

**CERTIFICATE OF APPROPRIATENESS**

**Applicant:** Robert C. Neff Jr, owner and Kevin A. Barden, agent

**Property:** 1659 North Boulevard, Lot 1, Tract 2A, Block 3, Edgemont Subdivision. The property includes a historic 6,209 square foot, two-story wood frame single-family residence and a detached garage situated on a 19,942 square foot (117' x 169') corner lot.

**Significance:** Contributing Tudor Revival residence, constructed circa 1935, located in the Boulevard Oaks Historic District. Garage built c. 1960 with c.1980 addition, Addition to Primary Residence c. 2001

**Proposal:** New Construction –Garage and Alteration to Primary Residence

- Demolish non-historic garage-built c. 1960 (1,137sqft). This garage encroaches into alley. New Construction will be set back into property.
- Construct 1,723 sq foot detached three car garage with breezeway and outdoor kitchen/living space in brick and cedar shake to match main building. Living space of 992 sq ft and garage space of 802 sq ft. Ridge height, roof pitch and eaves lower than primary residence.
- Aluminum clad wood, inset and recessed, casement windows for new garage apartment.
- Asphalt shingle roof to match main building.
- Alterations to Primary Residence: installation of metal spiral staircase with metal railing on interior rear elevation, minimally visible from the street and new copper awning at rear elevation. Cedar shake shingles on addition will be replaced in kind. Copper awning at rear to be removed and replaced with breezeway connecting the garage.

**Public Comment:** No public comment received.

**Civic Association:** Edgemont Civic Association is in support of the project.

**Recommendation:** Approval

**HAHC Action:** -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

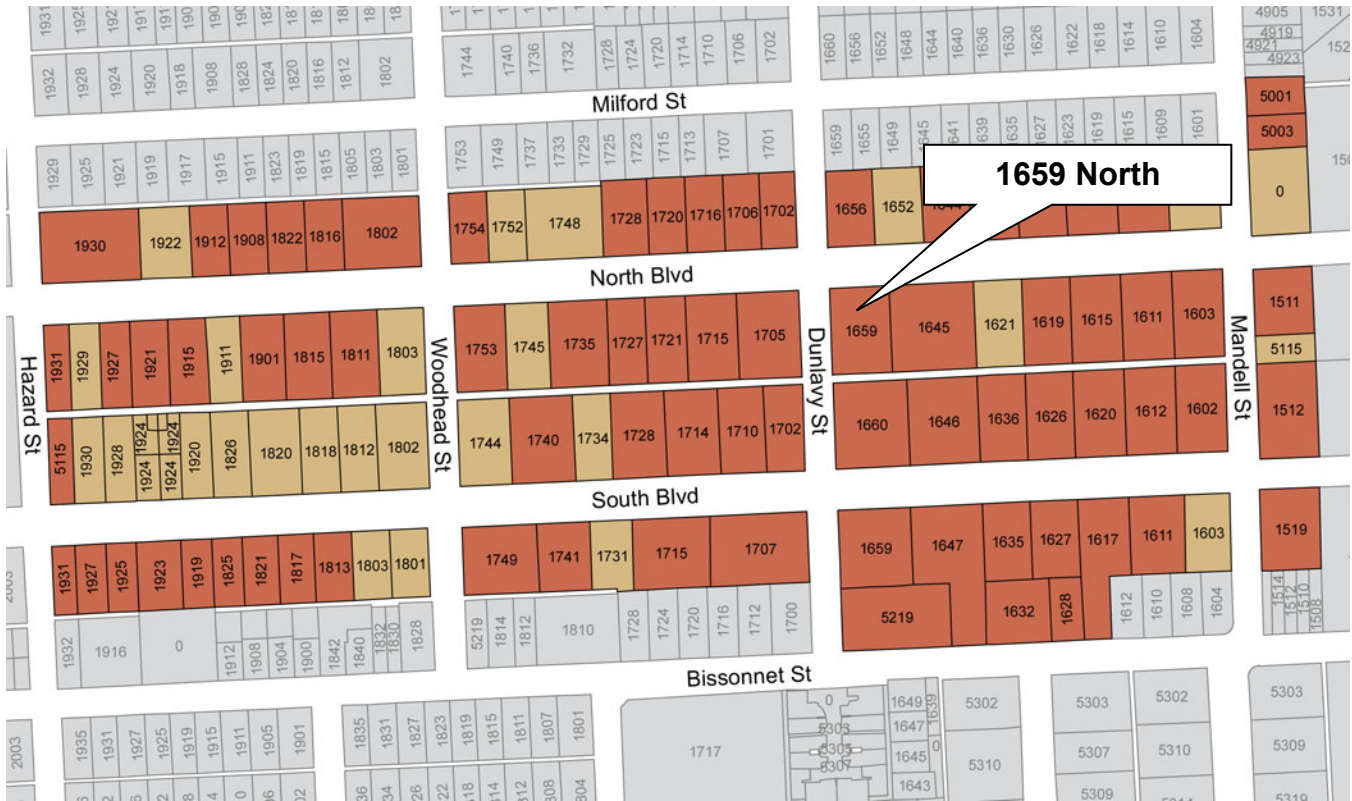
Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.



PROPERTY LOCATION  
BOULEVARD OAKS HISTORIC DISTRICT



**Building Classification**

- Contributing
- Non-Contributing
- Park

**INVENTORY PHOTO**



**CURRENT PHOTO**





CURRENT PHOTO



EXISTING WEST ELEVATION



EXISTING EAST ELEVATION





CURRENT PHOTO





CURRENT PHOTO



CURRENT PHOTO



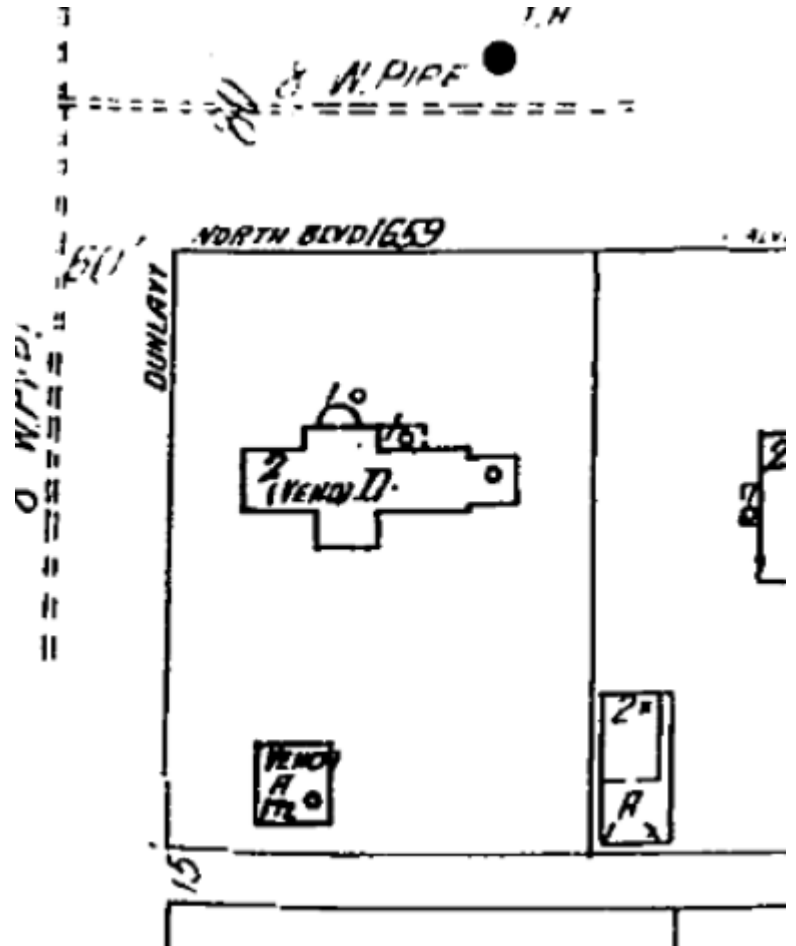
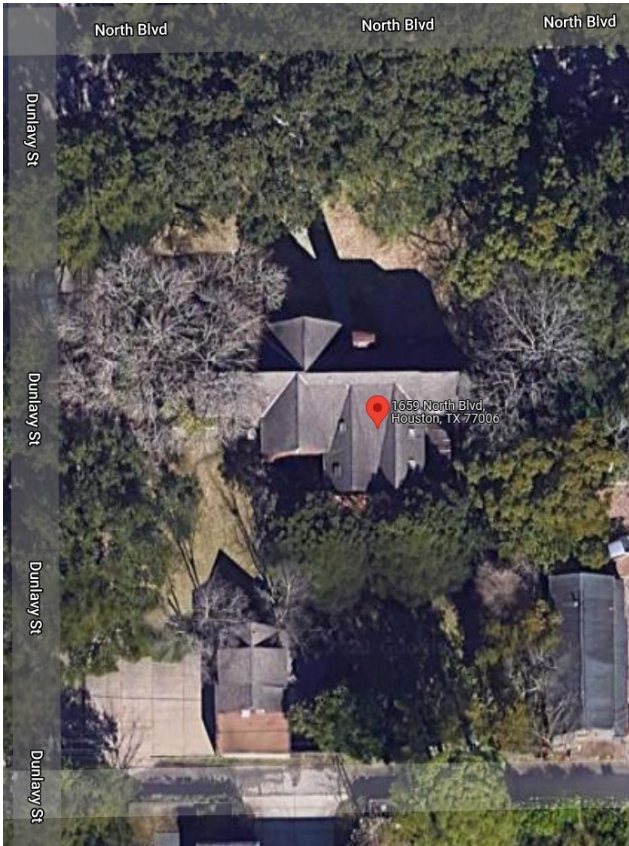




SITE PLAN

EXISTING

SANBORN MAP C. 1950

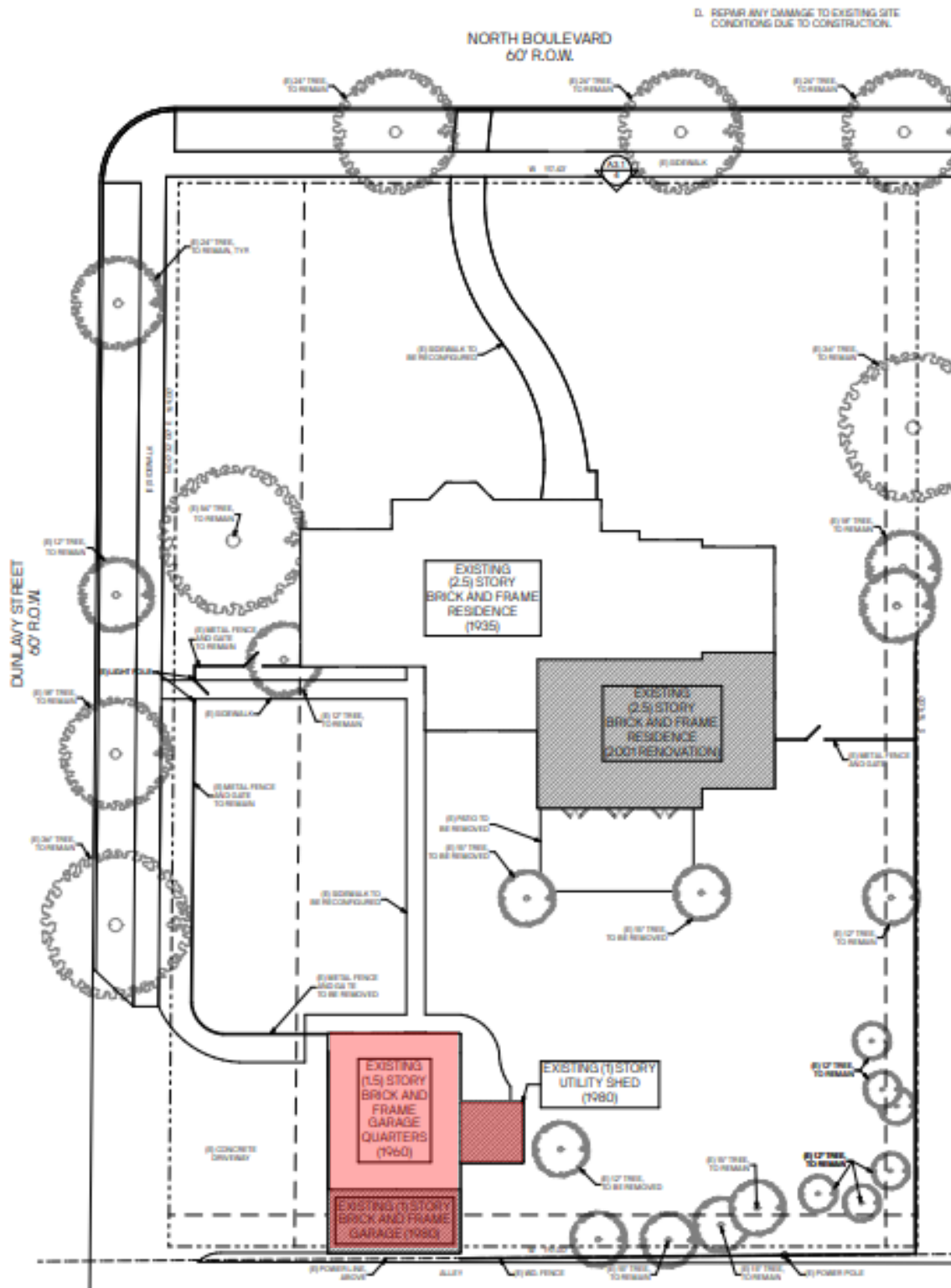


\*GARAGE IN SANBORN WAS DEMOLISHED – NOTE RELATIONSHIP TO ALLEY\*



### SITE PLAN

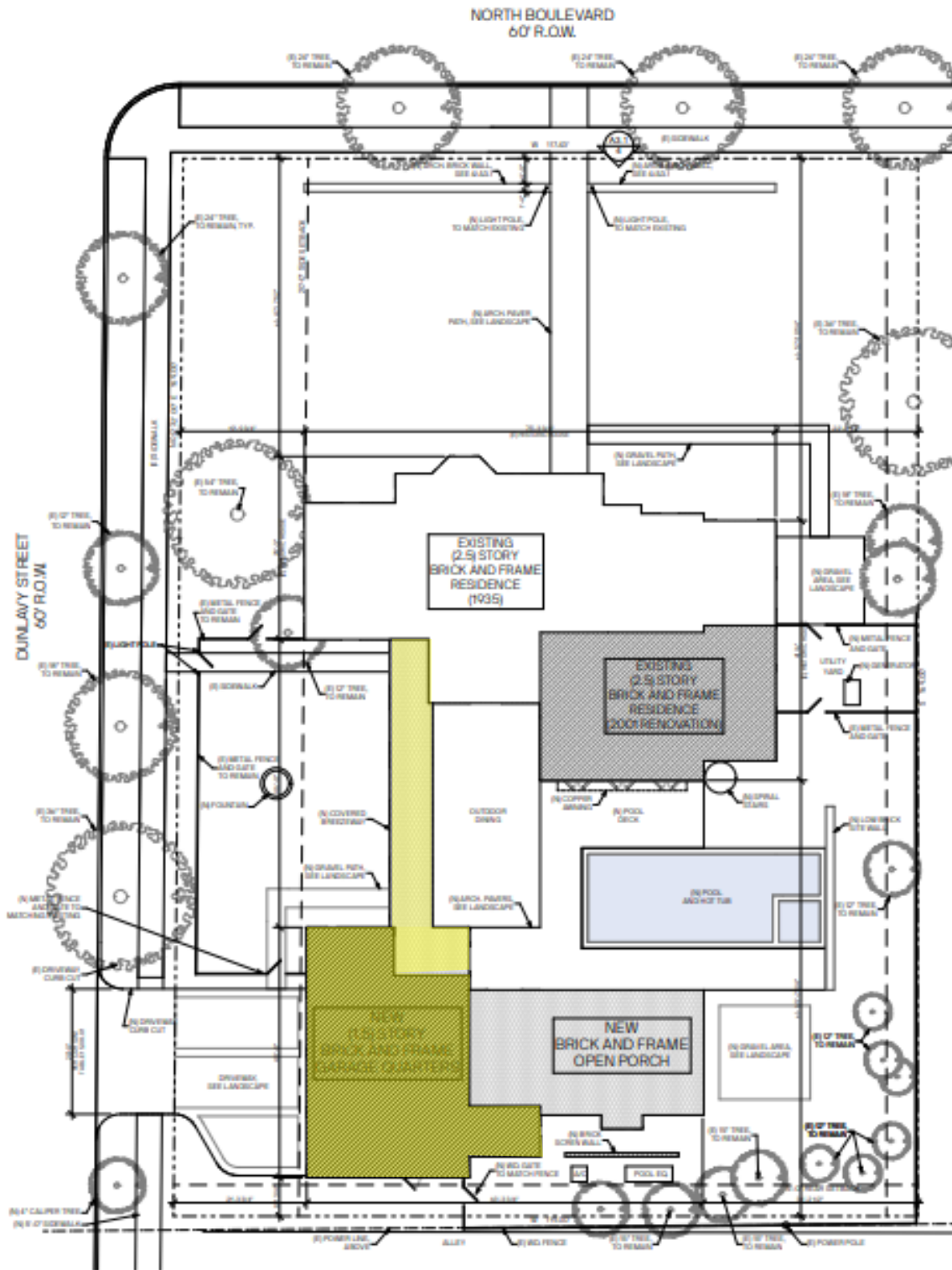
### EXISTING







### SITE PLAN PROPOSED





**SITE PLAN**  
**PROPOSED**

LL LANDSCAPE DESIGN PLAN



**LANDSCAPE GENERAL NOTES**

1. All existing trees in the right of way to be protected with tree protection fencing and in accordance with local regulations.
2. Existing mature trees of East and South Property Lines to be preserved.

**LANDSCAPE LEGEND**

1. Roses in front of brick wall
2. Weeping Willow Trees
3. Front Walkway alignment
4. Front Garden
5. Book Nook
6. Azalea Garden with Fountain
7. Mulistem Native Tree Grove
8. Dining Court with grid of Olive Trees
9. Raised Planter boxes
10. Pool
11. Hot Tub
12. Evergreen Trees
13. Firepit in Gravel Seating Area

**LANDSCAPE MATERIAL PALETTE**



**FRONT WALKWAY:** material and pattern to be coordinated with low threshold wall  
Pictured: Concrete pavers in ashlar pattern and traditional bricks in herringbone with a soldier course.



**POOL PAVING:** Frost Flankstone Architectural Pavers by Hanover, Set in a running bond pattern.



**DECORATIVE GRAVEL AREAS:** Silver Mist Gravel for permeable walkways, dining court, book nook, and firepit.

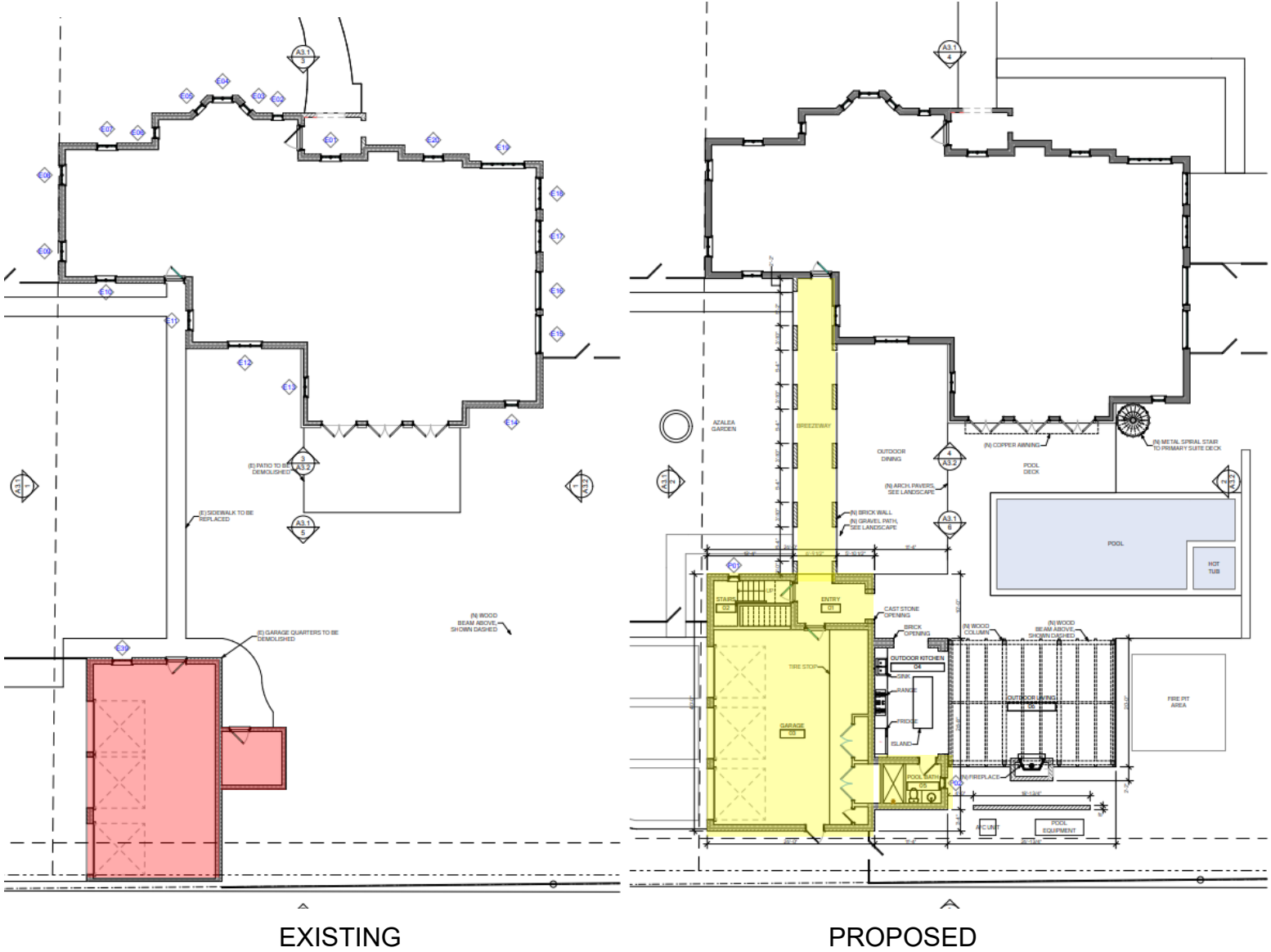


**UTILITY YARD AND MECHANICAL EQUIPMENT AREAS:** River Rock.

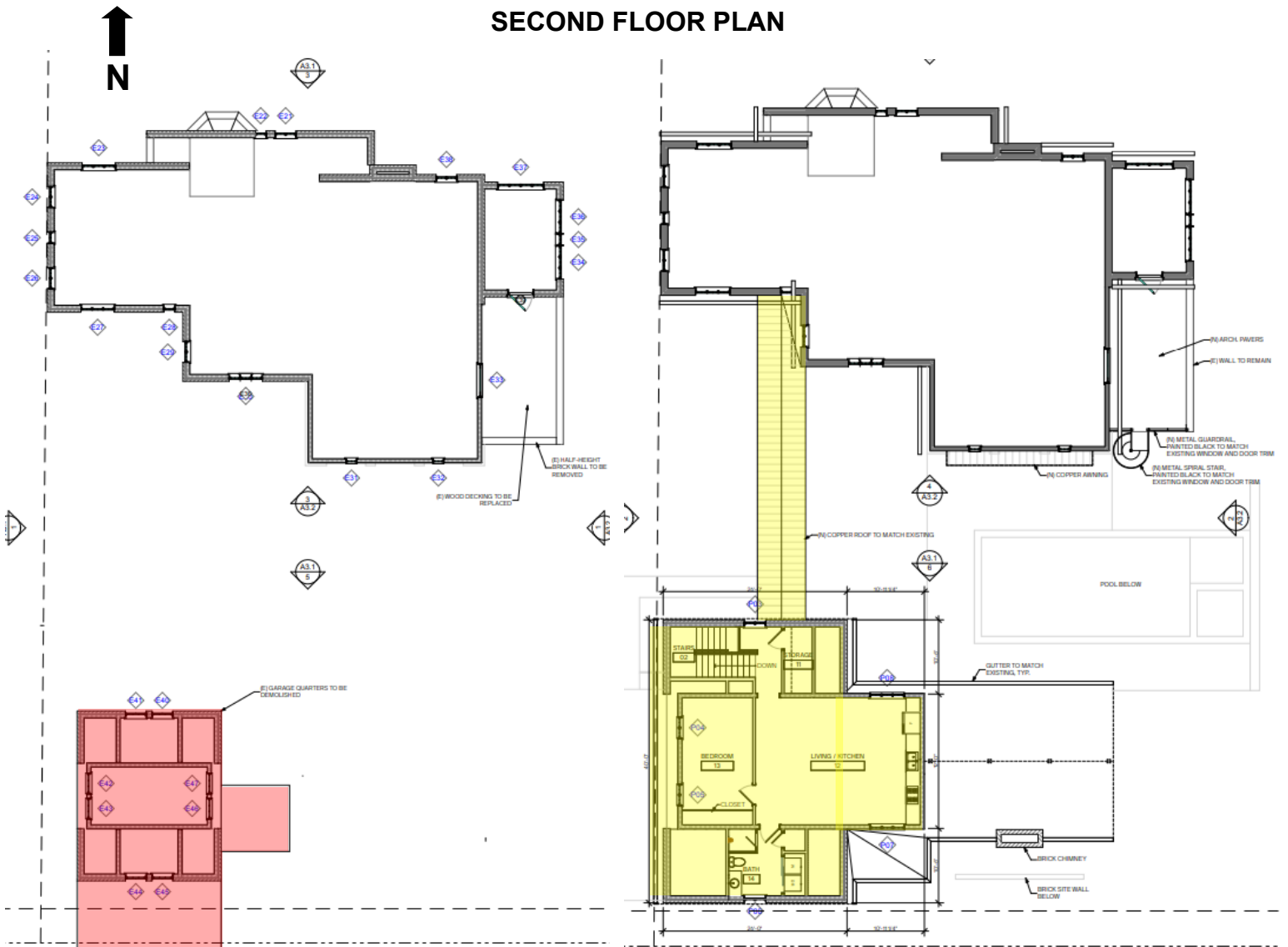




FIRST FLOOR PLAN



SECOND FLOOR PLAN

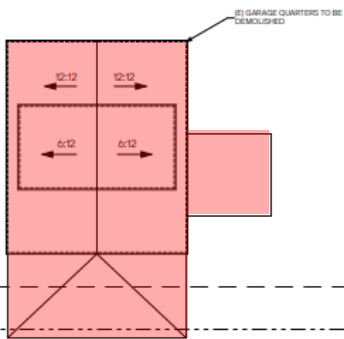
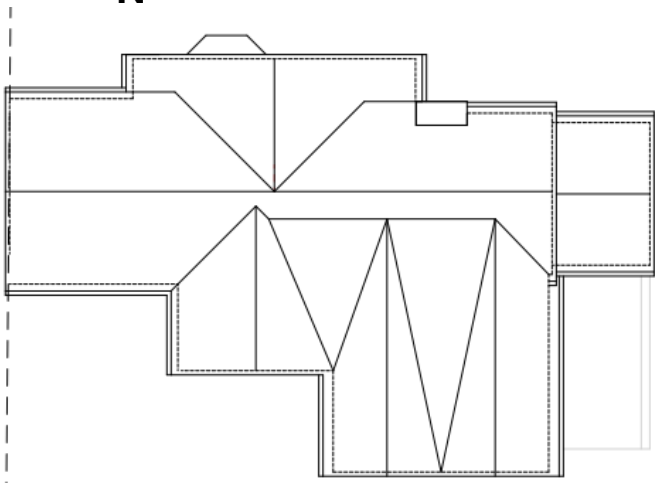


EXISTING

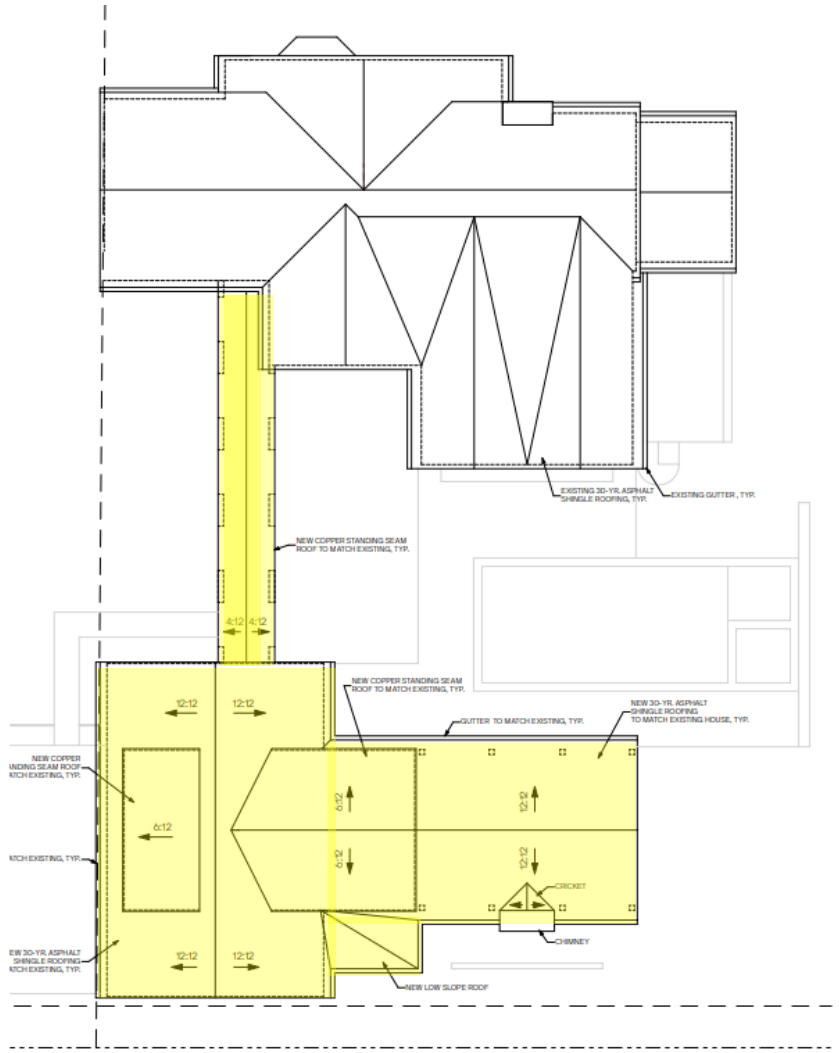
PROPOSED



ROOF PLAN



EXISTING



PROPOSED

NORTH ELEVATION – FRONT FACING NORTH

EXISTING

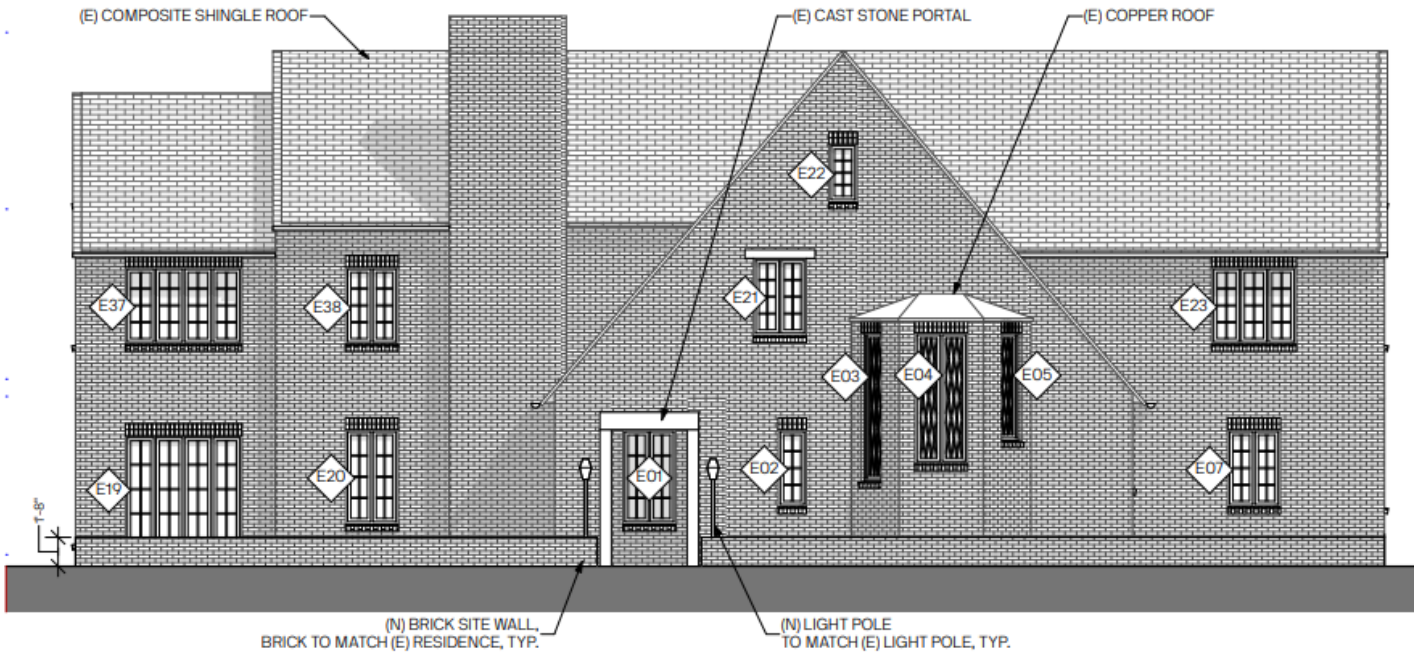
THERE IS NO CHANGE TO THE NORTH ELEVATION OF THE PRIMARY STRUCTURE



NORTH ELEVATION (EXISTING)

SCALE: 1/8" = 1'-0"

PROPOSED

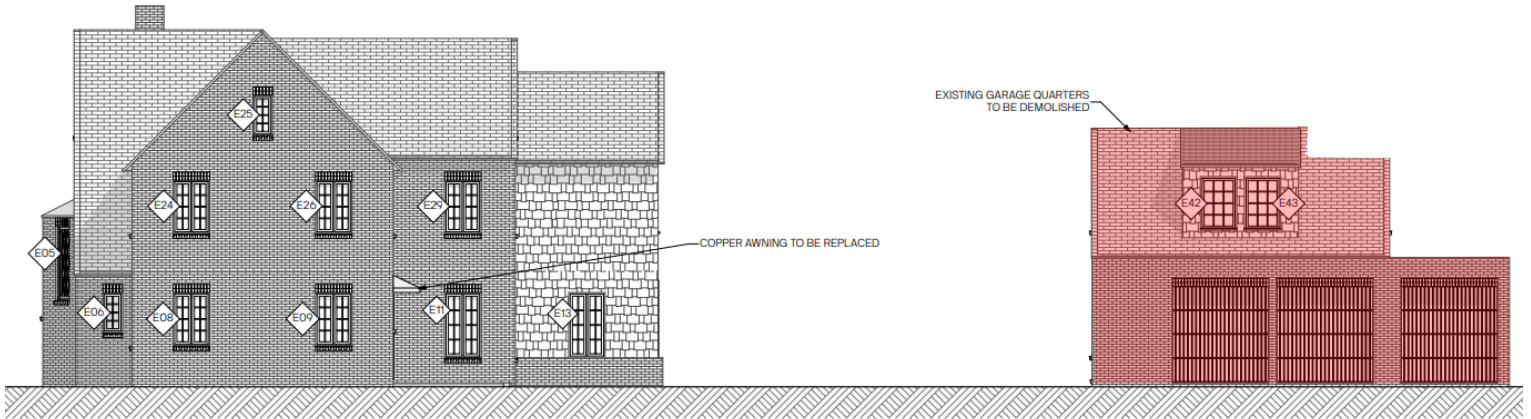


4 NORTH ELEVATION (PROPOSED)

SCALE: 1/8" = 1'-0"

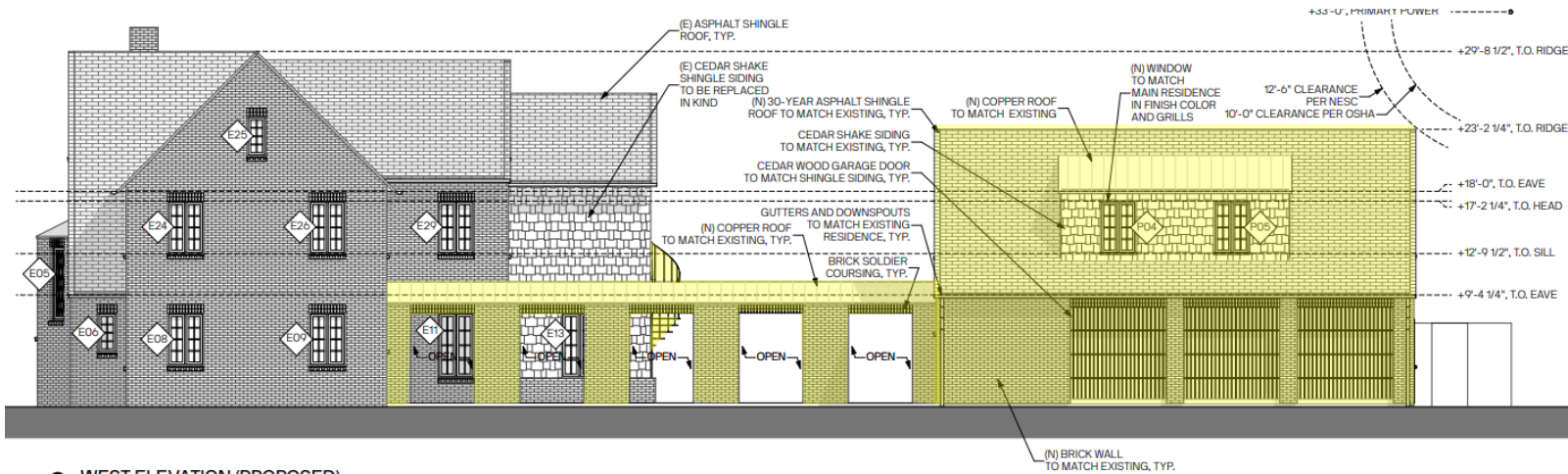
WEST SIDE ELEVATION – FACING DUNLAVY

EXISTING



1 WEST ELEVATION (EXISTING)  
SCALE: 1/8" = 1'-0"

PROPOSED

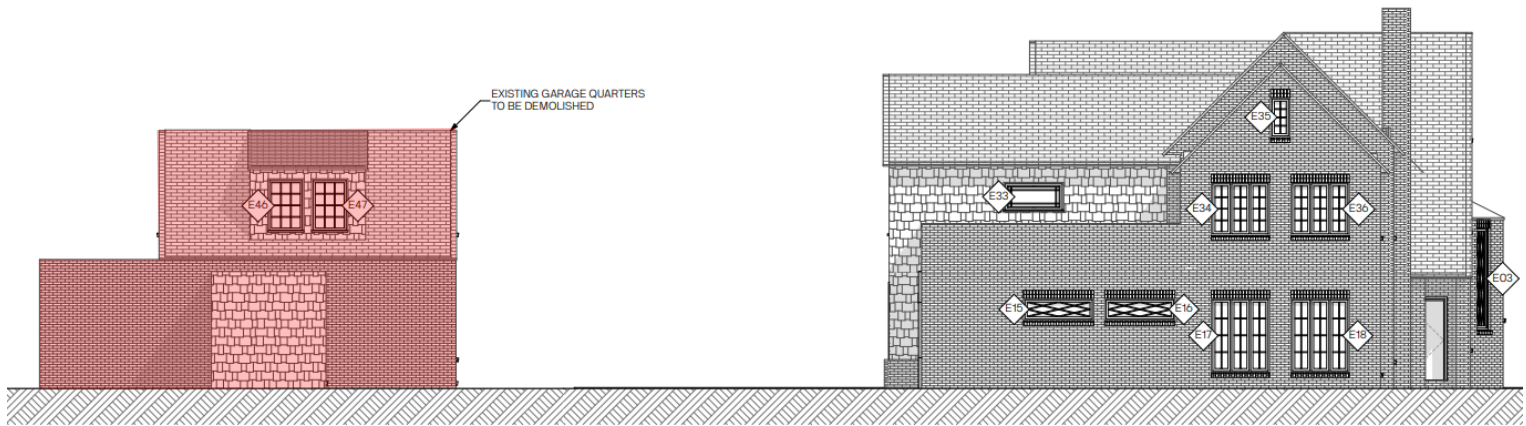


2 WEST ELEVATION (PROPOSED)

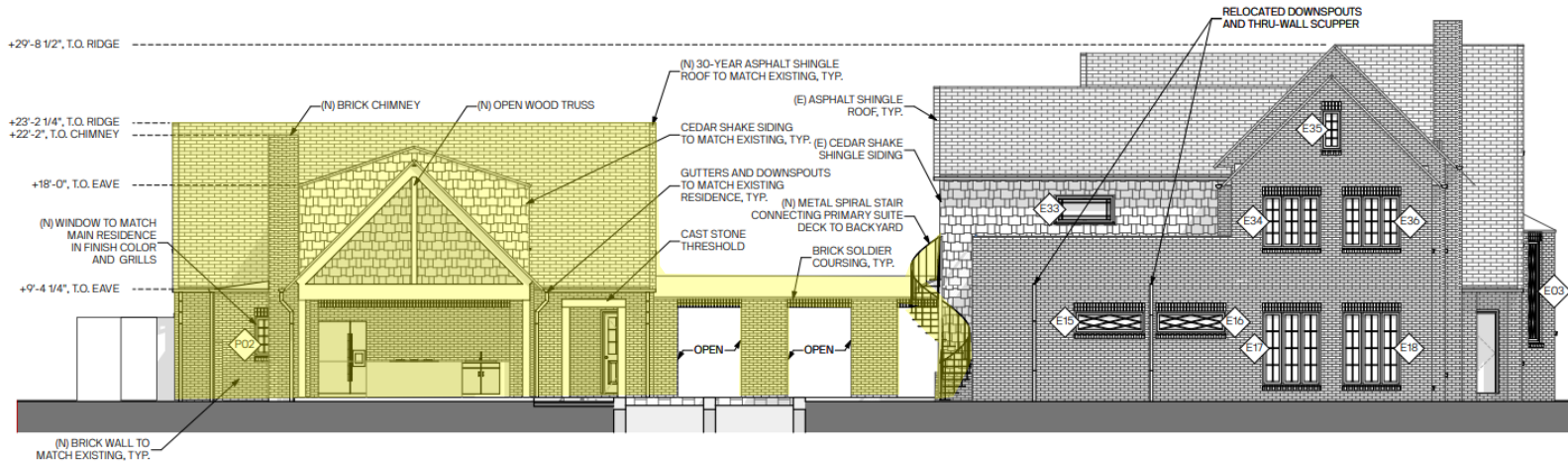


EAST SIDE ELEVATION (INTERIOR)

EXISTING



PROPOSED



2 EAST ELEVATION (PROPOSED)  
SCALE: 1/8" = 1'-0"

**SOUTH (REAR) ELEVATION (PRIMARY RESIDENCE)**

EXISTING



**3 SOUTH ELEVATION (EXISTING)**

SCALE: 1/8" = 1'-0"

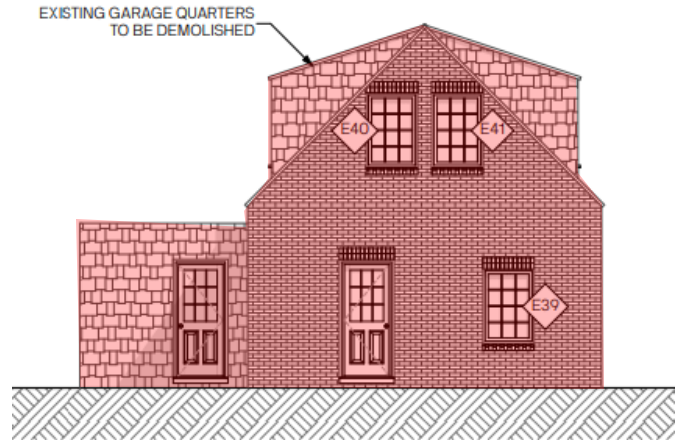
PROPOSED



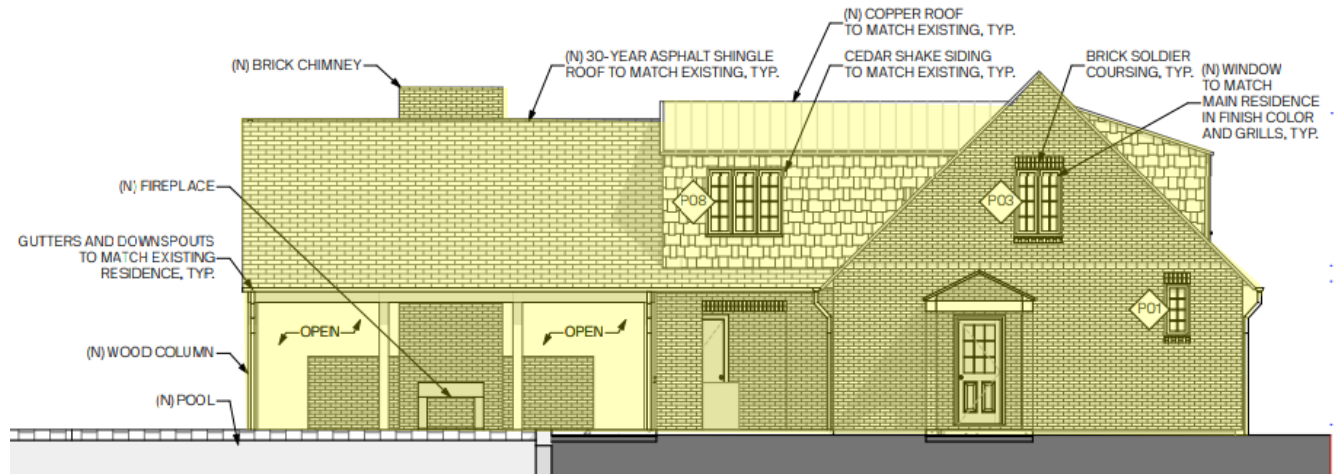
**4 SOUTH ELEVATION (PROPOSED)**

**SOUTH (REAR) ELEVATION (GARAGE)**

EXISTING



PROPOSED



**6 NORTHELEVATION GARAGE QUARTERS (PROPOSED)**

SCALE: 1/8" = 1'-0"





**CERTIFICATE OF APPROPRIATENESS**  
**WINDOW WORKSHEET**



**PLANNING &  
 DEVELOPMENT  
 DEPARTMENT**

**EXISTING WINDOW SCHEDULE**

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>
E10	AC	2/4	CS	36 x 40	Recessed	Replacement	Yes
E11	AC	2/4	CS	36 x 65	Recessed	Replacement	Yes
E12	AC	2/4	CS	62 x 65	Recessed	Replacement	Yes
E13	AC	2/4	CS	36 x 65	Recessed	Replacement	Yes
E14	WD	Diamond	F	24 x 48	Recessed	Original	Yes
E15	WD	Other	F	70 x 22	Recessed	Original	Yes
E16	WD	Other	F	70 x 22	Recessed	Original	Yes
E17	AC	2/4	CS	58 x 74	Recessed	Replacement	Yes
E18	AC	2/4	CS	58 x 74	Recessed	Replacement	Yes

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>
E28	AC	2/4	CS	19 x 53	Recessed	Replacement	Yes
E29	AC	2/4	CS	36 x 53	Recessed	Replacement	Yes
E30	AC	2/4	CS	58 x 53	Recessed	Replacement	Yes
E31	AC	2/4	CS	19 x 53	Recessed	Replacement	Yes
E32	AC	2/4	CS	19 x 53	Recessed	Replacement	Yes
E33	WD	Other	F	60 x 29	Recessed	Original	Yes
E34	AC	2/4	CS	58 x 53	Recessed	Replacement	Yes
E35	AC	2/4	CS	19 x 40	Recessed	Replacement	Yes
E36	AC	2/4	CS	58 x 53	Recessed	Replacement	Yes

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>
E37	AC	2/4	CS	70 x 53	Recessed	Replacement	Yes
E38	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E39	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E40	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E41	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E42	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E43	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E44	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E45	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>
E46	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes
E47	AC	3/4	CS	36 x 53	Recessed	Replacement	Yes

**Certificate Of Appropriateness: New Construction Worksheet**

(For Buildings outside Houston Heights East, West, or South Districts)



**PLANNING & DEVELOPMENT DEPARTMENT**

\* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

**Address\*:** 1659 North Blvd.

**Lot Size (TOTAL SQ FT)\*:** 19,942 sf

**General New Construction Info:**

Primary or Accessory Building*	Accessory Building
Proposed Total Square footage*	2,921
Proposed stories*	1.5
Proposed max ridge height*	23'-2 1/4"
Proposed max eave height*	18'-0"

**Lot Dimensions (W X L)\* :** 119' x 169'

**Setbacks From Property Line:**

	Proposed	Shares property line with neighbor -Y/N?
North*	122'-10"	N
South*	6'-1 3/4"	N
East*	34'-2 1/2"	Y
West*	21'-3 3/4"	N

**Context Area:**

Neighbor #1 stories*	2.5	Neighbor #2 stories*	2.5
Neighbor #1 ridge height	~30'-0"	Neighbor #2 ridge height	~30'-0"

Square Footage/Lot Coverage:	Proposed
Ground Floor Square Footage of Primary Building (HCAD)* <small>*please include sunrooms or enclosed porches w/ walls or windows</small>	2,714
Attached Garage or Storage Space Square Footage	N/A
Detached Garage, Garage Apartment or Accessory Building Square Footage	2,095
<small>* Subtract detached garages more than 528 square feet <b>by</b> 528 square feet. If smaller than 528 sq ft, please subtract only the amount less than 528 sq ft.</small>	
<b>Total Lot Coverage (base sq ft)* =</b>	4,281
<b>Total Lot Coverage (% based on lot size)* =</b>	21.5%

Do you have flooding issues?

**Max Width/Depth:**

*widest building wall corner to corner*	Proposed
Max Width*	40'-0"
Max Depth*	63'-3 3/4"

**Foundation:**

YES or NO

	Proposed
Grade to Finished Floor Height (1st fl)*	12"
Type*	Slab on piers
Material *	Concrete

**Roof:**

	Proposed
Pitch*	12:12
Style*	Tudor
Material*	Composite

**Cladding:**

	Proposed
Primary Siding Material*	Brick
Primary Siding Width Reveal	
Skirting Material	
Soffit Material	Match Existing Primary Building
Fascia Material	Match Existing Primary Building

Are all windows on the addition inset & recessed? YES NO

**Porch Details:**

	Proposed
Eave Height	9'-4 1/4"
Width	20'-0"
Depth	26'-0"
Decking Material	Stone Pavers
Pier/Base Material	
Column Material	Wood
Step Material	
Railing Height	
Railing Material	

Please fill out the window worksheet and review guidelines for drawing submissions

See link for more info: <https://cohweb.houstontx.gov/HPT/login.aspx>

Form Date: January 4, 2021 4:48 PM



**APPROVAL FROM THE EDGEMONT CIVIC ASSOCIATION:**

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**Monday, December 6, 2021 at 10:10:35 Central Standard Time**

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**Subject:** 1659 North Blvd

**Date:** Tuesday, November 16, 2021 at 8:16:22 AM Central Standard Time

**From:** Rick Jenner

**To:** Kevin Barden

**CC:** Stephanie Reynolds

Good morning Kevin,

Yesterday the Edgemont Civic Association approved the plans dated 11/3/21 and modified 11/9/21 for 1659 North Blvd.

One request that came up (tangential to the approval) was the garbage enclosure built into the fence along the alley. It seems the doors fly open when stuffed with trash, blocking the alley. If something could be done to address this, it would be appreciated.

Any questions, feel free to give me a call.

Best of luck with the project,

Rick Jenner