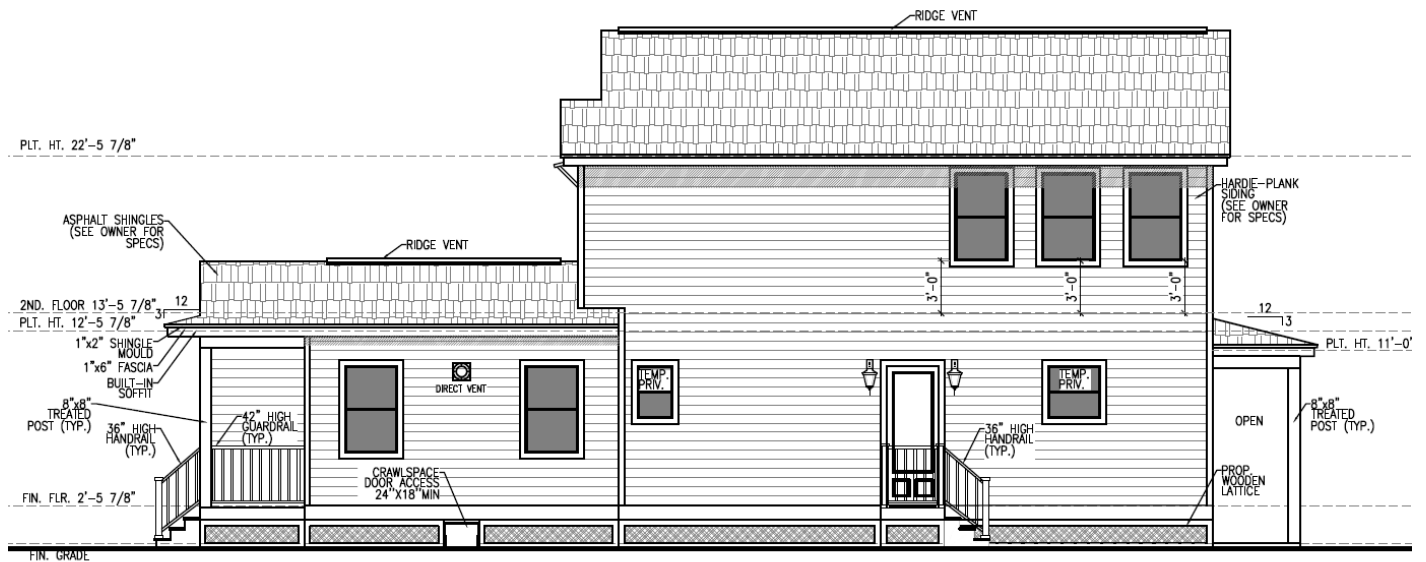
**WEST SIDE ELEVATION (REAR)**  
**PROPOSED**



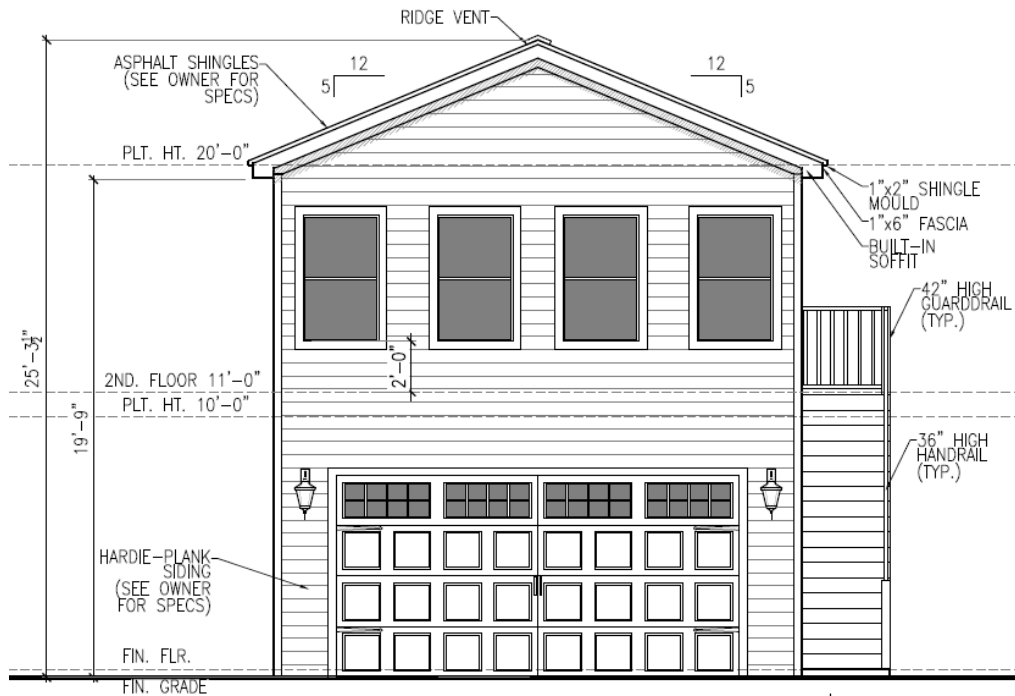
**WEST SIDE ELEVATION (REAR)**  
**PROPOSED**



**SOUTH SIDE ELEVATION**  
**PROPOSED**



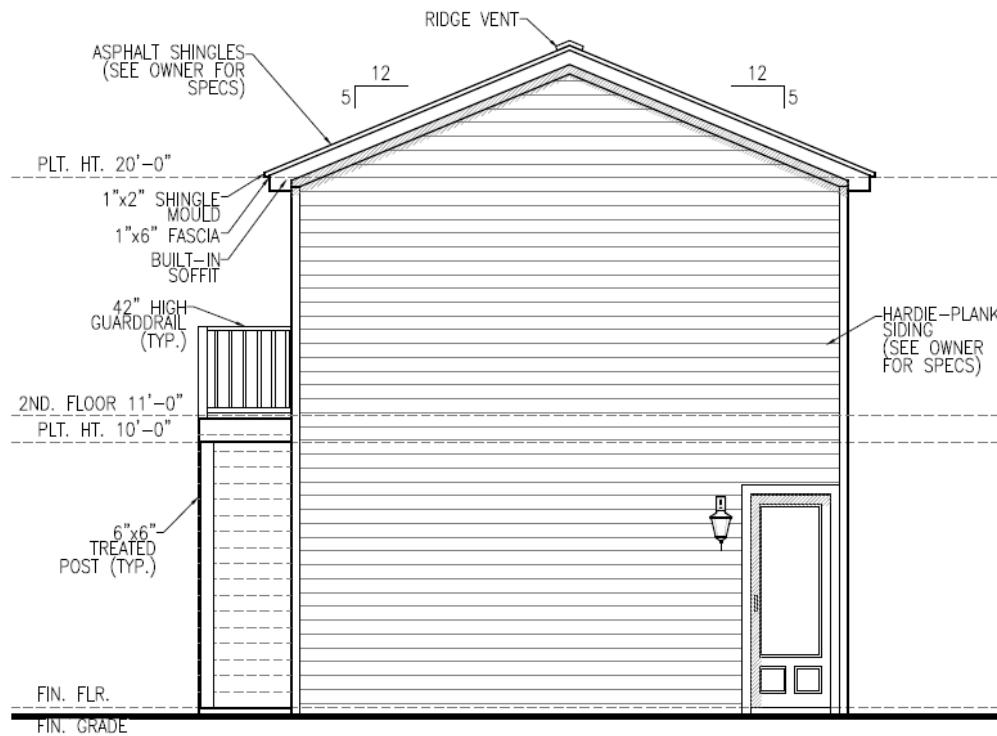
**WEST SIDE ELEVATION (REAR-FACING ALLEY)**



**EXTERIOR ELEVATION**

FRONT (DETACHED GARAGE)

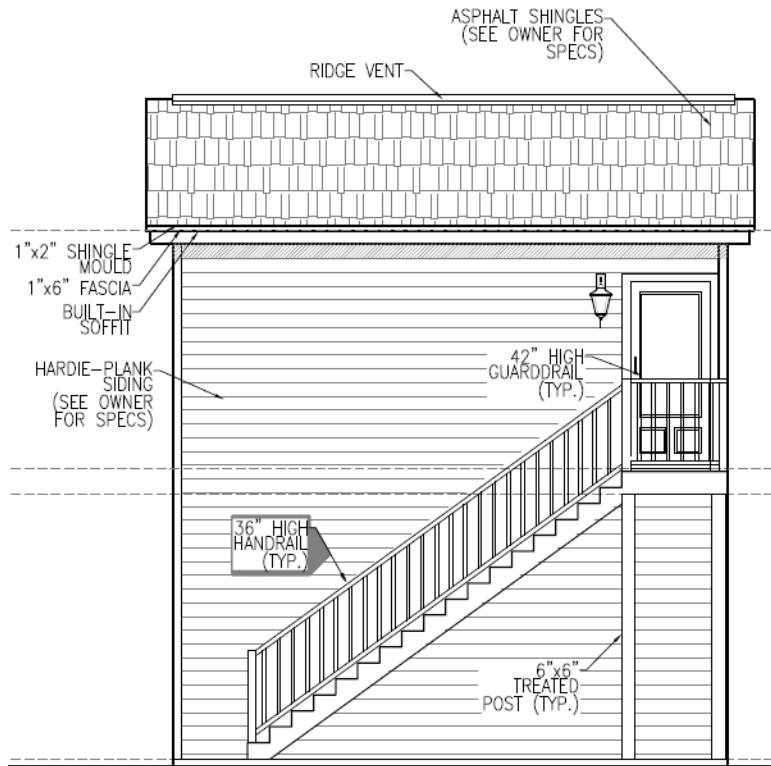
SCALE: 3/16" = 1'-0"



**EXTERIOR ELEVATION**

REAR (DETACHED GARAGE)

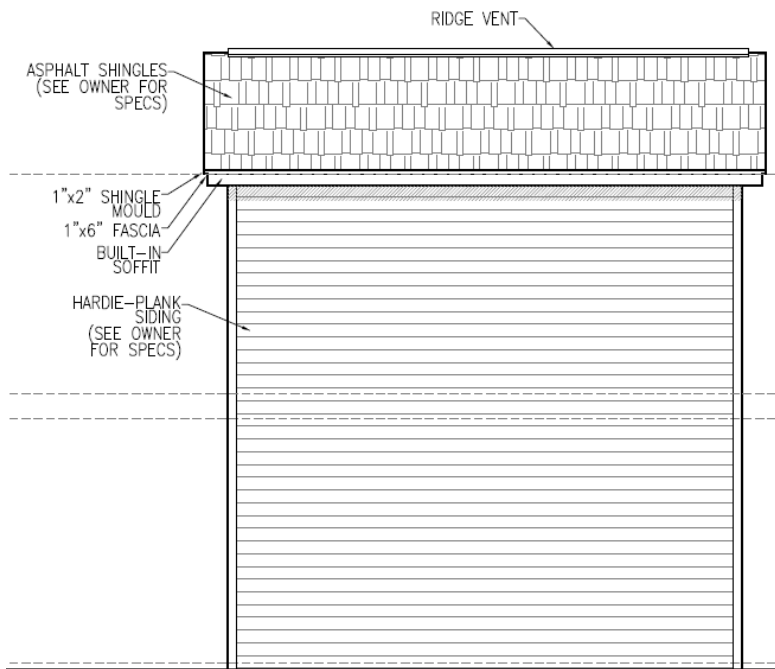
SCALE: 3/16" = 1'



EXTERIOR ELEVATION

RIGHT (DETACHED GARAGE)

SCA



EXTERIOR ELEVATION

LEFT (DETACHED GARAGE)

S

**Mi**

**3500**  
SINGLE-HUNG

## 3500 Vinyl Single-Hung Window

The 3500 vinyl single-hung window offers **handcrafted quality, exceptional durability, and optimal energy efficiency.** With standard features that include a pre-punched mounting fin and removable sash for easy drywall pass through, our 3500 window is ideal for any new home construction project. A stylish beveled profile, full-length lift rail, and metal reinforcements at the meeting rail provide aesthetic and performance benefits that complement the window's builder-friendly attributes.

### PERFORMANCE FEATURES

- Warm-edge spacer system maximizes energy efficiency and improves seal performance of insulated glass units
- Welded, multi-chambered frame and sash for superior strength and energy-efficiency
- Integral J-Channel and mounting fin with pre-punched holes for easy and efficient installations
- Top glass is drop-in tape glazed for easy material pass through
- Heavy-duty weatherstripping for protection against wind, rain, dust, and noise

*Welded multi-chamber mainframe design*

*2 7/8" frame depth*

*Dual-pane insulated glass*

PRECISION BUILT LIMITED LIFETIME WARRANTY IN THE USA

**TOP SELLER**

WARM-EDGE SPACER SYSTEM

DUAL-PANE

PAINTED EXTERIOR

BRICKMOULD

**Standard**  
**Optional**

## Designed smarter, from the inside out

### ENGINEERED TO PERFORM

- Multi-chamber mainframe design
- 2 1/4" frame depth
- 1/2" insulating glass
- Continuous head and sill mulling for twins and triples
- 3 frame styles available
  - fin, flange, finless
- Wood extension jambs available for 4 1/4" and 6 1/4" wall depths
- Available with brickmould accessory and integral J-channel

### CONVENIENCE & STYLE

The 3500 features the following design details on every window:

- Silicone-glazed bottom sash
- Recessed tilt latch
- Full-length lift rail

### SAFETY & SECURITY FEATURES

- Dual-opposing locks create a stronger, safer seal
- Optional tempered glass is four times stronger than non-tempered glass and safer if broken
- Optional obscure glass allows light in while protecting privacy
- Optional Window Operating Control Device (WOCDD) restricts sash opening and reduces the risk of accidental falls

### MIN & MAX SIZING

WIDTH		HEIGHT	
Min	Max	Min	Max
13"	48"	24"	96"
CHS MAX SIZES			
WIDTH		HEIGHT	
Twin (Individual) 47 1/2"		83 1/2" high	
Twin (Overall) 95 1/2"			
Triple (Individual) 35 1/2"			
Triple (Overall) 107 1/2"			

\* Available in 1/4" increments. DP upgrade required for any unit greater than 84" tall. CHS available on XX, XO, OX, XXX, and XXX configurations.

### ENERGY-EFFICIENT GLASS PACKAGES

Our **dual-pane** insulated glass package options help save on heating and cooling costs while enhancing home comfort

- In **cool weather**, insulated glass provides outstanding thermal performance to keep interior glass surfaces closer to room temperature, eliminating cold spots near windows
- In **warm weather**, it helps reduce solar heat gain and minimize glare to improve interior comfort
- Able to meet **ENERGY STAR®** requirements in all four climate zones

GLAZING TYPE	U-VALUE	SHGC	STC
Low-E glass	0.33	0.31	28
Low-E glass with grids	0.33	0.28	28
Argon and Low-E glass	0.30	0.31	28
Argon and Low-E glass with grids	0.30	0.28	28
HP Low-E glass	0.33	0.23	28
HP Low-E glass with grids	0.33	0.21	28
Argon and HP Low-E glass	0.30	0.22	28
Argon and HP Low-E glass with grids	0.30	0.20	28
Northern ENERGY STAR® Low-E glass	0.30	0.54	28
Northern ENERGY STAR® Low-E glass with grids	0.30	0.48	28

Note: all values based on standard 1/2" dual-pane IGU unless noted otherwise

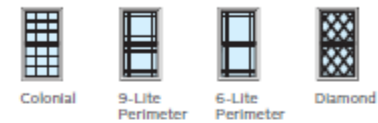


### CREATE A CUSTOMIZED LOOK

#### GRID TYPES & SIZES

- 1/2" flat grids-between-the-glass
- 3/4" sculptured grids-between-the-glass
- 1 1/2" simulated divided light

#### GRID PATTERNS



#### VINYL/EXTRUDED COLORS



#### EXTERIOR LAMINATE\*



#### EXTERIOR PAINT†



\* Exterior laminate available with white interior only; available with 1/2" flat or 3/4" sculptured grids only; not available with J-Channel

† Exterior paint available with 3/4" sculptured grids only; not available with clay exterior or brickmould

OUR MISSION

## Getting It Right Every Time

We build each of our products the same way we built our company: with integrity and precision. Every MI window and door is handcrafted in the United States using state-of-the-art manufacturing techniques, and is backed by vigorous in-house testing procedures. We are 100% committed to offering the styles, value, and performance you're after.

Discover everything we have to offer at [miwindows.com](http://miwindows.com), or by calling 1-717-365-3300.

Instruction/Help	Lot Size	4,408 (sqft)	
		Existing	Proposed
			Increase Removal
First Floor	: 0	1,313	0
Second Floor	: 0	733	0
Enc. Porch or Sunroom ( N )	: 0	0	0
Detached Garage	: 0	441	0
Det. Garage Apt. (2nd fl.)	: 0	0	0
Attached Garage	: 0	0	0
Auxiliary Structure	: 0	0	0
Attached Garage Exemptn(-)	: 0		0
Detached Garage Exemptn(-)	: 0		441
Det. Garage Apt. Exemptn(-)	: 0		0
Max. FAR Sq. Footage(MaxSF)		2,116 (sqft)	
	:		
FAR Total Bldng Area (FTBA)	: 0		2,046
MaxSF - FTBA	: 2,116		70
Meets FAR	: Yes		Yes
Max. Lot Coverage (MaxLC)		1,940 (sqft)	
Total Lot Coverage (TLC)	: 0		1,313
MaxLC - TLC	: 1,940		627
Meets MaxLC	: Yes		Yes

**Certificate Of Appropriateness: New Construction Worksheet**

(For Houston Heights East, West, or South Districts only)



**PLANNING & DEVELOPMENT DEPARTMENT**

Please review Houston Heights Design Guidelines for more clarification or larger images - Section 5 - See link here:

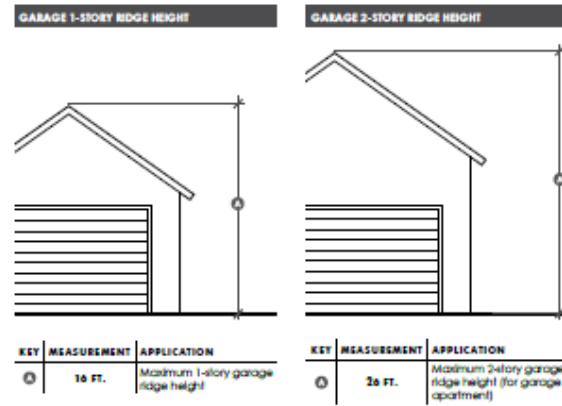
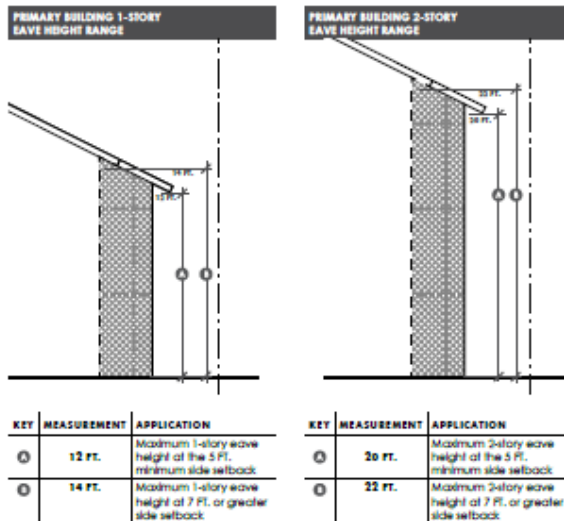
[https://www.houstontx.gov/planning/historicpres/design\\_guide\\_heights\\_district/july2018/houston-heights-design-guidelines-july2018.pdf](https://www.houstontx.gov/planning/historicpres/design_guide_heights_district/july2018/houston-heights-design-guidelines-july2018.pdf)

\* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

**Address\*:** 1512 Ashland St      **Lot Size (Total Sq Ft)\*:** 4408.8  
**Lot Dimensions (W X L)\*:** 33.4 X 132

**General New Construction Info:**

Primary or Accessory Building*	2029	Proposed stories*	2
Proposed Total Square footage*	2123	Proposed max ridge height* measured from grade	29.8125
		Proposed max eave height* measured from grade	21.10875



**Context Area:**

Neighboring Contributing Context Address (must be in same historic district)	Number of stories	Ridge Height *if available	Shares property line with this property-Y/N?
1510 Ashland St	1		y
1526 Ashland St	1.5		y

Neighboring Context Address * if next door neighbor isn't contributing	Number of stories	Ridge Height *if available

Are all windows inset & recessed?  YES or NO

Window Notes:

Please fill out the window worksheet and review guidelines for drawing submissions  
 See link for more info: <https://cohweb.houstontx.gov/HPT/login.aspx>



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[https://www.houstontx.gov/planning/historicpres/design\\_guide\\_heights\\_district/july2018/houston-heights-design-guidelines-july2018.pdf](https://www.houstontx.gov/planning/historicpres/design_guide_heights_district/july2018/houston-heights-design-guidelines-july2018.pdf)

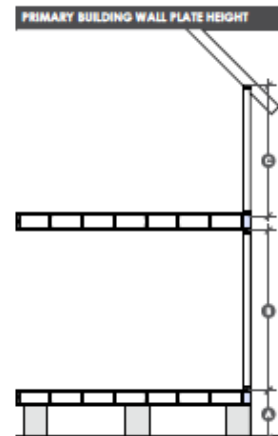
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<b>Address*:</b> 1512 Ashland St	<b>Lot Size (Total Sq Ft)*:</b> 4408.8
	<b>Lot Dimensions (W X L)*:</b> 33.4 X 132

**Building Wall (Plate) Height:**

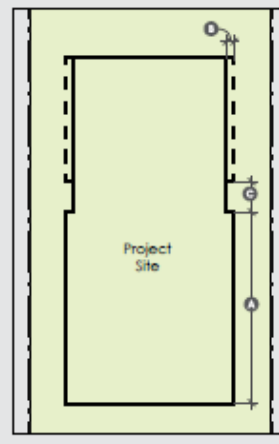
A. Proposed max finished floor height* measured @ front from grade	29.5875 in
B. Proposed first floor height (Plate Height) from max finished floor height	11ft
C. Proposed second floor height (Plate Height) from first floor height	9 ft

KEY	MEASUREMENT	APPLICATION
A	36 IN.	Maximum finished floor height (as measured at the front of the structure)
B	10 FT.	Maximum first floor plate height
C	9 FT.	Maximum second floor plate height



**Max Width/Depth (Overall):**

*widest building wall corner to corner*	Proposed
Max Width*	27
Max Depth*	58
Side wall inset width *if applicable	6ft

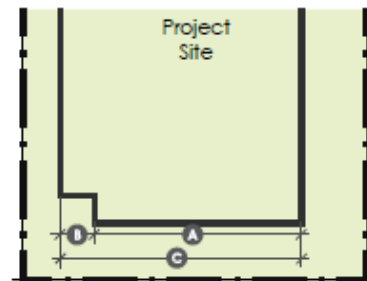


KEY	MEASUREMENT	APPLICATION
A	50 FT.	Maximum side wall length without inset (1-story)
B	40 FT.	Maximum side wall length without inset (2-story)
C	1 FT.	Minimum depth of inset section of side wall (1-story)
D	2 FT.	Minimum depth of inset section of side wall (2-story)
E	6 FT.	Minimum length of inset section of side wall

**Front Wall Width/Insets:**

*widest building wall corner to corner*	Proposed
Max Width*	27
Max Depth*	58
Inset Width	0

KEY	MEASUREMENT	APPLICATION
A	30 FT.	Maximum front wall width before inset
B	4 FT.	Minimum width of inset section of front wall
C	40 FT.	Maximum width of 1-story building for lots <= 50 ft wide
	35 FT.	Maximum width of 2-story building for lots <= 50 ft wide
	50 FT.	Maximum width of building for lots > 50 ft wide



Overall building widths are dependent on the width of the lot. The maximum width of a one-story building on a 50-foot-wide lot with a 10 foot minimum cumulative side setback is 40 feet. As a lot gets wider, the building can be wider, to a point; for every two feet of additional lot width the building can be one foot wider. Smaller increases in lot width qualify for the equivalent increase in building width, using a 2:1 ratio; for example, a 60 foot wide lot could have a maximum 50 foot wide building.

If new construction is a garage, is it front-facing or alley loading?  front-facing  alley loading  not applicable

Front-facing garage which is located with its rear wall at the alley may have a zero foot setback. An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front facing garage or a fence; a 24-foot clearance is preferred.

Please fill out the window worksheet and review guidelines for drawing submissions  
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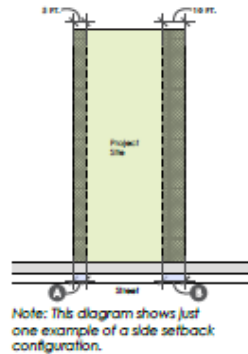
[https://www.houstontx.gov/planning/historicpres/design\\_guide\\_heights\\_district/july2018/houston-heights-design-guidelines-july2018.pdf](https://www.houstontx.gov/planning/historicpres/design_guide_heights_district/july2018/houston-heights-design-guidelines-july2018.pdf)

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 Lot Dimensions (W X L)\*: 33.4 X 132

	Proposed	Shares property line with neighbor -Y/N?
North*	5	y
South*	6	y
East*	50.8	n
West*	48.4	n

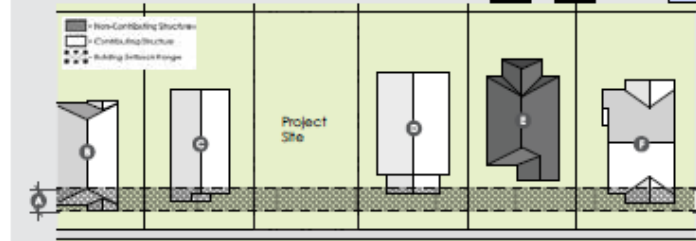
**SEE FIGURE GROUND WORKSHEET NOT CORRECT**



KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
C	15 FT.	Minimum cumulative side setback for a two-story house

Context Area: Are front setbacks within range of contributing buildings for the context area?

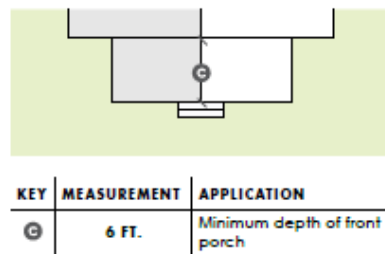
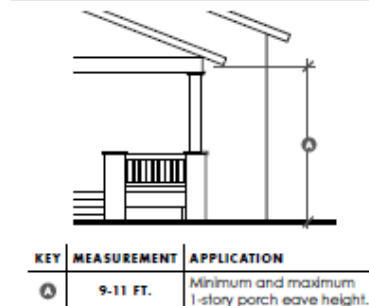
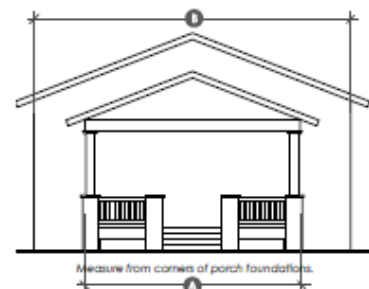
YES  NO  not applicable



If applicable:	Front Setback of Contributing Neighbors (must be in same historic district)
#1	
#2	
#3	

#### Porch Measurements:

Proposed	Front Porch	Rear Porch	Side Porch	Side Porch
Eave Height	11 ft	11 ft		
Width	16ft	12 ft		
Depth	6ft	5 ft		
Railing Height	42inch			
% front wall width covered by porch	59%			



KEY	MEASUREMENT	APPLICATION
A	50%	Minimum percentage of front wall width that is covered by porch

Example:  
 18 ft. Porch Width  
 + 24 ft. Width of Front Wall of House  
 0.69 (69%) Percentage of Front Wall Covered by Porch

**Certificate Of Appropriateness: New Construction Worksheet**

(For Houston Heights East, West, or South Districts only)



**PLANNING & DEVELOPMENT DEPARTMENT**

Please review Houston Heights Design Guidelines for more clarification or larger images - Section 5 - See link here:

[https://www.houstontx.gov/planning/historicpres/design\\_guide\\_heights\\_district/july2018/houston-heights-design-guidelines-july2018.pdf](https://www.houstontx.gov/planning/historicpres/design_guide_heights_district/july2018/houston-heights-design-guidelines-july2018.pdf)

\* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

**Address\*:** 1512 Ashland St      **Lot Size (Total Sq Ft)\*:** 4408.8

**Lot Dimensions (W X L)\*:** 33.4 X 132

Square Footage/Maximum Lot Coverage:			Proposed
<b>LOT SIZE</b>	<b>MAXIMUM LOT COVERAGE</b>	Ground Floor Square Footage of Primary Building (HCAD)* <small>*please include sunrooms or enclosed porches w/ walls or windows</small>	1313
<4000	.44 (44%)	Attached Garage or Storage Space Square Footage	0
4000-4999	.44 (44%)	Detached Garage, Garage Apartment or Accessory Building Square Footage	441
5000-5999	.42 (42%)		
6000-6999	.40 (40%)	<small>* Subtract detached garages more than 528 square feet by 528 square feet. If smaller than 528 sq ft, please subtract only the amount less than 528 sq ft.</small>	
7000-7999	.38 (38%)		
8000+	.38 (38%)		
<b>Total Lot Coverage (base sq ft)* =</b>			<b>1313</b>
<b>Total Lot Coverage (% based on lot size)* =</b>			<b>30%</b>

Floor to Area Ratio (FAR):			Proposed
<b>LOT SIZE</b>	<b>MAXIMUM FAR</b>	Living Space/Conditioned SQ FT of Primary Building (HCAD)* <small>*please include sunrooms or enclosed porches w/ walls or windows, attics with dormers</small>	2029
<4000	.48	+ Attached Garage or Storage Space Square Footage	
4000-4999	.48	+ Detached Garage apartments with area over 400 sq feet	441
5000-5999	.46	Detached Garage, Garage Apartment or Accessory Building Square Footage	441
6000-6999	.44		
7000-7999	.42	<small>* Subtract detached garages more than 528 square feet by 528 square feet. If smaller than 528 sq ft, please subtract only the amount less than 528 sq ft.</small>	
8000+	.40		
<b>FAR (sq ft)* =</b>			<b>2070</b>
<b>FAR (% based on lot size)* =</b>			<b>47%</b>

Please also refer to the FAR calculator in Preservation Tracker and have drawings that accurately support this information\*

**Material Info:**

**Foundation:**

	Proposed
Type*	Pier and Beam
Material *	Steel and Wood

Do you have flooding issues?     YES     NO

**Cladding:**

	Proposed
Primary Siding Material*	Hardie
Primary Siding Width Reveal	Stucco & Hardie
Skirting Material	Wood Lattice
Soffit Material	Ship-lap Wood & Hardie
Fascia Material	Hardie

**Roof:**

	Proposed
Pitch*	7/12
Style*	shingle
Material*	30 year shingle

**Porch Details:**

	Proposed
Decking Material	Treated Wood Paint
Pier/Base Material	Treated Wood Stain
Column Material	Cedar
Step Material	Wood Stair treads stain
Railing Material	Treated Wood/Cedar

Please fill out the window worksheet and review guidelines for drawing submissions

See link for more info: <https://cohweb.houstontx.gov/HPT/login.aspx>