



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

Application Date: 12/01/2025

HPO File#: HP2025_0181

ITEM#: XX

Applicant: Enrique Sanchez, owner

Property: 7718 Glenbrae Street, Glenbrook Valley

Significance: Contributing (includes potentially contributing), Glenbrook Valley

Proposal: Alteration -

- Replace 3 tall narrow fixed windows, North Elevation
Windows on West Elevation are not working properly and could be dangerous in case of a fire, they are not energy efficient, and I can paint them grayish to match the rest of them.
- Replace 2 smaller windows 1-over-1 single hung (Aluminum Mill Finished), on West Elevation (Aluminum Mill Finish or Gray Vinyl)
- Replace 1 window 1-over-1 single hung (Aluminum Mill Finished), on West Elevation (Aluminum Mill Finish or Gray Vinyl)
Existing windows tall, narrow, vertical, are broken.
- Repair/ Replace existing wood board and batten siding, on West Elevation, South Elevation, East Elevation, with wood or with cementitious boards (wood grain) to match existing board and batten appearance.
- Repair/ Replace existing wood trim with wood or cementitious board (wood grain)
- Replace existing composition shingle roofing with same material.

ALL NEW WINDOWS MUST BE INSET 1¾ Inches – See Attached Window Diagram

1-over-1 Windows Must Be Equally Horizontally Divided

ALL CEMENTITIOUS BOARD MUST BE SMOOTH

Public Comments	
-	- No Comments

Civic Association	
-	- No Comments

Recommendation: Approval With Conditions:

- Proposed Siding Must be Wood
- Retain Extension Wall from NE corner of House
- Remove Proposed NE Driveway

HAHC Action:

Basis for Issuance: HAHC Review



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Date Effective:

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

Approval Criteria Status	Approval Criteria Description
	(1) The proposed activity must retain and preserve the historical character of the property;
	(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;

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S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(1)	The proposed activity must retain and preserve the historical character of the property;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(2)	The proposed activity must contribute to the continued availability of the property for a contemporary use;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(3)	The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(4)	The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(5)	The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(6)	New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(7)	The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(8)	Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(9)	The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(10)	The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(11)	The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.		



Glenbrae St

Glenbrae St

Glenaire St

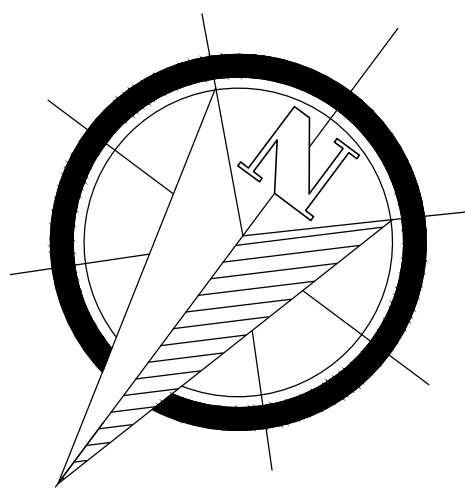
Glenaire St



7722

8527

GLENBRAE STREET
(60' R.O.W.)

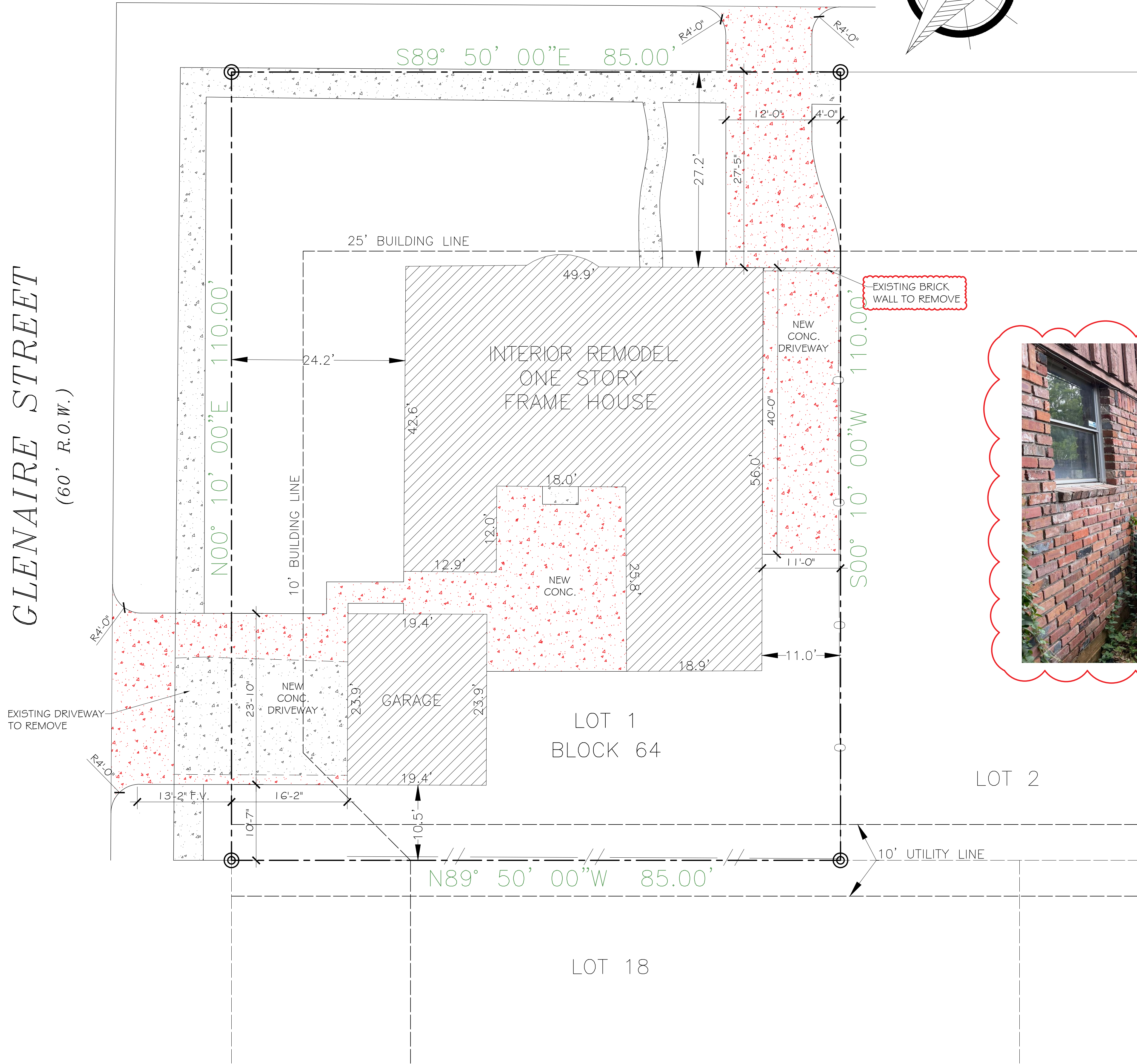


2021 IRC - INTERNATIONAL RESIDENTIAL CODE
2021 IEBC - INTERNATIONAL EXISTING BUILDING
2021 UPC - UNIFORM MECHANICAL CODE
2021 UPC - UNIFORM PLUMBING CODE
2023 NEC - NATIONAL ENERGY CODE
2021 IECC - INTERNATIONAL ENERGY
CONVERSION CODE
2021 ISPS - INTERNATIONAL SWIMMING
POOL AND SPA CODE

- DO NOT SCALE THESE DRAWINGS-USE DIMENSIONS SHOWN & ALL LOCATIONS (FIELD VERIFY ALL DIMS. PRIOR TO CONSTRUCTION).
- CONTRACTOR SHALL FIELD VERIFY PROPOSED BUILDING LAYOUT WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- GENERAL CONTRACTOR SHALL EXCAVATE A MINIMUM OF 6" OF EXISTING SOIL IN THE AREA OF THE NEW BUILDING AND STOCKPILE FOR REUSE AS BACKFILL AROUND THE BUILDING.
- COMPACT THE SUBGRADE TO A MINIMUM OF NINETY FIVE (95) PERCENT OF ITS MAX. DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D 698).
- FILL MATERIAL SHOULD BE A SILTY OR SANDY CLAY HAVING A PLASTICITY INDEX (PI) OF TEN (10) TO TWENTY (20) AND A LIQUID LIMIT OF 28 OR MORE. FILL MATERIALS SHOULD BE PLACED IN SIX (6) TO EIGHT (8) INCH LOOSE LIFTS AND COMPACTED AT OPTIMUM MOISTURE CONTENT TO NINETY-FIVE (95) PERCENT OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST.
- ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BUILDING PERMITS AND FOR NOTIFICATION OF ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE OR PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.

2 GENERAL NOTES
SCALE: N.T.S.

GLENAIRE STREET
(60' R.O.W.)



CALCULATION OF IMPERVIOUS PERCENTAGE			
	EXISTING SQ.FT.	ADDITION SQ.FT.	FINAL SQ.FT.
1. BUILDING (S/HOUSE, GARAGE, SHED, CARPORT).	2,648.90 SQ.FT.		2,648.90 SQ.FT.
2. PAVING (DRIVEWAY, SIDEWALK, PATIO, ETC).	628.60 SQ.FT.	1,505.00 SQ.FT.	2,133.60 SQ.FT.
3. SWIMMING POOL /DETENTION PONDS, ETC).			
4. OTHERS			
5. TOTAL			4,782.50 SQ.FT. (A)

TOTAL AREA OF LOT 9,349.20 SQ. FT. (B)
PERCENTAGE IMPERVIOUS AREA CALCULATION.
(4,782.50 (A) / 9,349.20 B) X 100 = 51%

3 CALCULATION OF IMPERVIOUS
SCALE: N.T.S.

1 SITE PLAN
SCALE: 1/8"=1'-0"



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(956) 662-3317
beavers.design@outlook.com

INTERIOR REMODEL
7718 GLENBRAE STREET
HOUSTON, TX 77061

ISSUE LOG

	DATE	DESCRIPTION
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PROJECT NO:

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SHEET No.

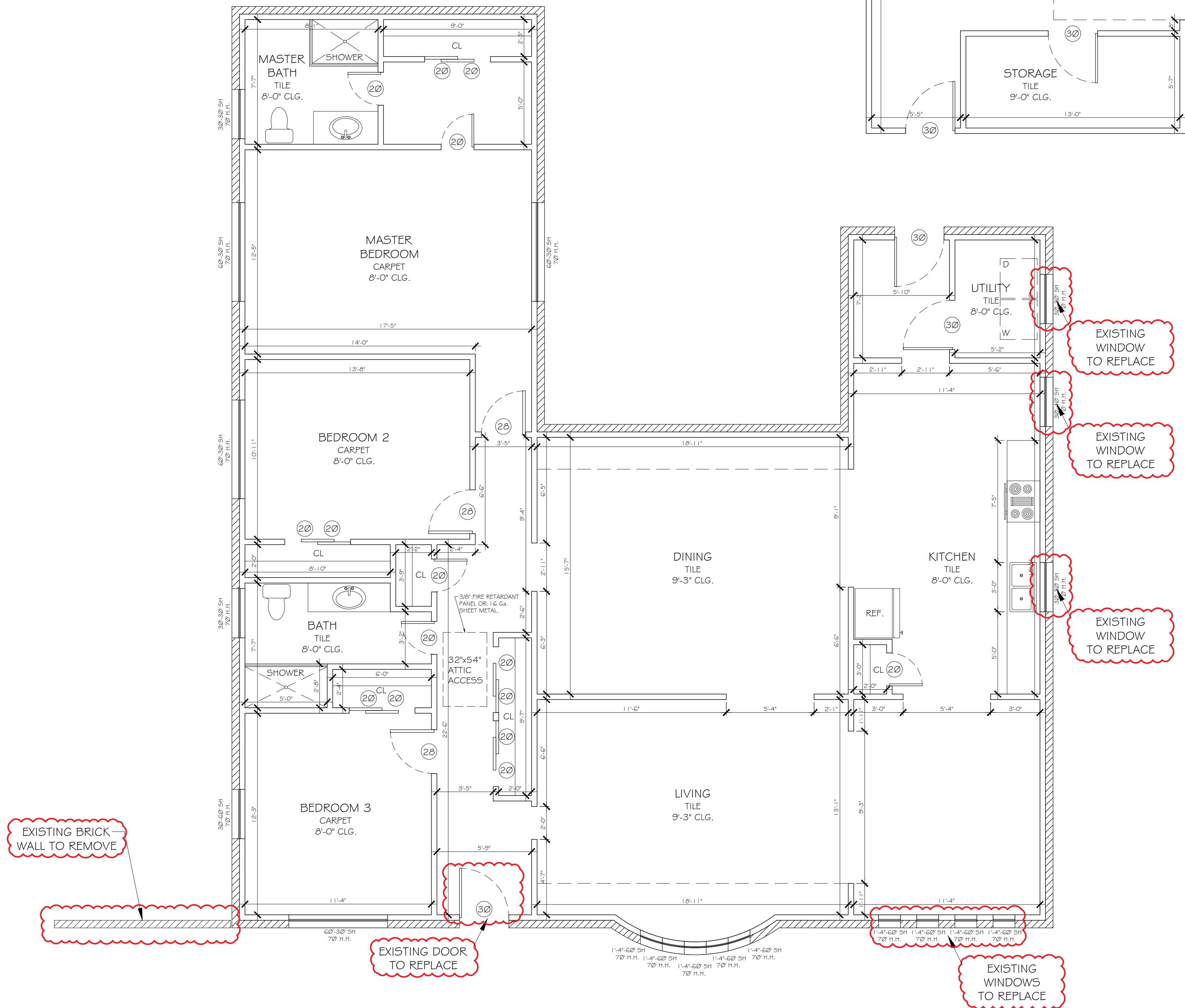
SITE PLAN

SHEET No.

C1.0

PROJECT NUMBER: 25025414

ISSUANCE OF THIS PERMIT DOES NOT WAIVE COMPLIANCE WITH THE HISTORIC PRESERVATION ORDINANCE PER CITY OF HOUSTON MUNICIPAL CODE OF ORDINANCE CHAPTER 33 ARTICLE VII FOR MORE INFORMATION, CONTACT 832 393 6556. REPAIR PERMIT IS FOR IN-KIND ROOF COVERING ONLY. NO ALTERATION TO FROM SIDING EXTERIOR CLADDING, OR TRIM WITHOUT REVIEW AND PERMIT. INTERIOR IS EXEMPT FROM HISTORIC REVIEW. NO ALTERATION OF EXTERIOR FEATURES INCLUDING, BUT NOT LIMITED TO, WINDOWS, SIDING, AND TRIM. NO REMOVAL ALTERATION TO INTERIOR SHIPLAP. ANY WORK TO EXTERIOR FEATURES (INCLUDE WINDOWS, DOORS, EXTERIOR CLADDING, TRIM, PORCH ELEMENTS) REQUIRE HISTO REVIEW AND MAY REQUIRE A CERTIFICATE OF APPROPRIATENESS.



1 EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
DO NOT SCALE-OFF DIRECTLY FROM DRAWING.
CONTRACTOR SHALL FIELD VERIFY DIMENSIONS.

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE AND CITY CODES. THE DRAWINGS AND SPECIFICATIONS ARE AN OUTLINE OF THE MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL PERFORM A SURVEY OF EXISTING CONDITIONS IN ORDER TO VERIFY ACCURACY OF DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING WITH ACTUAL CONDITIONS. CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY PROBLEMS FOUND THAT MAY AFFECT THE WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR THAT CONDITIONS ARE CORRECT AND THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR CONDITIONS.
- ALL CONSTRUCTION SHALL BE COMPLETE, FINISHED, AND OF THE HIGHEST WORKMANSHIP. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE OWNER AND DESIGNER.
- APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE MODIFIED NOR CHANGED WITHOUT AUTHORIZATIONS FROM THE BUILDING OFFICIAL.
- THE CONSTRUCTION OF THIS DWELLING MUST COMPLY WITH INTERNATIONAL RESIDENTIAL CODE DO NOT SCALE-OFF DIRECTLY FROM DRAWING. CONTRACTOR SHALL VERIFY AND WORK WITH DIMENSIONS SHOWN. ALL DIMENSION SHALL BE VERIFY IN SITE.
- SINGLE HUNG ALUMINUM WINDOWS UNO
8'-0" HEADER HT. AT 1 Ø - Ø" PLATE
7'-8" HEADER HT. AT 9' - Ø" PLATE
6'-8" HEADER HT. AT 8' - Ø" PLATE
- CHIMNEYS TO BE 2'-0" (MIN.) ABV. ANY ROOF LINE WITHIN A 1 Ø-Ø" RADIUS.
- THE ATTIC ACCESS STAIRWAY SHALL COMPLY WITH SECTION M 1305.1.3 AS AMENDED: ACCESS SHALL BE PROVIDED WITH A PULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22 INCHES IN WIDTH AND LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGeway SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 OF THE IRC. AND NO LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDE OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE MINIMUM OF 20 INCHES BY 30 INCHES, WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
- 6'-8" INTERIOR DOORS AT FIRST FLOOR.
- WHERE WOOD FRAMING IS EXPOSED TO WATER SPLASHING, PROVIDE WATERPROOF PAPER FLASHING AND COUNTER FLASHING.
- SEE OWNER/CONTRACTOR FOR WINDOW MANUFACTURER AND STYLES. WINDOW SUPPLIER TO LOCATE SAFETY GLASS AS REQUIRED & CERTIFY ALL WINDOW TO COMPLY WITH I.B.C. I.R.C. AND ENERGY CODE. PROVIDE MASTIC WRAP, WATERPROOFING AND CAULK SURROUND FLASHING ABOVE WINDOWS AND COUNTER-FLASH AS REQUIRED
- ALL GLAZING LOCATED IN DOORS TO BE SAFETY GLAZING
- HOUSEHOLD VENTING SHALL BE OUTSIDE DWELLING. PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS VIA NATURAL OR MECHANICAL MEANS CAPABLE OF FIVE AIR CHANGES PER HOUR AND IS VENTED DIRECTLY OUTSIDE WITH A POINT OF DISCHARGE MIN.
- HVAC INSTALLATION, SIZING, LOCATION IS THE RESPONSIBILITY OF A/C CONTRACTORS
- ALL LAVATORIES 2'-8" HIGH U.N.O.
- ALL SHEETROCK CORNER TO BE ROUNDED, EXCLUDING CORNERS AT WINDOW.
- CROSS VENTILATION AT ENCLOSED ATTICS, SIZE PER CODE CALCULATION.

2 GENERAL NOTES

SCALE: N.T.S.



THE DOOR WILL BE MADE OF ALUMINUM
MILL-FINISH AND COLOR BLACK

3 NEW DOOR

SCALE: N.T.S.



BEAVER'S DESIGN

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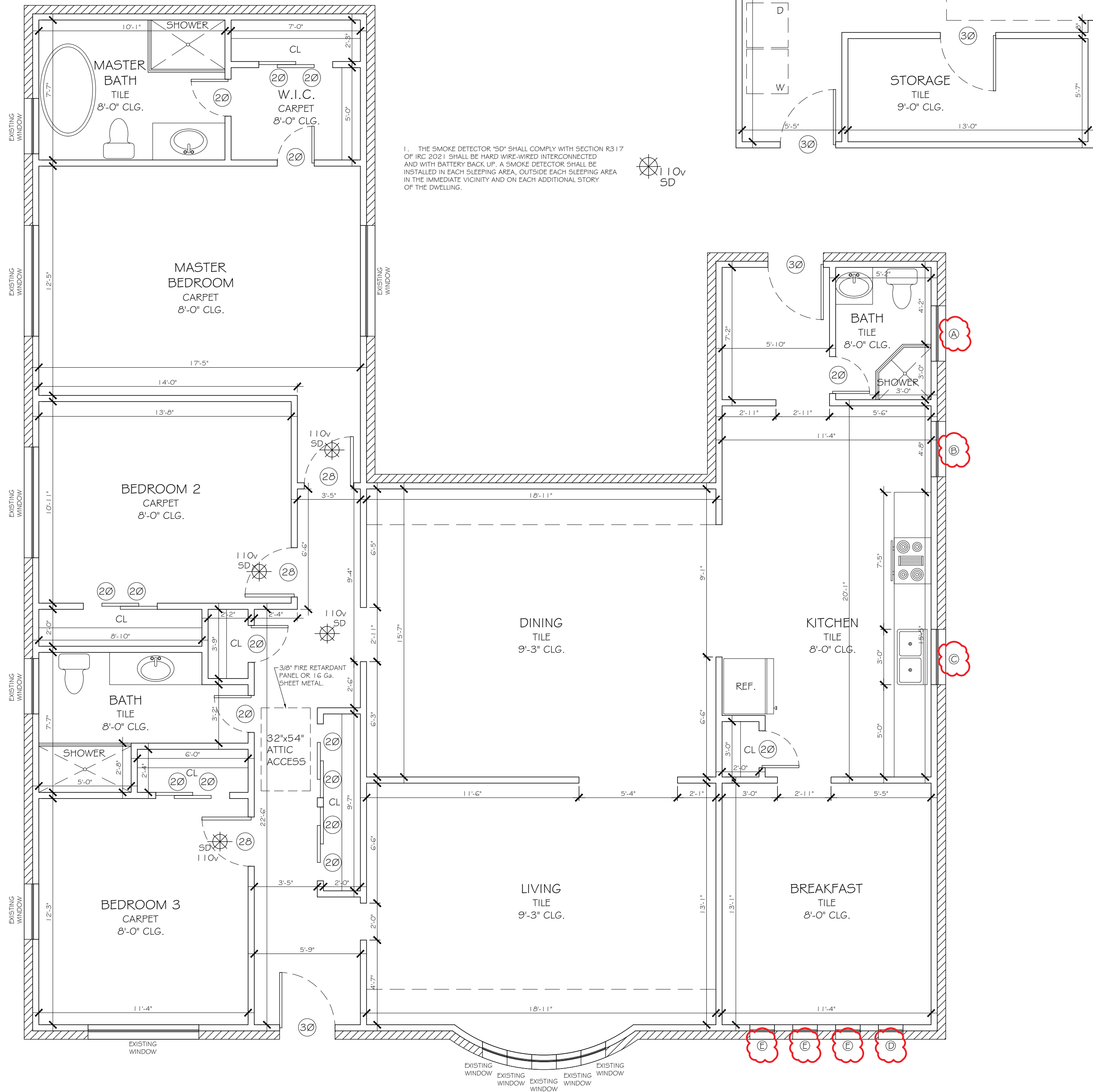
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SHEET No.

EXISTING FLOOR PLAN

SHEET No.

A1.0



1 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

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- SINGLE HUNG ALUMINUM WINDOWS UNDO 8'-0" HEADER HT. AT 1'-0" - 2" PLATE 7'-8" HEADER HT. AT 9' - 0" PLATE 6'-8" HEADER HT. AT 8' - 0" PLATE
- CHIMNEYS TO BE 2'-0" (MIN.) ABV. ANY ROOF LINE WITHIN A 1'-0" - 2" RADIUS.
- THE ATTIC ACCESS STAIRWAY SHALL COMPLY WITH SECTION M 1305.1.3 AS AMENDED. ACCESS SHALL BE PROVIDED WITH A FULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22 INCHES IN WIDTH AND LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 OF THE IRC. AND NO LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDE OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE MINIMUM OF 20 INCHES BY 30 INCHES, WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
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- ALL SHEETROCK CORNER TO BE ROUNDED, EXCLUDING CORNERS AT WINDOW.
- CROSS VENTILATION AT ENCLOSED ATTICS, SIZE PER CODE CALCULATION.

2 GENERAL NOTES

SCALE: N.T.S.

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REPLACE WINDOW			
QTY	ITEM CODE	DESCRIPTION	TYPE
1	WIN101	34 5/8 X 35 SINGLE HUNG 1/1	A
1	WIN101	34 5/8 X 47 SINGLE HUNG 1/1	B
1	WIN101	34 5/8 X 35 SINGLE HUNG 1/1	C
1	WIN101	16 5/8 X 74 PICTURE WINDOW 1 LITE	D
3	WIN101	16 1/2 X 74 PICTURE WINDOW 1 LITE	E



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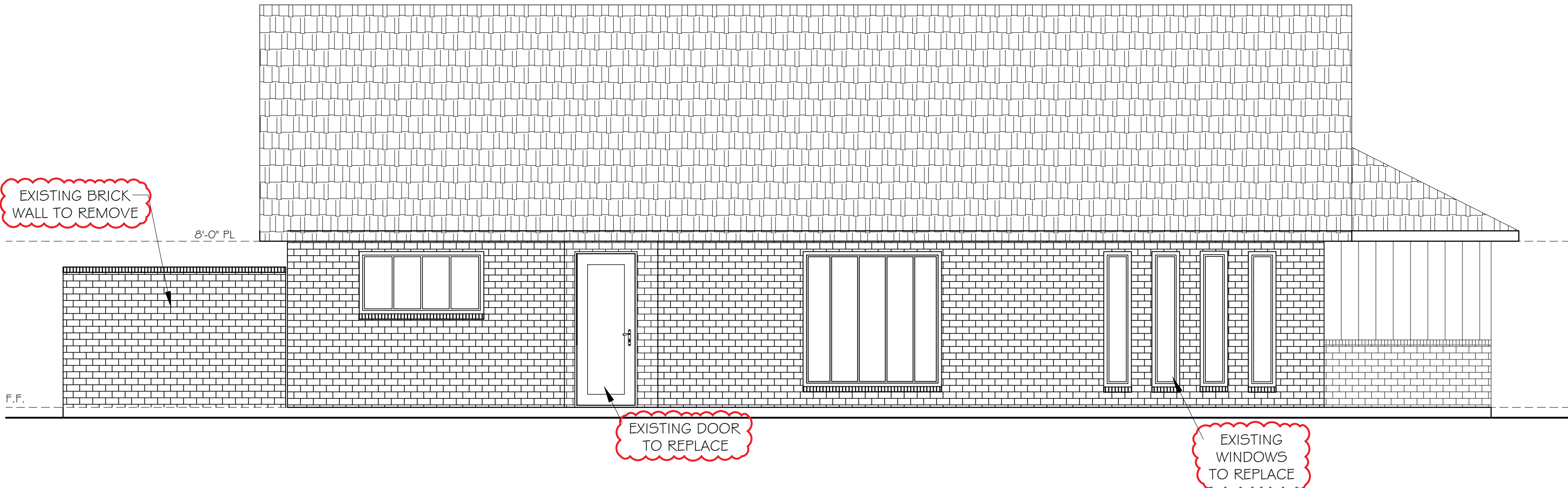
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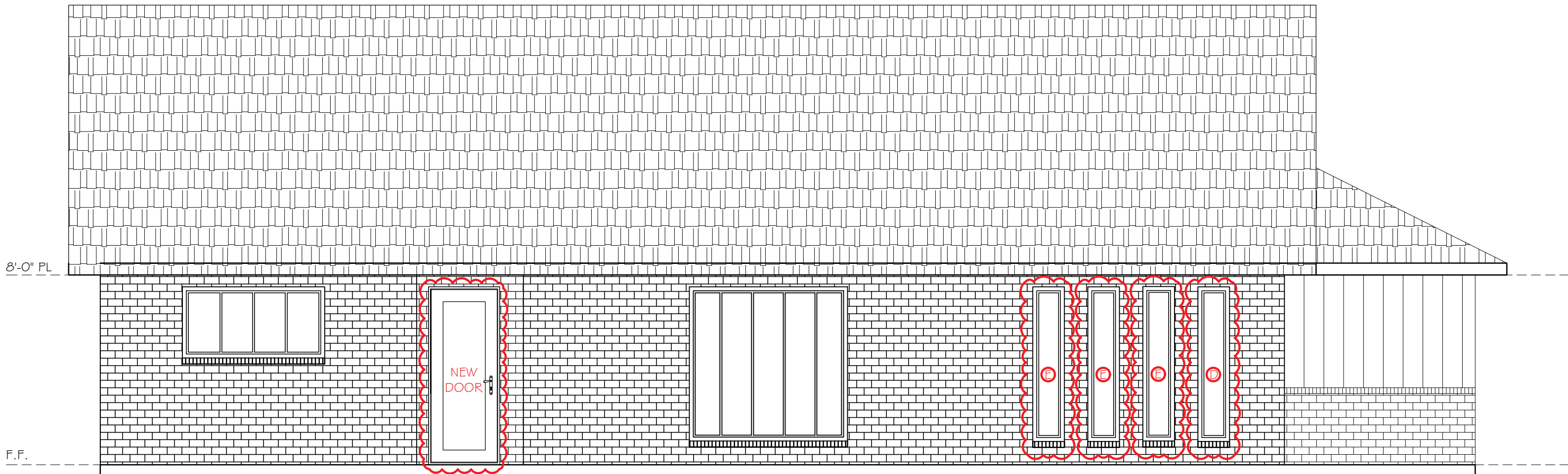
PROPOSED FLOOR PLAN

SHEET No.

A1.2



1 EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"

- ALL EXTERIOR FINISHES, ROOFING, AND DETAILS SHALL BE INSTALLED PER MANUFACTURED SPECIFICATION AND COMPLY WITH U.L. AND A.S.T.M. STANDARDS. BUILDERS/OWNERS WILL HIRE ONLY PROFESSIONAL CONTRACTORS TO PERFORM ANY CONSTRUCTION FOR THIS DWELLING. CONSTRUCTION WILL BE SUPERVISE BY THE BUILDER WHO WILL DETERMINE, GUIDE, REVIEW, INSPECT, APPROVE AND THEN CERTIFY ALL WORKMANSHIP OF SUBCONTRACTORS. DESIGNER IS NOT RESPONSIBLE FOR POOR, INCOMPLETE OR SUBSTANDARD WORKMANSHIP. ALL CONTRACTORS HIRED BY BUILDER MUST HAVE THE EXPERIENCE AND KNOWLEDGE TO PERFORM ACCORDING TO A.S.T.M. AND U.L. GENERAL INDUSTRY STANDARDS AND PRACTICES. WORK SHALL COMPLY WITH THE I.R.C. BOOK OF STANDARDS WHICH IS TO BE PROVIDED BY THE BUILDER TO SUBCONTRACTORS AND KEEP ON SITE THROUGH THE DURATION OF CONSTRUCTION. DESIGNER DOES NOT CERTIFY OR APPROVE THE QUALIFICATIONS OF ANY BUILDER, HIS ASSIGNS, OR SUBCONTRACTORS. ON SITE SUPERVISION IS NOT PART OF DESIGNER GENERAL SERVICES.
- SEE ELEVATION AND DETAIL SHEET FOR TYPICAL FASCIA AND SOFFIT CORNICE DESIGN. REFER TO BUILDER FOR EXACT MATERIAL SPECIFICATION AND EXACT CONSTRUCTION ASSEMBLY.
- VERTICAL & HORIZONTAL EXPANSION JOINTS, WEEP HOLES, AND BRICK TIES AS REQD. LOCATED BY BLDG. CONTRACTORS AS PER B.I.A. AND ASTM MASONRY STANDARDS.
- INSULATION PER OWNER/BLDR. SELECTION, MIN. R-13 WALL, R-19 SLOPE ROOF AND KNEE WALL, R-30 @ ATTIC
- BUILDER WILL USE MINIMUM (CLASS B SHINGLES) WITH A 30 YR. MANUF. WARRANTY FOR COMPOSITION ROOF OVER 30 LB. FELT PAPER UNDERLAY. MINIMUM 7/16 OSB ROOF DECKING WITH TECH SHIELD IF REQUESTED. BUILDER SHALL INSTALL PASSIVE DESIGNED CONTINUOUS SOFFIT AND RIDGE VENTS PER MANUFACTURER SPECIFICATIONS AND A.S.T.M. STANDARDS. POWER VENTS IF REQUIRED.
- ALL STONE TO BE CULTURED UNLESS NOTED OTHERWISE
- ALL CHIMNEY STACKS TO RISE MINIMUM 2'-0" ABOVE ANY ROOF OR STRUCTURED WITHIN A 10'-0" RADIUS AND BE FITTED WITH A U.L. APPROVE SPARK ARRESTOR IF REQUIRED. FLASH AND CRICKET AROUND CHIMNEY AS REQUIRED. ANY DECORATIVE CHIMNEY CAP OR COVERS TO BE FABRICATED FROM NON COMBUSTIBLE METAL MATERIAL, ALLOW FOR FULL UNOBSTRUCTED VENTILATION. SEE MANF. SHOP DRAWINGS FOR ALL DETAILS.
- PLUMBER TO SIZE AND LOCATE VENT STACKS TO EXTEND THROUGH ROOF DECK AND TERMINATED NOT LESS THAN 12" AWAY FROM ANY STRUCTURE. ALL PENETRATIONS TO BE SEALED AND FLASHED AS REQUIRED. LOCATE VENT STACKS ON REAR SIDE OF MAIN RIDGE IF POSSIBLE OR OUT OF VIEW FROM FRONT ELEVATION, PAINT STACKS TO MATCH ROOF COLOR.
- ALL VENTING FOR APPLIANCE, MECHANICAL EQUIPMENT, OR COMBUSTION PRODUCING MACHINERY SHALL HAVE CONTINUOUS PIPING FROM SOURCE TO OUTSIDE. PIPES OR DUCTS SHALL BE FABRICATED FROM MATERIALS WITH SPECIFIC SIZE AND TERMINATED TO OUTSIDE AT A DISTANCE SPECIFIED BY MANUFACTURED. ALL OPENINGS OR PENETRATIONS FOR SUCH EQUIPMENT, A/C COILS, APPLIANCE, PLUMBING, AND ELECTRICAL SHALL HAVE GALV. METAL COVERS WILL BE SEALED TO PREVENT WATER OR MOISER FROM ENTERING INTO WALL OR CEILING CAVITY. SEE MANUFACTURER SPECS. FOR DIRECT VENT AND GAS LOG FIRE BOX ASSEMBLY AND TERMINATION INCLUDING PROTECTIVE SAFETY SHIELD AND MINIMAL SURROUND CLEARANCE FOR HOT VENT PIPES. ALL SIZING FOR PIPES OR DUCTS TO BE DETERMINED BY MANUFACTURED AND SHALL COMPLY WITH U.L. AND A.S.T.M. STANDARDS OR GUIDELINES. DUCTWORK SHALL INCLUDE DEVICE TO PREVENT BACK DRAFT AND EXHAUST FROM RE-ENTERING BUILDING. TERMINATION SHALL BE LOCATED NOT CLOSER THAN 36" MINIMUM FROM ANY OPENING SUCH AS A DOOR OR A WINDOW LEADING DIRECTLY INTO THE BUILDING. ABSOLUTELY NO VENTING OF ANY KIND INTO ATTIC, GARAGE, WALL, OR CEILING CAVITIES.
- ALL A/C COILS & ELEC. PENETRATION TO BE PLACED THROUGH GALV. COUNTER FLASH DUCT AND SEALED W/ NON-COMBUSTIBLE PERM.FOAM INSULATION
- OWNER / BUILDER TO APPROVED AND LOCATE ALL GUTTERS AND DOWN SPOUTS W/ CONTRACTOR AND TIE INTO LANDSCAPE DRAIN AS REQUIRED.
- TYPICAL VERTICAL ELEVATION DIMENSION TAKEN FROM TOP OF SLABS. ALL DIMENSION ARE NOMINAL NOT ACTUAL, ADJUST ACTUAL SIZES ACCORDINGLY.

3 GENERAL NOTES

SCALE: N.T.S.

REPLACE WINDOW			
QTY	ITEM CODE	DESCRIPTION	TYPE
1	WIN 1 01	34 5/8" X 35 SINGLE HUNG 1/I	A
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1	WIN 1 01	34 5/8" X 35 SINGLE HUNG 1/I	C
1	WIN 1 01	16 1/2" X 74 PICTURE WINDOW 1 LITE	D
3	WIN 1 01	16 1/2" X 74 PICTURE WINDOW 1 LITE	E



THE DOOR WILL BE MADE OF ALUMINUM
MILL-FINISH AND COLOR BLACK.

4 NEW DOOR

SCALE: N.T.S.



BEAVER'S DESIGN

(956) 662-3317
beavers.design@outlook.com

INTERIOR REMODEL
7718 GLENBRAE STREET
HOUSTON, TX 77061

ISSUE LOG

	DATE	DESCRIPTION
PRE		
PMT		
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PROJECT NO:

CHECKED BY:

DATE OF ISSUE:

SHEET No.

ELEVATIONS

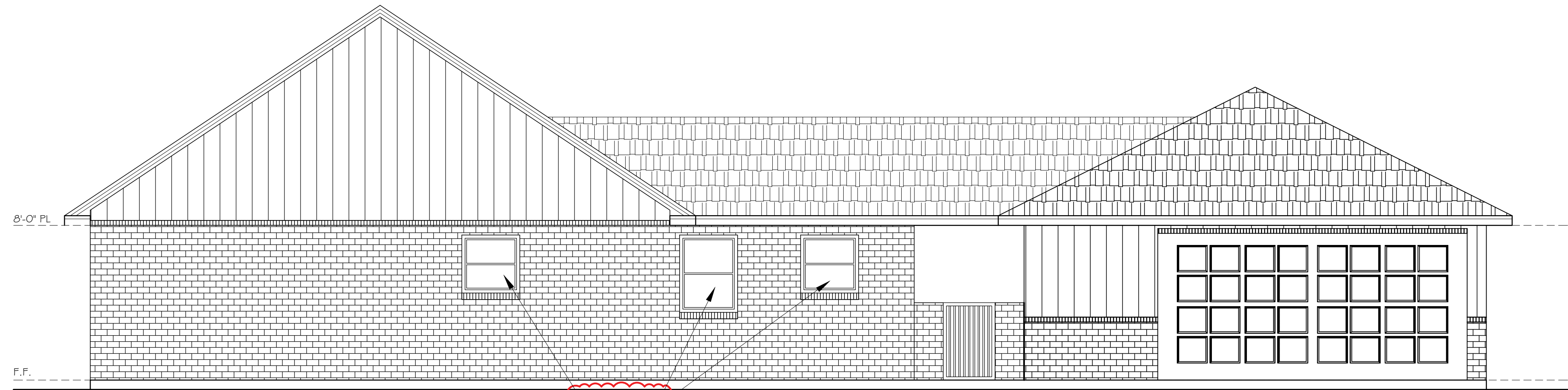
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A2.0

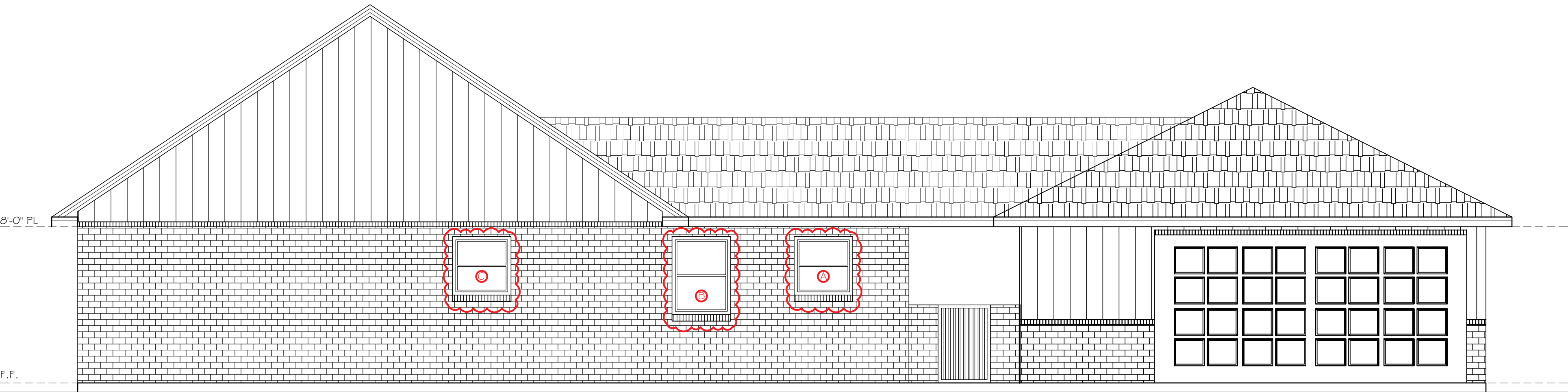


REPLACE WINDOW			
QTY	ITEM CODE	DESCRIPTION	TYPE
1	WIN101	34 5/8 X 35 SINGLE HUNG 1/1	A
1	WIN101	34 5/8 X 47 SINGLE HUNG 1/1	B
1	WIN101	34 5/8 X 35 SINGLE HUNG 1/1	C
1	WIN101	16 3/4 X 74 PICTURE WINDOW 1 LITE	D
3	WIN101	16 1/2 X 74 PICTURE WINDOW 1 LITE	E

- ALL EXTERIOR FINISHES, ROOFING, AND DETAILS SHALL BE INSTALLED PER MANUFACTURED SPECIFICATION AND COMPLY WITH U.L. AND A.S.T.M. STANDARDS. BUILDERS/OWNERS WILL HIRE ONLY PROFESSIONAL CONTRACTORS TO PERFORM ANY CONSTRUCTION FOR THIS DWELLING. CONSTRUCTION WILL BE SUPERVISE BY THE BUILDER WHO WILL DETERMINE, GUIDE, REVIEW, INSPECT, APPROVE AND THEN CERTIFY ALL WORKMANSHIP OF SUBCONTRACTORS. DESIGNER IS NOT RESPONSIBLE FOR POOR, INCOMPLETE OR SUBSTANDARD WORKMANSHIP. ALL CONTRACTORS HIRED BY BUILDER MUST HAVE THE EXPERIENCE AND KNOWLEDGE TO PERFORM ACCORDING TO A.S.T.M. AND U.L. GENERAL INDUSTRY STANDARDS AND PRACTICES. WORK SHALL COMPLY WITH THE I.R.C. BOOK OF STANDARDS WHICH IS TO BE PROVIDED BY THE BUILDER TO SUBCONTRACTORS AND KEEP ON SITE THROUGH THE DURATION OF CONSTRUCTION. DESIGNER DOES NOT CERTIFY OR APPROVE THE QUALIFICATIONS OF ANY BUILDER, HIS ASSIGNS, OR SUBCONTRACTORS. ON SITE SUPERVISION IS NOT PART OF DESIGNER GENERAL SERVICES.
- SEE ELEVATION AND DETAIL SHEET FOR TYPICAL FASCIA AND SOFFIT CORNICE DESIGN. REFER TO BUILDER FOR EXACT MATERIAL SPECIFICATION AND EXACT CONSTRUCTION ASSEMBLY
- VERTICAL & HORIZONTAL EXPANSION JOINTS, WEEP HOLES, AND BRICK TIES AS REQ'D. LOCATED BY BLDG./CONTRACTORS AS PER B.I.A. AND ASTM MASONRY STANDARDS.
- INSULATION PER OWNER/ BLDG.. SELECTION, MIN. R-13 WALL, R-19 SLOPE ROOF AND KNEE WALL, R-30 @ ATTIC
- BUILDER WILL USE MINIMUM (CLASS B SHINGLES) WITH A 30 YR. MANUF. WARRANTY FOR COMPOSITION ROOF OVER 30 LB.. FELT PAPER UNDERLAY. MINIMUM 7/16 OSB ROOF DECKING WITH TECH SHIELD IF REQUESTED. BUILDER SHALL INSTALL PASSIVE DESIGNED CONTINUOUS SOFFIT AND RIDGE VENTS PER MANUFACTURER SPECIFICATIONS AND A.S.T.M. STANDARDS. POWER VENTS IF REQUIRED.
- ALL STONE TO BE CULTURED UNLESS NOTED OTHERWISE
- ALL CHIMNEY STACKS TO RISE MINIMUM 2'-0" ABOVE ANY ROOF OR STRUCTURED WITHIN A 10'-0" RADIUS AND BE FITTED WITH A U.L. APPROVE SPARK ARRESTOR IF REQUIRED. FLASH AND CRICKET AROUND CHIMNEY AS REQUIRED. ANY DECORATIVE CHIMNEY CAP OR COVERS TO BE FABRICATED FROM NON COMBUSTIBLE METAL MATERIAL. ALLOW FOR FULL UNOBSTRUCTED VENTILATION. SEE MANF. SHOP DRAWINGS FOR ALL DETAILS.
- PLUMBER TO SIZE AND LOCATE VENT STACKS TO EXTEND THROUGH ROOF DECK AND TERMINATED NOT LESS THAN 12" AWAY FROM ANY STRUCTURE. ALL PENETRATIONS TO BE SEALED AND FLASHED AS REQUIRED. LOCATE VENT STACKS ON REAR SIDE OF MAIN RIDGE IF POSSIBLE OR OUT OF VIEW FROM FRONT ELEVATION. PAINT STACKS TO MATCH ROOF COLOR.
- ALL VENTING FOR APPLIANCE, MECHANICAL EQUIPMENT, OR COMBUSTION PRODUCING MACHINERY SHALL HAVE CONTINUOUS PIPING FROM SOURCE TO OUTSIDE. PIPES OR DUCTS SHALL BE FABRICATED FROM MATERIALS WITH SPECIFIC SIZE AND TERMINATED TO OUTSIDE AT A DISTANCE SPECIFIED BY MANUFACTURED. ALL OPENINGS OR PENETRATIONS FOR SUCH EQUIPMENT, A/C COILS, APPLIANCE, PLUMBING, AND ELECTRICAL SHALL HAVE GALV. METAL COVERS WILL BE SEALED TO PREVENT WATER OR MOISTER FROM ENTERING INTO WALL OR CEILING CAVITY. SEE MANUFACTURER SPECS. FOR DIRECT VENT AND GAS LOG FIRE BOX ASSEMBLY AND TERMINATION INCLUDING PROTECTIVE SAFETY SHIELD AND MINIMAL SURROUND CLEARANCE FOR HOT VENT PIPES. ALL SIZING FOR PIPES OR DUCTS TO BE DETERMINED BY MANUFACTURED AND SHALL COMPLY WITH U.L. AND A.S.T.M. STANDARDS OR GUIDELINES. DUCTWORK SHALL INCLUDE DEVICE TO PREVENT BACK DRAFT AND EXHAUST FROM RE-ENTERING BUILDING. TERMINATION SHALL BE LOCATED NOT CLOSER THAN 36" MINIMUM FROM ANY OPENING SUCH AS A DOOR OR A WINDOW LEADING DIRECTLY INTO THE BUILDING. ABSOLUTELY NO VENTING OF ANY KIND INTO ATTIC, GARAGE, WALL, OR CEILING CAVITIES.
- ALL A/C COILS & ELEC. PENETRATION TO BE PLACED THROUGH GALV. COUNTER FLASH DUCT AND SEALED W/ NON-COMBUSTIBLE PERM. FOAM INSULATION
- OWNER / BUILDER TO APPROVED AND LOCATE ALL GUTTERS AND DOWN SPOUTS W/ CONTRACTOR AND TIE INTO LANDSCAPE DRAIN AS REQUIRED.
- TYPICAL VERTICAL ELEVATION DIMENSION TAKEN FROM TOP OF SLABS. ALL DIMENSION ARE NOMINAL NOT ACTUAL, ADJUST ACTUAL SIZES ACCORDINGLY.



1 EXISTING RIGTH ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED RIGTH ELEVATION
SCALE: 1/4"=1'-0"

3 GENERAL NOTES

SCALE: N.T.S.



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INTERIOR REMODEL
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ISSUE LOG

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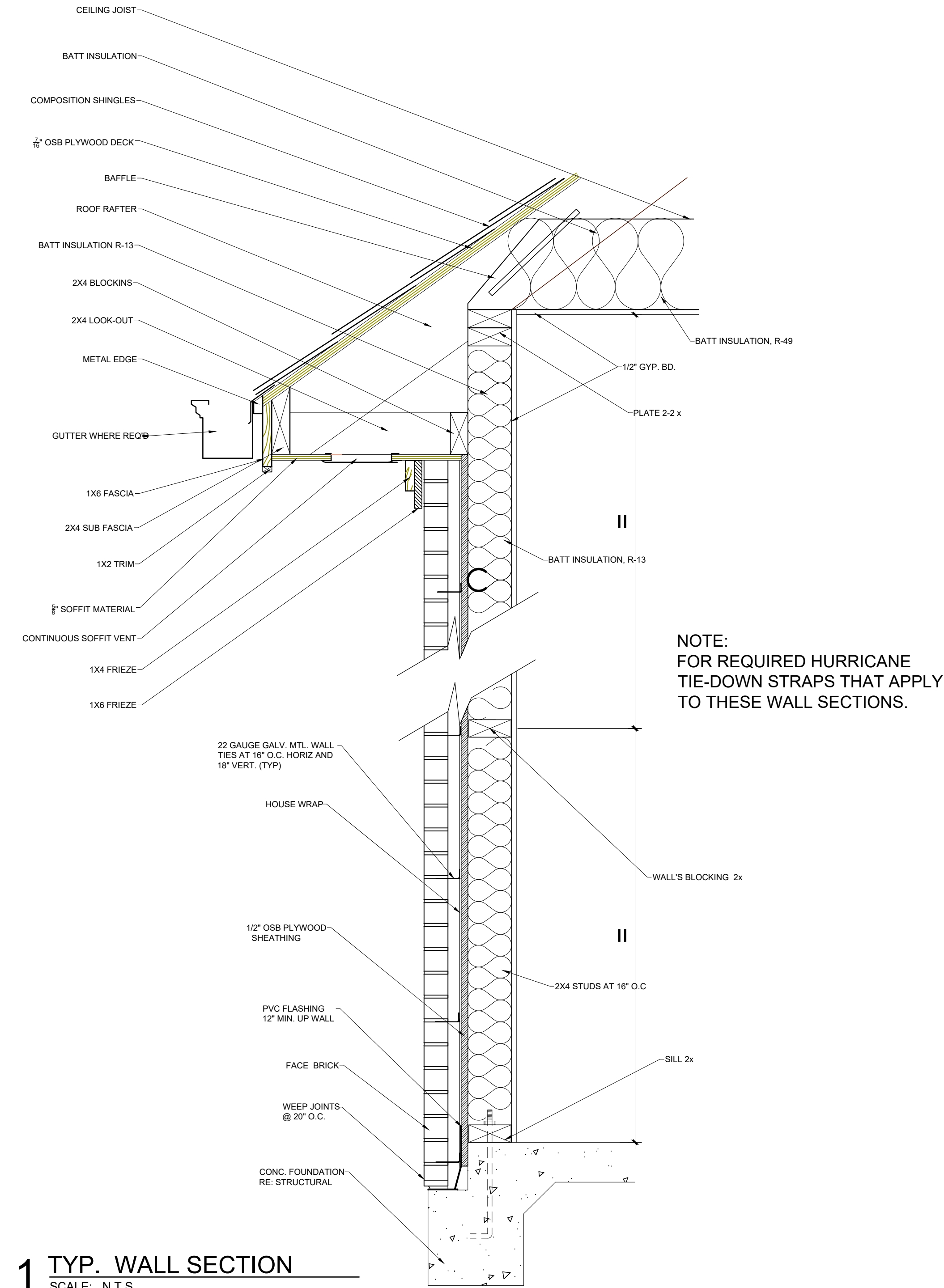
DATE OF ISSUE:

SHEET No.

ELEVATIONS

SHEET No.

A2.2



1 TYP. WALL SECTION
SCALE: N.T.S.

TYPICAL FRAMING CONNECTION SCHEDULE	
FRAMING CONDITION	CONNECTION
HEADER / JAMB (OPENING ≤ 6'-0")	(1)- SIMPSON HTS20 # (1) - SIMPSON HGA10 TOP # (1) SIMPSON L50 BOTT.
HEADER / JAMB (OPENING ≤ 15'-0")	(2)- SIMPSON HTS20 # (1)- SIMPSON HGA10 TOP # (1)- SIMPSON L70 BOTT.
SILL / JAMB (OPENING ≤ 6'-0")	(1)- SIMPSON L70
SILL / JAMB (OPENING ≤ 15'-0")	(1)- SIMPSON HGA10
CRIPPLE STUD / HEADER	(1)- SIMPSON SP2 # (1)- SIMPSON L50
CRIPPLE STUD / SILL PLATE	(1)- SIMPSON L50
CRIPPLE STUD / SOLE PLATE	(1)- SIMPSON L50
CRIPPLE STUD / DBL. TOP PLATE	(2)- SIMPSON RSP4 # (1)- SIMPSON L50
JAMB / FOUNDATION	SEE PLAN
JAMB/ DBL. TOP PLATE (OPENING ≤ 6'-0")	(1)- SIMPSON HDBA W/ 7/8" Ø THRU BOLT & WASHER
JAMB/ DBL. TOP PLATE (OPENING ≤ 15'-0")	(1)- SIMPSON HDU4-SDS2.5 W/ 5/8" Ø THRU BOLT & WASHER
TYP. STUD / DBL. TOP PLATE	SEE SECTIONS ON SHEET S5
TYP. STUD / SOLE PLATE	(2)- SIMPSON RSP4 # (1)- SIMPSON A23



01/26/2024

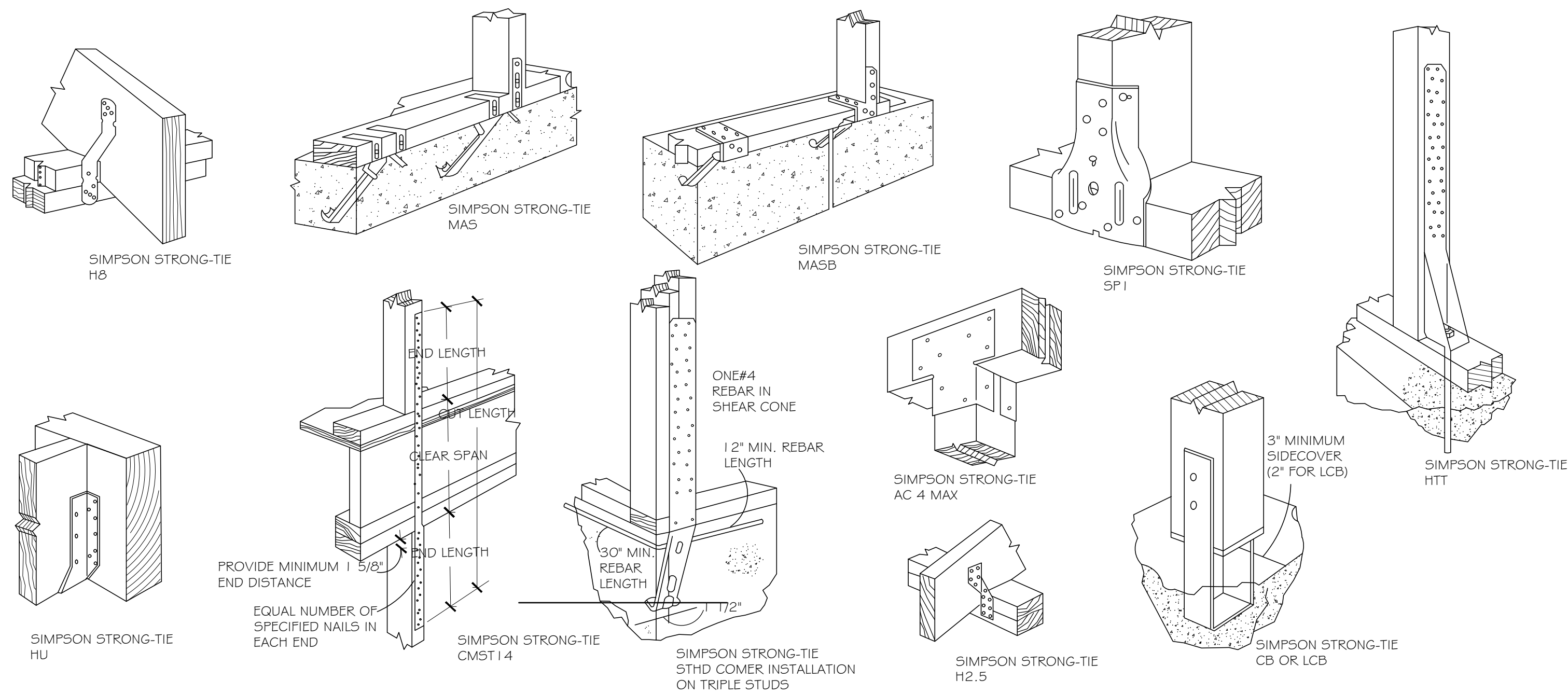
Prescriptive Method: R-Value Computation

To show energy conservation compliance using the R-Value Computation Compliance Method (Table R402.1.3 of the 2021 IECC) specify the following required insulation and fenestration values for Climate Zone 2:

- Maximum Fenestration U-Factor: 0.40 (0.65 for Skylights*)
- Maximum Glazed Fenestration SHGC: 0.25
- Minimum Ceiling R-Value: 49
- Minimum Wall R-Value: 13
- Minimum Floor R-Value: 13
- Minimum Duct Insulation R-Value: 8 in attics
- Minimum Duct Insulation R-Value: 6 in other portions of home

* Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30

PO Box 1562 | Houston, Texas 77251-1562 | HoustonPublicWorks.org
Capital Projects | Customer Account Services | Houston Permitting Center | Houston Water | Transportation & Drainage Operations



2 ANCHORAGE AND STRAPPING DETAILS
SCALE: N.T.S.



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DATE OF ISSUE:

SHEET No.

DETAILS

SHEET No.

S1.0

STAR WINDOWS CORP

11738 Ashworth
Houston TX 77050

Invoice

Phone # 281-219-3434 starwindowscorp@yahoo.com
Fax # 281-227-7117

Date	Invoice #
8/5/2025	30017

Bill To
ENRIQUE SANCHEZ

Ship To

P.O. Number	Terms	Rep	Ship Date	TYPE GLASS
			8/5/2025	

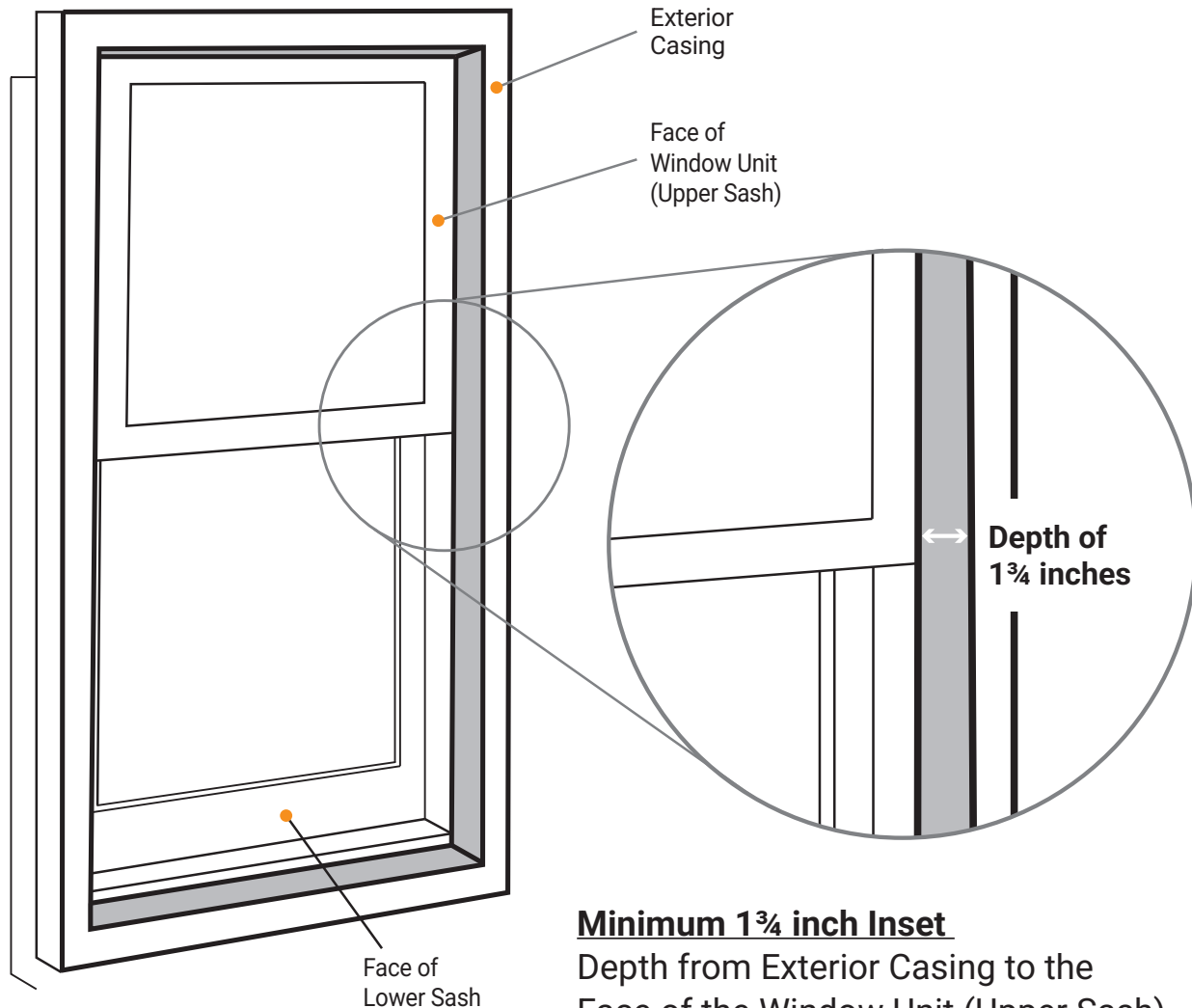
CPU/ DEL

QTY	Item Code	Description	Price Each	Amount
		ALUMINUM MILL FINISH DOUBLE PANE LOWE / CLR ARGON GAS NO FINS		
1	WIN101	34 5/8 X 35 SINGLE HUNG 1/1	188.00	188.00T
1	WIN101	34 5/8 X 47 SINGLE HUNG 1/1	212.00	212.00T
1	WIN101	34 5/8 X 35 SINGLE HUNG 1/1	188.00	188.00T
1	WIN101	16 3/4 X 74 PICTURE WINDOW 1LITE	241.00	241.00T
3	WIN101	16 1/2 X 74 PICTURE WINDOW 1LITE	241.00	723.00T
3	SCREEN	SCREENS	12.00	36.00T
7	SERV101	REMOVE FINS	10.00	70.00T
		2 WEEKS		

	Subtotal	\$1,658.00
	Sales Tax (8.25%)	\$136.79
	Total	\$1,794.79
	Payments/Credits	-\$859.50
	Balance Due	\$935.29



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:

Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov