

CERTIFICATE OF APPROPRIATENESS

Application Date:

Applicant: Christian Broussard, Owner

Property: 412 Hawthorne Street, Lot 18, Block 1, Westmoreland Subdivision. The property includes a two-story wood frame 2,594 SF single-family residence situated on a 5,871 SF interior lot. Per HCAD

Significance: Contributing Queen Anne residence, constructed circa 1905, located in the Westmoreland Historic District.

Proposal: Alteration – Exceeded Scope of work of previously administratively approved COA dated March 7, 2023, (attached)

- Removed interior shiplap, removed original siding and windows on the east and west elevations.
Cut original balloon framing and partially reframed western style.

Public Comment: none

Civic Association: none

Recommendation: Denial and Issuance of Certificate of Remediation to reframe and sheath the structure per engineer approved plans, re-install the original siding and windows, in the original configurations and per specifications approved by staff.

HAHC Action: -

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: -
Effective:



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|
| | | | S - satisfies D - does not satisfy NA - not applicable |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property;
Destruction of the balloon framing and removal of the original siding and associated materials does not retain and preserve the historical character of the property and could jeopardize the sustainability of the historic structure. The COR recommendation would satisfy this criterion. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
Destruction of the balloon framing and removal of the original siding and associated materials does not retain and preserve the historical character of the property and could jeopardize the sustainability of the historic structure. The COR recommendation would satisfy this criterion. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
Removal of the original siding and windows does not maintain or replicate exterior features, but the recommended COR may satisfy this criterion. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements and must be compatible with the size, scale, material and character of the property and the area in which it is located;
This criterion is not met at this time but could be satisfied by complying with the recommended COR |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |



PROPERTY LOCATION
WESTMORELAND HISTORIC DISTRICT



CURRENT PHOTO



Please see attached previously approved COA for original elevations.





Figure 1 - Proposed Siding Replacement Method

Please see attached drawings and specifications from engineer regarding the method for framing and sheathing.

Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland

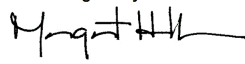
CERTIFICATE OF APPROPRIATENESS**Applicant:** Darchelle King, Our Heavenly Star Properties for Jacoby Building Solutions, LLC, owner**Property:** 412 Hawthorne Street, Lot 18, Block 1, Westmoreland Subdivision. The property includes a historic two-story wood frame 2,539 square foot single-family residence situated on a 5,871 square foot interior lot.**Significance:** Contributing Queen Anne residence, constructed circa 1905, located in the Westmoreland Historic District.**Proposal:** Alteration – Addition

The applicant is proposing to construct a two-story rear addition that is within the footprint of the original two-story home. The addition will be 1537 sq ft of living space, exterior to match existing structure in both esthetics and material. Ridge height will be 34' which is lower than the existing of 35'-3"

- All new windows on the addition shall be inset and recessed.
- New siding will be smooth Cementous siding
- Original house will have no work on the exterior (windows or siding), all original windows will remain.

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved per this Certificate. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and removal can cause torquing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS**PLANNING &
DEVELOPMENT
DEPARTMENT****Basis for Issuance:** Administrative Approval

DocuSigned by:

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3/7/2023

Planning Official**Date Effective**

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

Houston Archaeological & Historical Commission

March 23, 2023
HPO File No. 2023_0014

ADMINISTRATIVE
412 Hawthorne Street
Westmoreland

SHALL APPROVE ADDITIONS

Sec. 33-241.1(a): The director shall approve a certificate of appropriateness for the construction of anyone, but no combination of the following additions to a contributing structure in a historic district:

S D NA

S - satisfies D - does not satisfy NA - not applicable

(1) A rear addition that:

- (a) Is not taller than the existing structure;
- (b) Is set back from the side property lines at least as much as the structural walls of the existing structure;
- (c) Is not wider than the wall to which it is attached;
- (d) Does not require the demolition of any portion of the existing structure except for the rear wall to which the addition will be attached; and
- (e) Has a roof pitch that is less than or equal to the existing structure; and
- (f) Is not constructed on a building that has had an addition approved under this chapter.

Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland



PROPERTY LOCATION
WESTMORELAND HISTORIC DISTRICT

412 Hawthorne



Building Classification

- Contributing
- Non-Contributing
- Park

Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland

INVENTORY PHOTOS



Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland

CURRENT PHOTOS



Houston Archaeological & Historical Commission

March 23, 2023

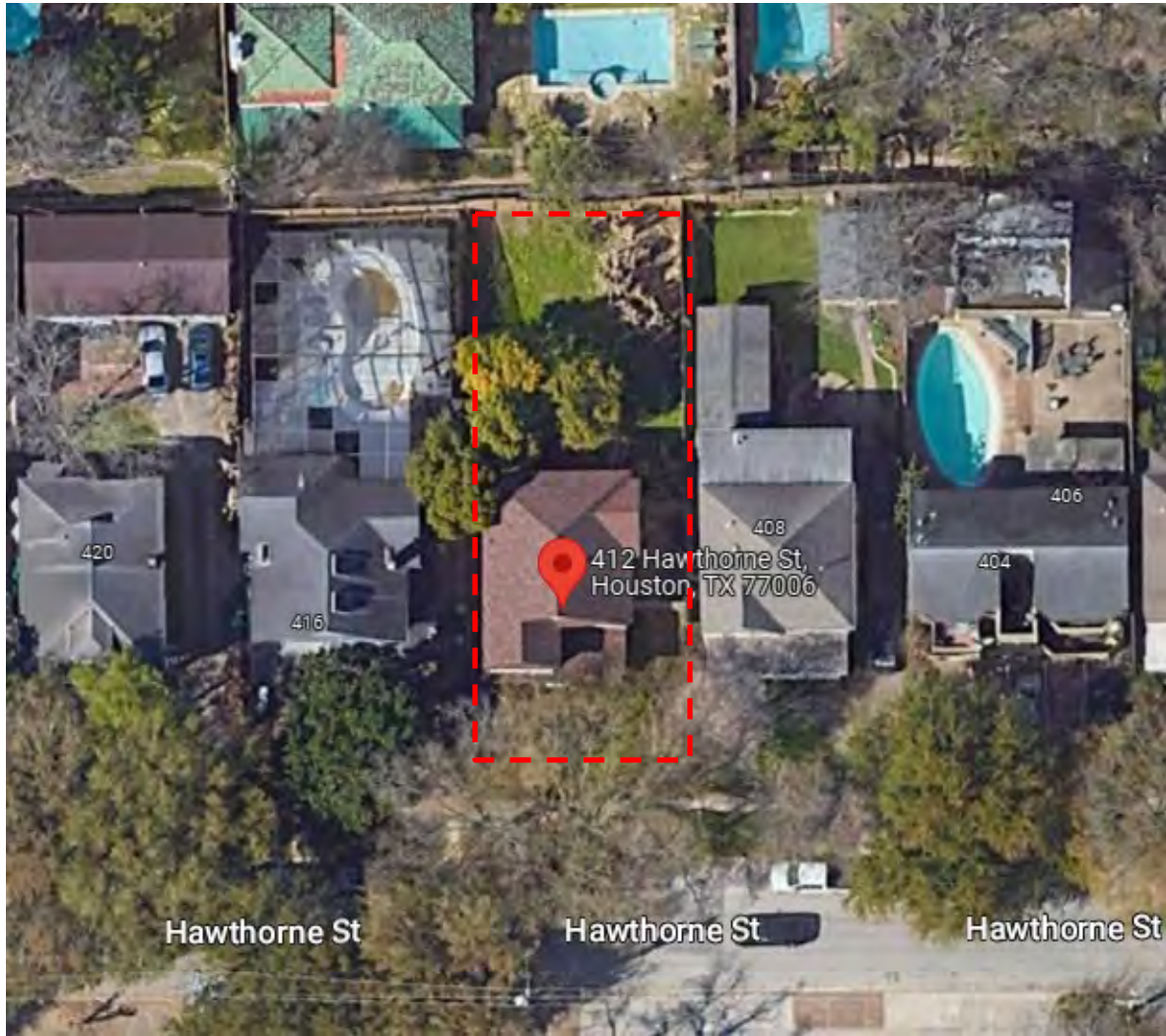
HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland

AERIAL VIEW OF PROPERTY



Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland

SITE PLAN

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SAAS LAND SERVICES, LLC
 TEL: (832)725-8595
 saaslandservices@gmail.com

NOTE(S):
 1) Property subject to subdivision covenants, conditions and restrictions be easements, building lines and other matters of record.
 2) This survey was done without the benefit of a title report.
 3) Any and all easements, building lines, and conditions, and restrictions as set forth in plat recorded under Volume 002, Page 006 of the Map and Plat Records of Harris County, Texas.
 4) Bearing basis: Recorded subdivision plat.

HAWTHORNE STREET
 (60' R.O.W.)

LOT(S): E 49' LOT 18	BLOCK: 1	SUBDIVISION: WESTMORELAND
RECORDATION: VOL. 002 PG. 006 H.C.M.R.	COUNTY: HARRIS	STATE: TEXAS
ADDRESS: 412 HAWTHORNE STREET	CITY: Houston, 77006	EFFECTIVE DATE: N/A
PURCHASER: N/A	TITLE COMPANY: N/A	GF. No. N/A

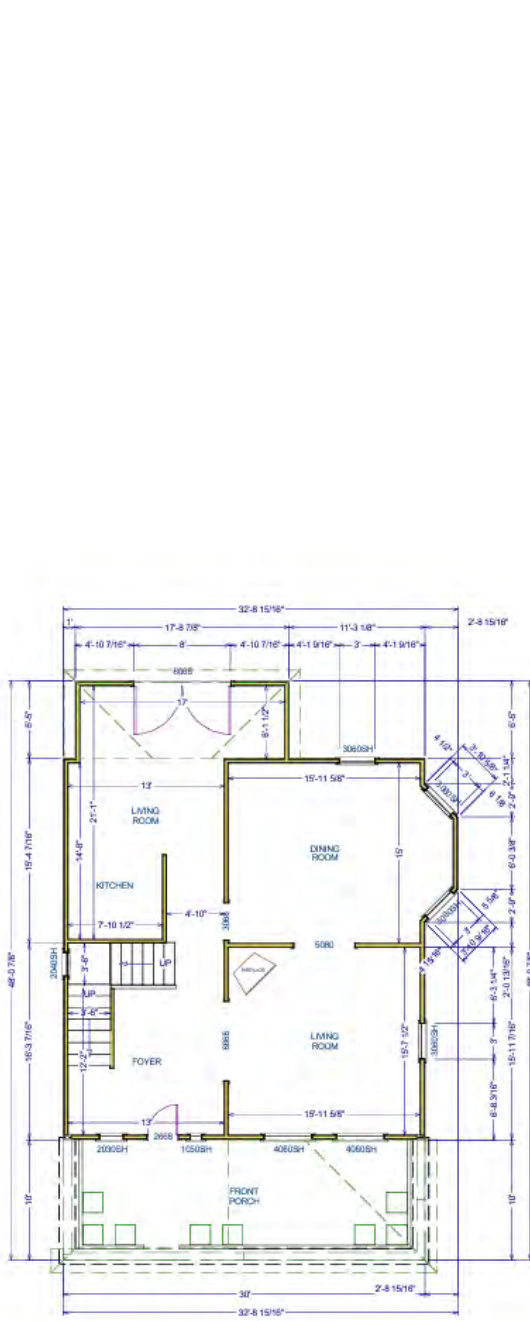
I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND FOR THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET) REPRESENTS THE FACTS FOUND AT THIS TIME.

THIS PROPERTY IS NOT IN THE 100 YEAR FLOOD ZONE, IS IN ZONE X PER F.I.R.M. MAP No. 48201C0860L DATED: 06/18/2007

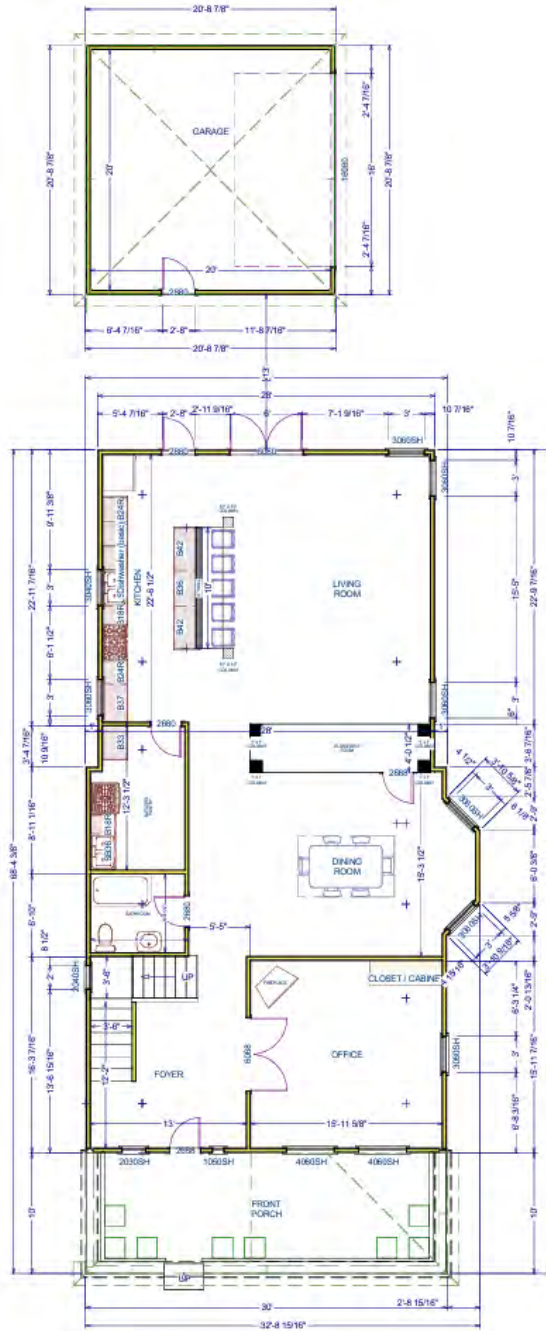
FIELD WORK	AP/MV	02/01/2023
DRAFTED BY	SP	1/09/2023
JOB No.	C22-1234	
KEY MAP No.	493T	

David L. Bowden TX. R.P.L.S. No. 4864
Bowden Survey
 PROFESSIONAL SURVEYING SERVICES
 12000 WESTHEIMER RD. STE. 106
 HOUSTON, TEXAS 77077
 PHONE: (281) 531-1900 FAX: (281) 531-4800
 TBPLS Registration No. 10127400

FLOOR PLANS
FIRST FLOOR PLAN



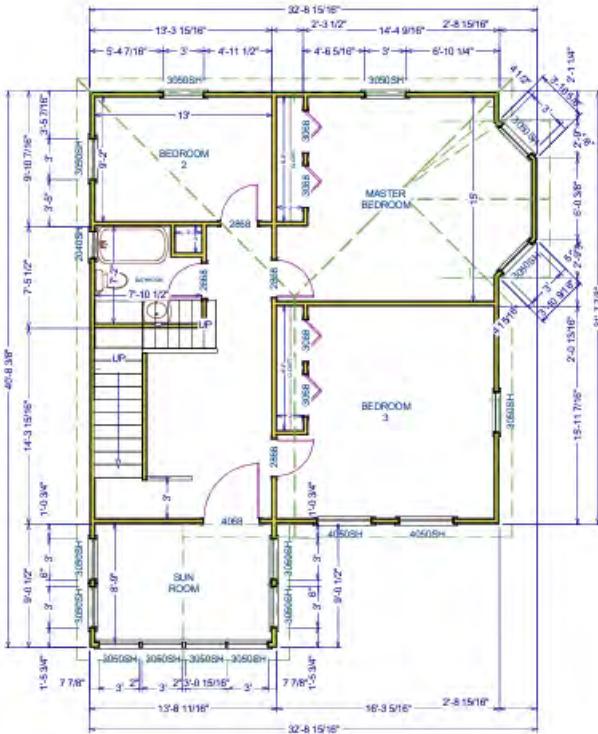
EXISTING FIRST FLOOR



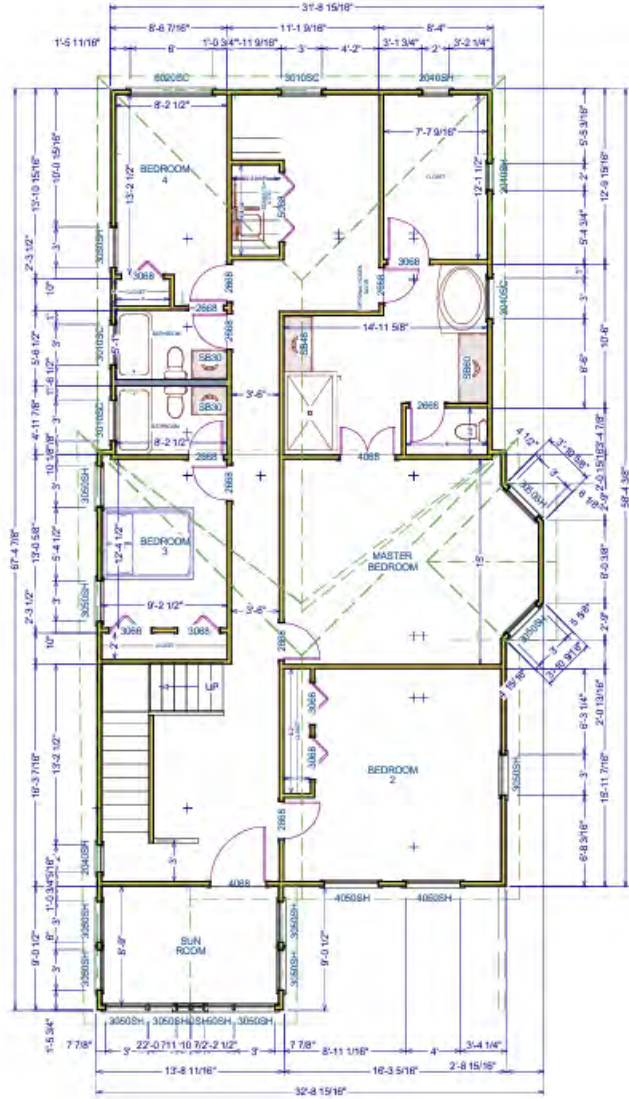
PROPOSED FIRST FLOOR

EXISTING FRAMING
ALL NEW CONSTRUCTION
FRONT PORCH - 350
DECK - 147
FIRST FLOOR LIVING
SECOND FLOOR LIVING
ATTIC / THIRD FLOOR
TOTAL LIVING SQUARE
TOTAL SQUARE FOOT

FLOOR PLANS
SECOND FLOOR PLAN



EXISTING SECOND FLOOR



PROPOSED SECOND FLOOR

Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland

ELEVATIONS

(SOUTH FRONT ELEVATION)



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

(EAST SIDE ELEVATION)



EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION

Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland

(WEST SIDE ELEVATION)



EXISTING RIGHT ELEVATION



PROPOSED RIGHT ELEVATION

(NORTH REAR ELEVATION)



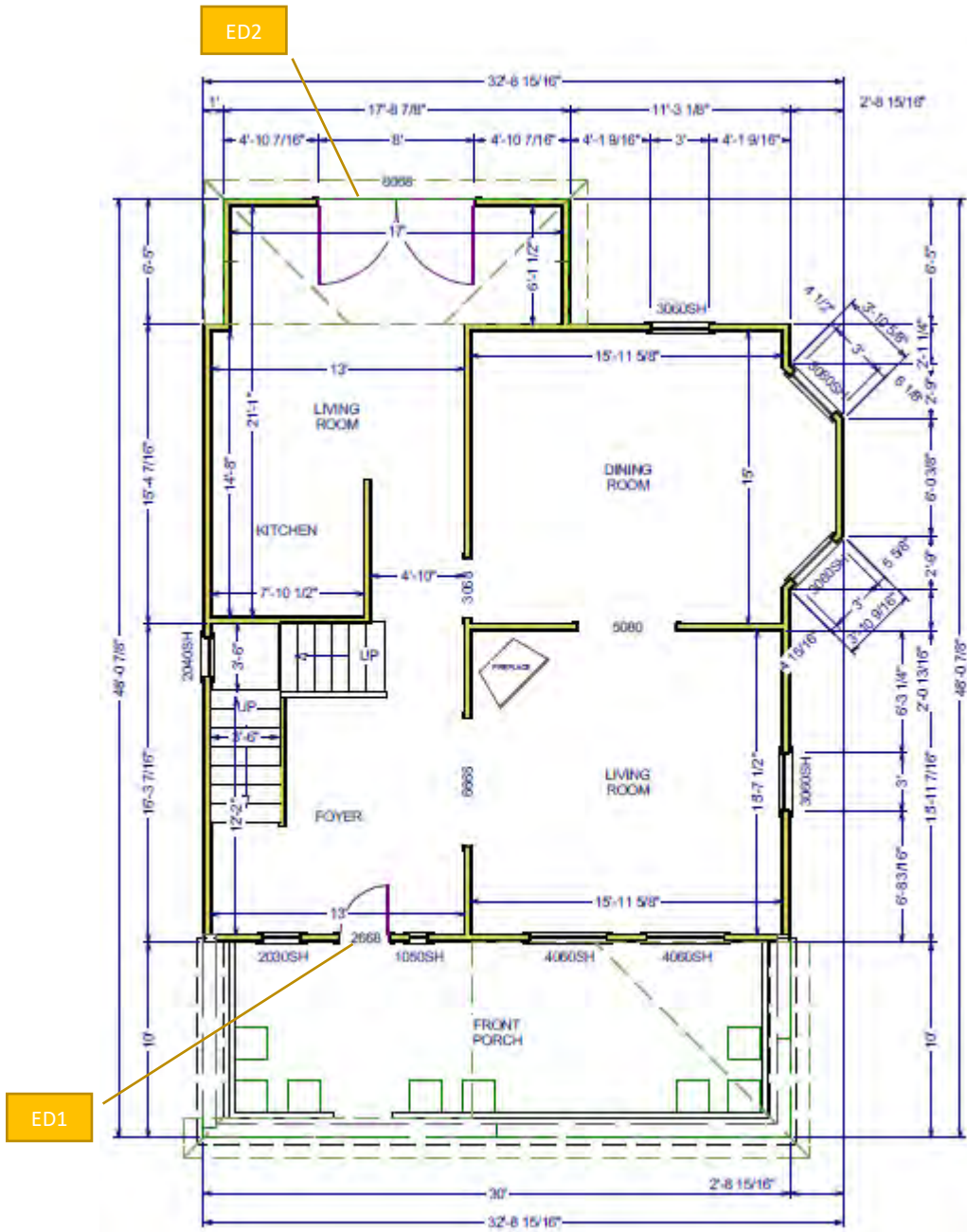
EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

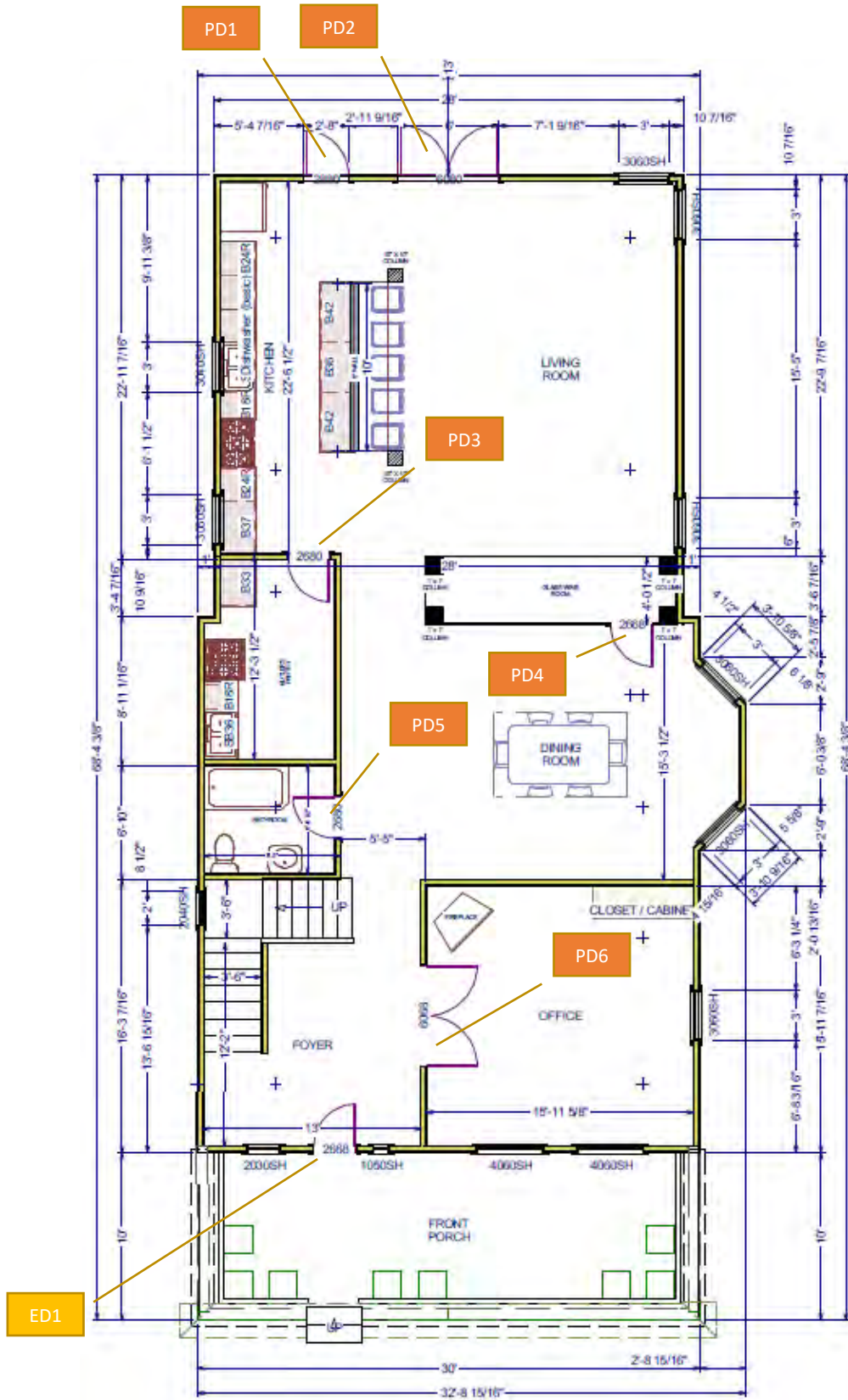
412 HAWTHORNE STREET

EXISTING FIRST FLOOR DOORS SCHEDULE



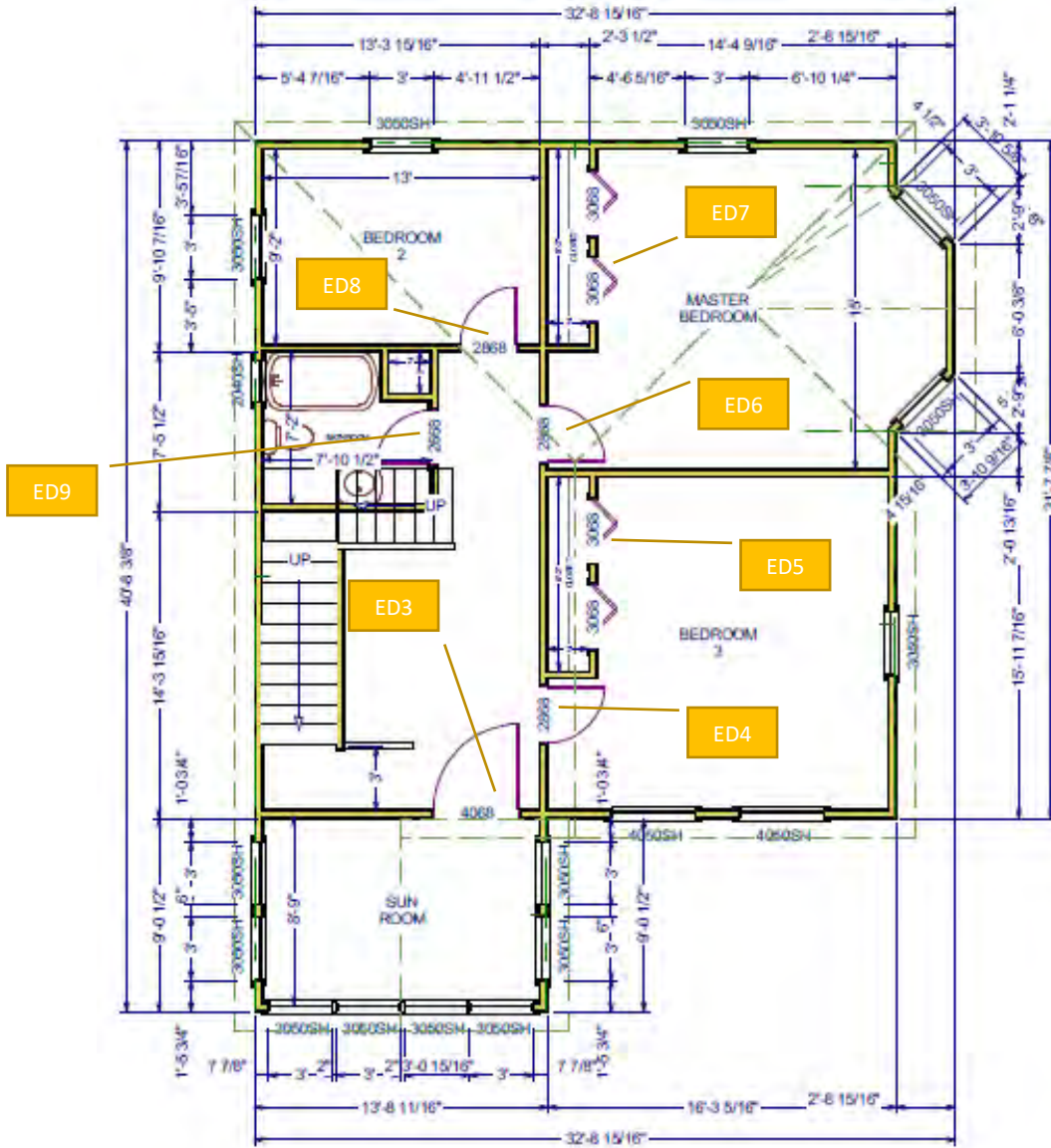
412 HAWTHORNE STREET

PROPOSED FIRST FLOOR DOORS SCHEDULE



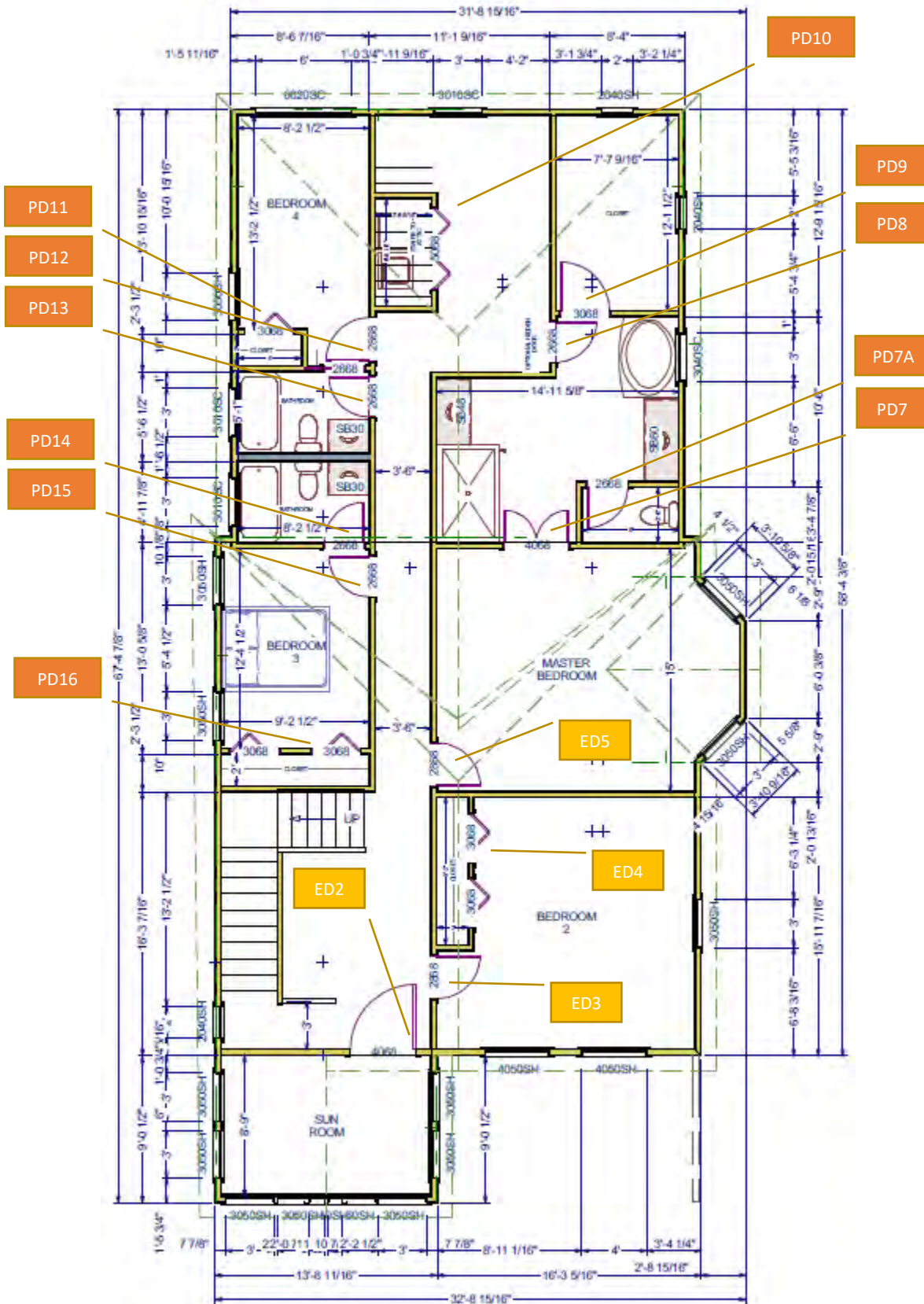
412 HAWTHORNE STREET

EXISTING SECOND FLOOR DOORS SCHEDULE



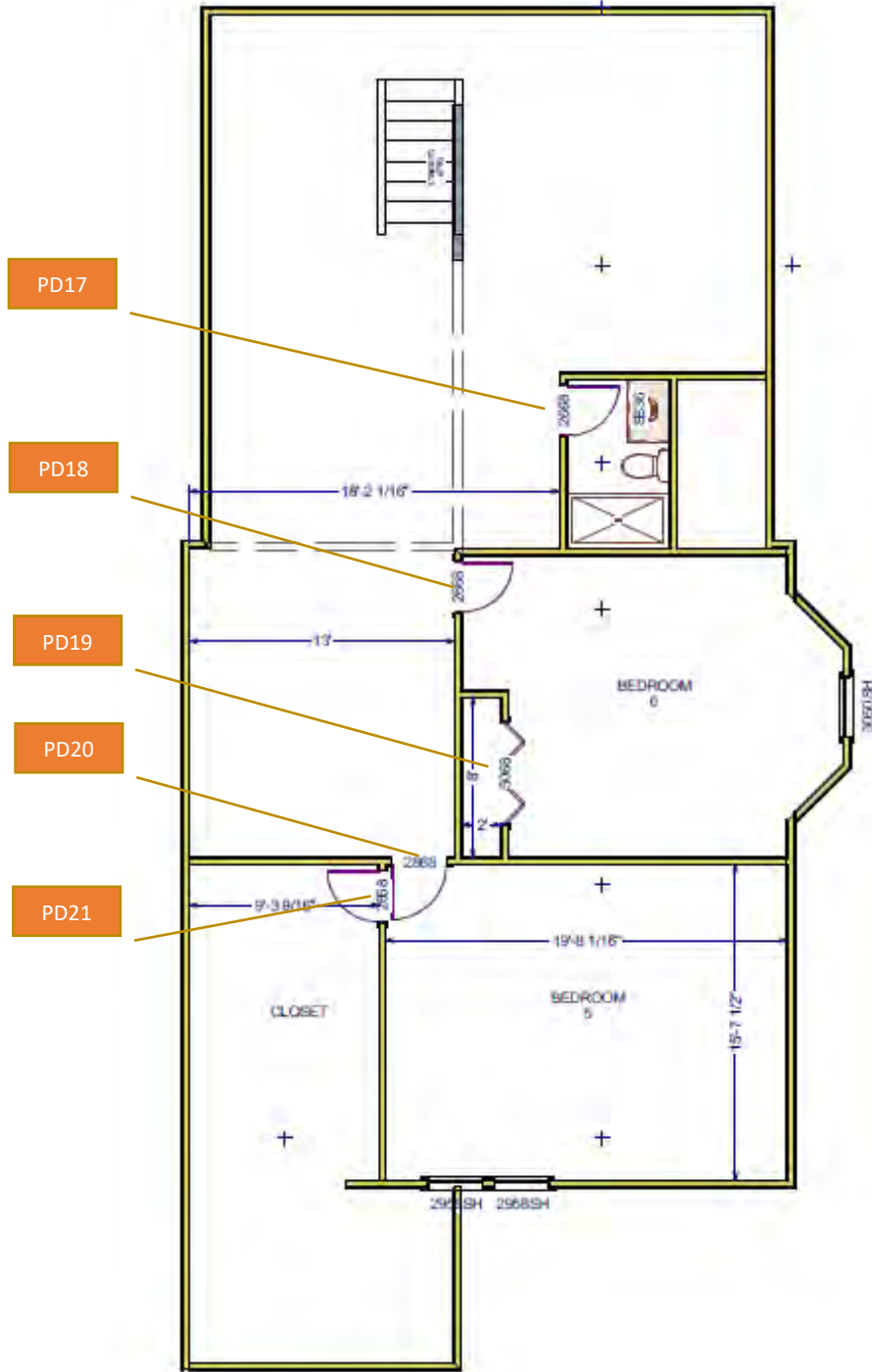
412 HAWTHORNE STREET

PROPOSED SECOND FLOOR DOORS SCHEDULE



412 HAWTHORNE STREET

PROPOSED ATTIC DOORS SCHEDULE



412 HAWTHORNE STREET DOORS SCHEDULE

DOOR NO.	LOCATION	FRAME TYPE	MATERIAL	GLAZING	STYLE	DIMENSIONS	ORIGINAL / REPLACEMENT	EXISTING TO REMAIN	NOTES
ED1	FRONT ENTRY	SINGLE W/ SIDELITE	WOOD	YES	3/4 Oval	6'8" tall, 36" wide door, 12" sidelites	ORIGINAL	YES	Weather, to be Refurbished
ED2	REAR ENTRY	FRENCH DOOR	WOOD	YES	FULL 8 LUITE	6'8" tall, 60" wide door	ORIGINAL	NO	This door was not apart of the original home. It was a added in the mid 60's
ED3	SUNROOM	SINGLE	WOOD	YES	FULL 2 LUITE	9'8" tall, 48" wide door	ORIGINAL	YES	Weather, to be Refurbished
ED4	BEDROOM 3	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	ORIGINAL	NO	Door is warped; to be replaced w/new
ED5	BEDROOM 3	BIFOLD DOORS	WOOD	NO	LEVERED	Two Set - 6'8" tall, 24" wide door	REPLACEMENT	NO	Door is damaged; to be replaced w/new
ED6	MASTER BEDROOM	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	ORIGINAL	YES	
ED7	MASTER BEDROOM	BIFOLD DOORS	WOOD	NO	LEVERED	Two Set - 6'8" tall, 24" wide door	REPLACEMENT	NO	Door is damaged - TO BE REMOVED
ED8	BEDROOM 2	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	ORIGINAL	NO	Relocated
ED9	BATHROOM	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	ORIGINAL	NO	Relocated
PD1	REAR ENTRY - KITCHEN	SINGLE	STEEL	YES	Miniblind Half Lite	6'8" tall, 36" wide door	NEW	n/a	
PD2	PATIO DOOR - LIVING ROOM	FRENCH DOOR	STEEL	YES	Miniblind Full Lite	6'8" tall, 60" wide door	NEW	n/a	
PD3	BUTLERS PANTRY	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD4	WINE ROOM	SINGLE	WOOD	YES	3/4 Lite	6'8" tall, 32" wide door	NEW	n/a	
PD5	BATHROOM 1	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD6	OFFICE	FRENCH DOOR	WOOD	YES	FULL 8 LUITE	6'8" tall, 60" wide door	NEW	n/a	
PD7	MASTER BATHROOM	FRENCH DOOR	WOOD	YES	FULL 10 LUITE	6'8" tall, 48" wide door	NEW	n/a	
PD7A	MB WATER CLOSET	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD8	MASTER BATHROOM	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD9	MB CLOSET	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD10	LAUNDRY CLOSET	BIFOLD DOORS	WOOD	NO	LEVERED	Two Set - 6'8" tall, 24" wide door	NEW	n/a	
PD11	BEDROOM 4 CLOSET	BIFOLD DOORS	WOOD	NO	LEVERED	6'8" tall, 36" wide door	NEW	n/a	
PD12	BEDROOM 4	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD13	BATHROOM 2	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD14	BATHROOM 3	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD15	BEDROOM 3	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD16	BEDROOM 3 CLOSET	BIFOLD DOORS	WOOD	NO	LEVERED	Two Set - 6'8" tall, 24" wide door	NEW	n/a	
PD17	BATHROOM 4	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD18	BEDROOM 6	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD19	BEDROOM 6 CLOSET	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD20	BEDROOM 5	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	
PD21	BEDROOM 5 CLOSET	SINGLE	WOOD	NO	5-Panel	6'8" tall, 32" wide door	NEW	n/a	

Houston Archaeological & Historical Commission

March 23, 2023

HPO File No. 2023_0014

ADMINISTRATIVE

412 Hawthorne Street

Westmoreland















Engineer's Re-framing and Sheathing Plan

PLAN & GENERAL NOTES

HAWTHORNE STREET RESIDENCE

412 HAWTHORNE STREET
HOUSTON TX, 77006

ISSUE HISTORY	
DATE	ISSUED FOR
07-24-23	CLIENT REVIEW
	PERMIT
	CONSTRUCTION



PE BUILDINGS
BRIDGES
INSPECTIONS
MARINE STRUCTURES
CIVIL ENGINEERING &
STRUCTURAL ENGINEERING

**PARAMOUNT
ENGINEERING
LLC**

10145 LONG POINT DR.
HOUSTON, TX 77043
TEL : (713) 636-9977
FAX : (713) 888-9872
CEL : (713) 204-1742

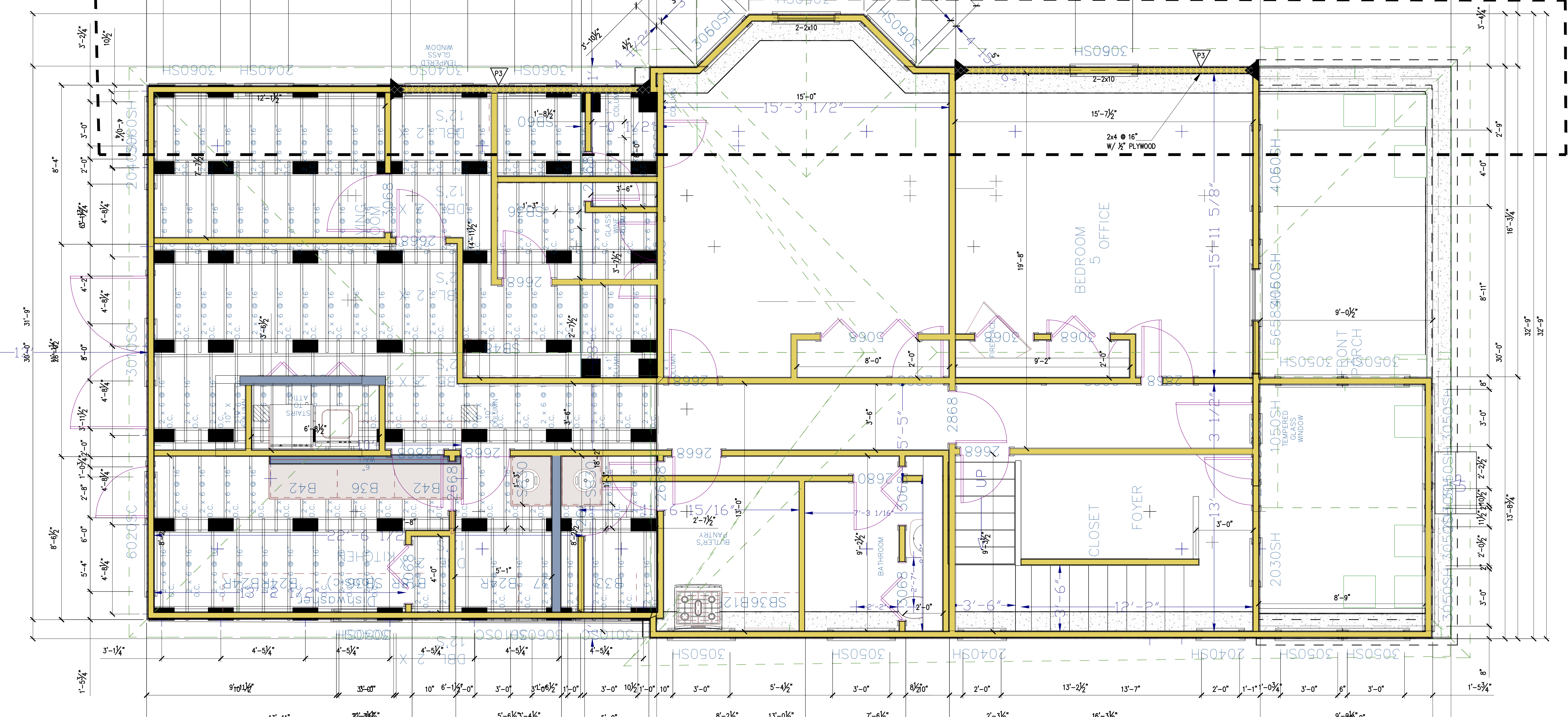
TBPE REGISTRATION # F-3394

DRAWN BY: MA CHECKED BY: MM

PROJ. NO.: PE23-IL25

SHEET: **S1**

NEW WALL SCOPE OF WORK



PLAN LEGEND

INTERNATIONAL RESIDENTIAL CODE: 2015

DESIGN LOADS:

1. ROOF LIVE LOADS	20 PSF		
2. FLOOR LIVE LOADS	(INT'L RESIDENTIAL CODE-2015)		
EXTERIOR BALCONIES	60 PSF	SLEEPING ROOMS	30 PSF
DECKS	40 PSF	OTHER ROOMS	40 PSF
FIRE ESCAPES	40 PSF	ATTIC W/ STORAGE	20 PSF
STAIRS	40 PSF	ATTIC W/O STORAGE	10 PSF
GUARDRAILS & HANDRAILS	200 PSF *	GARAGE	50 PSF

* A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION @ ANY POINT ALONG THE TOP.

3. WIND LOADS

ULTIMATE WIND SPEED	139 MPH (ULTIMATE)
EXPOSURE: B	RISK CATEGORY II

LEGEND

- SHEAR WALL TYP.
- SHEAR WALL HOLD-DOWN

DIMENSIONS ARE APPROXIMATE. MUST BE VERIFIED IN FIELD.
CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND COORDINATE DETAILS WITH ARCHITECTURAL DRAWINGS. ALL DIMENSIONS & ELEVATION ON ARCHITECTURAL DRAWINGS SHALL GOVERN. IT IS CONTRACTOR'S RESPONSIBILITY TO REPORT TO ENGINEER ABOUT DISCREPANCY IN DRAWINGS PRIOR TO FABRICATION & BIDDING.

GENERAL NOTES FOR WOOD FRAMING

(THESE NOTES SHALL CONTROL UNLESS NOTED OTHERWISE ON PLANS AND DETAILS.)

TIMBER GRADES

- ROOF RAFTERS: NO. 3 SOUTHERN YELLOW PINE (SYP) OR EQUAL
- CEILING AND FLOOR JOISTS: NO. 2 SOUTHERN YELLOW PINE (SYP) OR EQUAL
- BEAMS & HEADERS: NO. 2 SOUTHERN YELLOW PINE (SYP) OR EQUAL
- STUDS: STUD GRADE (SYP) OR EQUAL
- WOOD POSTS: NO. 2 SYP, SURFACE GREEN.

JOISTS

- JOIST BLOCKING**
 - JOISTS SHALL BE LATERALLY SUPPORTED AT EACH END AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS OF JOISTS ARE NAILED INTO A HEADER, BAND OR RM JOIST OR TO AN ADJOINING STUD. SOLID BLOCKING SHALL NOT BE LESS THAN TWO INCHES IN THICKNESS AND SHALL MATCH THE DEPTH OF THE JOIST.
 - PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO THE DIRECTION OF THE JOISTS.
 - PROVIDE DOUBLE JOISTS UNDER ALL BEARING WALLS PARALLEL TO THE DIRECTION OF THE JOISTS.
- JOIST BRIDGING**
 - PROVIDE BRIDGING AT ALL FLOOR JOISTS AT SPACING NOT TO EXCEED 8'-0".
- JOIST HOLES AND NOTCHES**
 - NOTCHES IN TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE SIXTH (1/6) THE JOIST DEPTH AND SHALL NOT BE LOCATED WITHIN MIDDLE THIRD OF THE SPAN.
 - HOLES SHALL NOT BE CLOSER THAN 2" TO TOP OR BOTTOM OF JOIST, THE DIAMETER OF ANY HOLE SHALL NOT EXCEED ONE FOURTH (1/4) THE JOIST DEPTH UNLESS APPROVED BY THE ENGINEER.

BEAMS AND HEADERS

- AT BEAMS MADE UP OF A NUMBER OF 2x JOISTS, EACH JOIST WILL BEAR ON A WALL STUD (I.E. NUMBER OF WALL STUDS SHALL MATCH NUMBER OF JOISTS BEARING ON THESE STUDS). THE CENTERLINE OF THE BEAM SHALL BE THE CENTERLINE OF THE SUPPORTING WALL STUDS.
- ALL BEAMS MADE UP OF A NUMBER OF 2x JOISTS SHALL BE FASTENED AS FOLLOWS: FOR THE MAXIMUM HORIZONTAL SPACING OF BOLTS:
 - 2-2x12 16d NAILS @ 12" TOP & BOTTOM, STAGGER, EA. FACE
 - 3-2x12 20d NAILS @ 12" TOP & BOTTOM, STAGGER, EA. FACE
 - 4-2x12 (OR MORE) 5/8" BOLTS @ 12" TOP & BOTTOM, STAGGER
 BOLTS SHALL BE 5/8" DIA. LOCATED 2" MINIMUM FROM BEAM EDGES AND SHALL BE STAGGERED IN TOP AND BOTTOM ROWS. PROVIDE STANDARD WASHERS @ EACH FACE.
- ALL DOOR AND WINDOW HEADERS (OR HEADERS AT ANY OTHER OPENING) THAT ARE NOT SPECIFIED ON PLANS SHALL BE AS FOLLOWS:
 - FLOOR FRAMING: 2-2x12
 - CEILING FRAMING: 2-2x8
- MINIMUM BEARING OF ANY BEAM OR HEADER AT A STUD WALL IS 3-1/2"

STUD WALLS

- STUDS SHALL BE AS FOLLOWS:
 - 2x4 @ 16" AT ALL FLOORS IN ONE- OR TWO- STORY STRUCTURES (U.O.N.)
 - 2-2x4 OR 2x6 @ 16" AT ALL STUD WALLS AT FIRST FLOOR AREAS DIRECTLY BELOW A THIRD FLOOR (U.O.N.)
 - 3-2x4 OR 2-2x6 @ 16" AT ALL STUD WALLS AT FIRST FLOOR AREAS DIRECTLY BELOW A FOURTH FLOOR (U.O.N.)
- PROVIDE A MINIMUM OF TWO (2) STUDS AT EACH SIDE OF OPENINGS LARGER THAN 4'-0". FULL HEIGHT OF WALL (KING STUDS).
- MAXIMUM STUD WALL HEIGHT SHALL BE AS FOLLOWS:
 - 2x4 STUDS @ 16" @c. 10'-0"
 - 2x6 STUDS @ 16" @c. 13'-0"
 - 2x8 STUDS @ 16" @c. 16'-0"
- BLOCKING & LATERAL BRACING**
 - PROVIDE BLOCKING AND/OR TEMPORARY CROSS BRACING AS REQUIRED TO ENSURE STUD STRAIGHTNESS ACCORDING TO SPECIFIED TOLERANCES.
 - MAXIMUM TOLERANCE FOR STUD STRAIGHTNESS IN EITHER DIRECTION IS 1/4 INCH PER TEN (10) FEET OF STUD HEIGHT.
 - MINIMUM BLOCKING:
 - 1 ROW FOR STUD HEIGHT UP TO 8'-0";
 - 2 ROWS FOR STUD HEIGHT UP TO 15'-0";
 - 3 ROWS FOR STUD HEIGHT OVER 15'-0".

CONNECTORS

- CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC., DUBLIN, CA. OR APPROVED EQUAL. NAIL ALL NAIL HOLES.
- CONNECTORS SHALL BE THE MANUFACTURER-DESIGNATED SIZE FOR FRAMED MEMBERS, AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ALL NAIL & BOLT HOLES SHALL BE ENGAGED, WITH MANUFACTURER-DESIGNATED FASTENERS.
- CONNECTORS SHALL BE INSTALLED AT THE ENDS OF ALL JOISTS & BEAMS FRAMING INTO OTHER (SUPPORTING) MEMBERS (UNLESS OTHERWISE NOTED).
- THE FOLLOWING CONNECTORS SHALL BE PROVIDED AND SHALL BE CONSIDERED THE MINIMUM:
 - SAWN-LUMBER JOISTS — U SERIES
 - I-JOISTS — IUS SERIES
 - MULTIPLE-JOIST/BEAMS — HUS SERIES
 - PSL & LVL BEAMS — LBV SERIES
 - LSL (GLU-LAM) BEAMS — HGUS SERIES

FASTENERS

- BOLTS**
 - USE ASTM A-307 BOLTS, WITH STANDARD WASHERS AT ALL CONTACT SURFACES.
 - PROVIDE 1/2" x 0'-10" LONG ANCHOR BOLTS @ 3'-0" O.C. AT ALL EXTERIOR WALL SILL PLATES, WITH 2" PROJECTION AND 1" THREAD.
 - ALL BOLTS, NUTS, AND WASHERS EXPOSED TO WEATHER SHALL BE GALVANIZED.
 - ALL BOLTS, NUTS, AND WASHERS IN CONTACT W/ TREATED WOOD SHALL BE GALVANIZED.
- ADHESIVE ANCHORS**
 - USE HIT-TO-HIT R5000 ANCHORS, OR APPROVED EQUAL.
 - INSTALL IN STRICT ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS.
- POWDER-ACTUATED PINS**
 - USE HILTI X-EDNI (0.145" SHANK) OR APPROVED EQUAL.
 - INSTALL IN STRICT ACCORDANCE W/ MANUFACTURER'S RECOMMENDATIONS.

HURRICANE CLIPS:

ALL HURRICANE CLIP AND NAILS IN CONTACT WITH PRESSURE TREATED WOOD MEMBER SHALL BE GALVANIZED.

MISCELLANEOUS:

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED LUMBER.

NAILING SCHEDULE (FLOOR & ROOF DECK)

DECK TYPE & THICKNESS	NAIL SIZE	NUMBER OR NAILING PATTERN
PLYWOOD OR PARTICLE BOARD		
1/2" OR LESS	8D COMMON OR EQUAL	6" O.C. @ PANEL EDGES
19/32" THRU 3/4"	8D COMMON OR EQUAL	10" O.C. @ INTERMEDIATE SUPPORTS TYPICAL
7/8" THRU 1" (FLR.)	8D COMMON OR EQUAL	10" O.C. @ INTERMEDIATE SUPPORTS TYPICAL
1 1/8" THRU 1 1/4" (FLR.)	10D COMMON OR EQUAL	10" O.C. @ INTERMEDIATE SUPPORTS TYPICAL

NAILING SCHEDULE (FRAMING MEMBERS)

CONNECTED MEMBERS	NAIL SIZE	NUMBER OR NAILING PATTERN
BRIDGING TO JOIST	8D COMMON	2 TOE NAIL EA. END
SOLE PLATE TO JOIST OR BLOCKING	16D COMMON	@ 16" O.C. FACENAIL.
TOP PLATE TO STUD	16D COMMON	2 END NAIL.
STUD TO SOLE PLATE.	8D COMMON OR 16D COMMON	4 TOE NAIL.
DOUBLE STUDS.	16D COMMON	@ 24" FACE NAIL.
DOUBLED TOP PLATES.	16D COMMON	@ 16" FACE NAIL.
TOP PLATES: LAPS & INTERSECTIONS.	16D COMMON	2 FACE NAIL.
CONTINUOUS HEADER, TWO PIECE.	16D COMMON	@ 16" FACE NAIL ALONG EA. EDGE.
CEILING JOISTS TO PLATE.	8D COMMON	3 TOE NAIL.
CONTINUOUS HEADER TO STUD.	8D COMMON	4 TOE NAIL.
CEILING JOISTS, LAPS OVER PARTITIONS.	16D COMMON	3 FACE NAIL.
CEILING JOISTS TO PARALLEL RAFTERS.	16D COMMON	3 FACE NAIL.
RAFTER TO PLATE.	8D COMMON	3 TOE NAIL.
1" BRACE TO EACH STUD & PLATE.	8D COMMON	2 FACE NAIL.
BUILT UP CORNER STUDS.	16D COMMON	@ 24" FACE NAIL.
CONTINUOUS HEADER, 3 OR MORE PIECE & BUILT UP ORDERS OR BEAMS.	BOLTS	RE: GEN. NOTES.

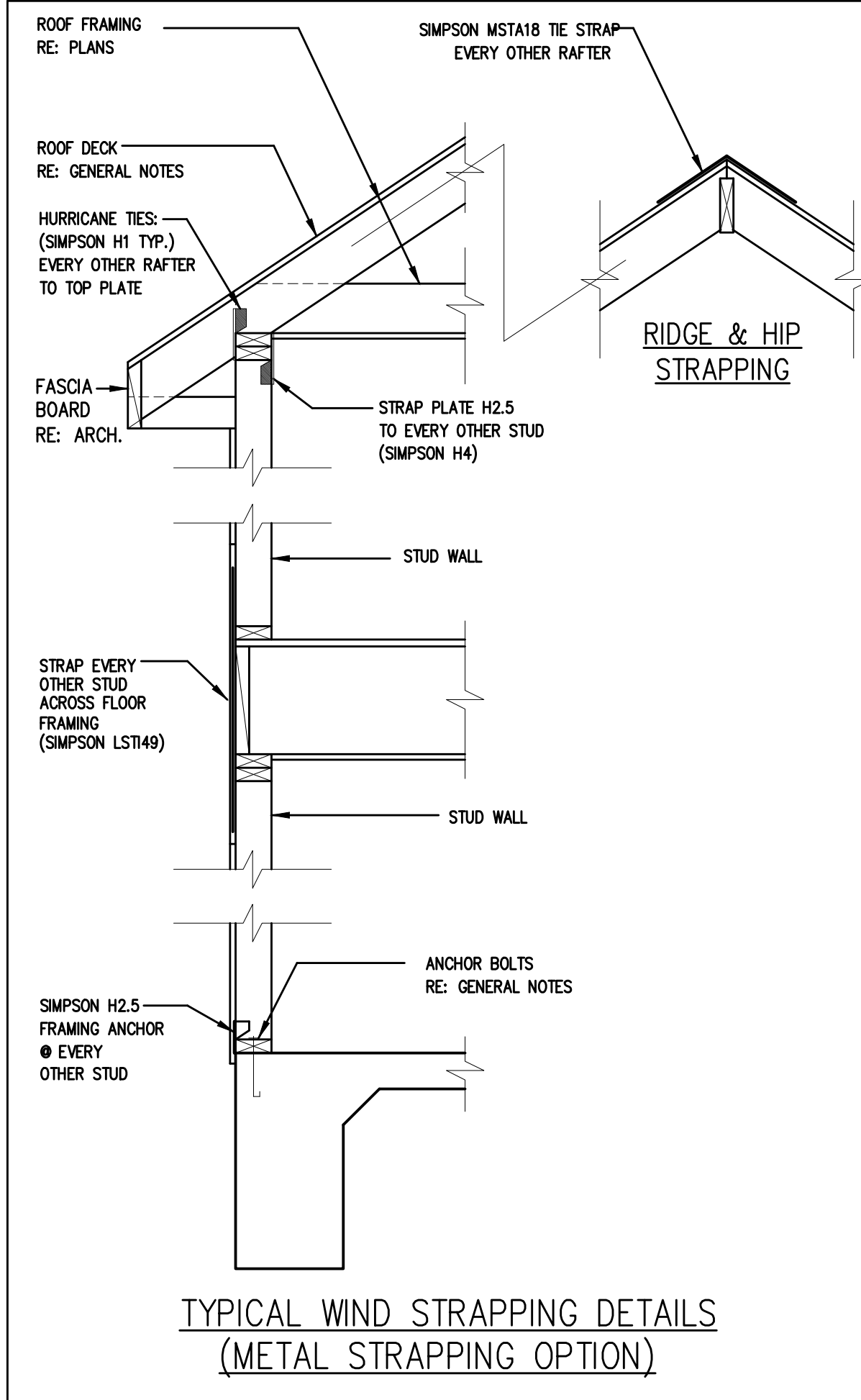
NAILING SCHEDULE (WALL SHEATHING AND SIDING)

SHEATHING TYPE & THICKNESS	FASTNER SIZE & TYPE	NAILING PATTERN
PLYWOOD & PARTICLE BOARD		
LESS THAN 1/2"	6D COMMON OR EQUAL	6" O.C. @ PANEL EDGES
1/2" THRU 3/4"	8D COMMON OR EQUAL	12" O.C. @ INTERMEDIATE SUPPORTS
FIBERBOARD		
1/2" OR LESS	6D COMMON OR EQUAL	6" O.C. @ INTERMEDIATE SUPPORTS
25/32"	8D COMMON OR EQUAL	12" O.C. @ INTERMEDIATE SUPPORTS
GYPSPUM SHEATHING		
1/2" OR 5/8"	12 GA. (4) OR EQUAL	4" O.C. @ EDGES 8" O.C. @ INTERMEDIATE SUPPORTS
GYPSPUM WALLBOARD		
1/2"	1 3/8" DRYWALL NAILS	7" O.C. @ CEILINGS
5/8"	1 1/2" DRYWALL NAILS	8" O.C. @ WALLS
PANEL SIDING (TO FRAMING)		
1/2" OR LESS	6D COMMON OR EQUAL	1 EACH PANEL
5/8"	8D COMMON OR EQUAL	1 EACH PANEL

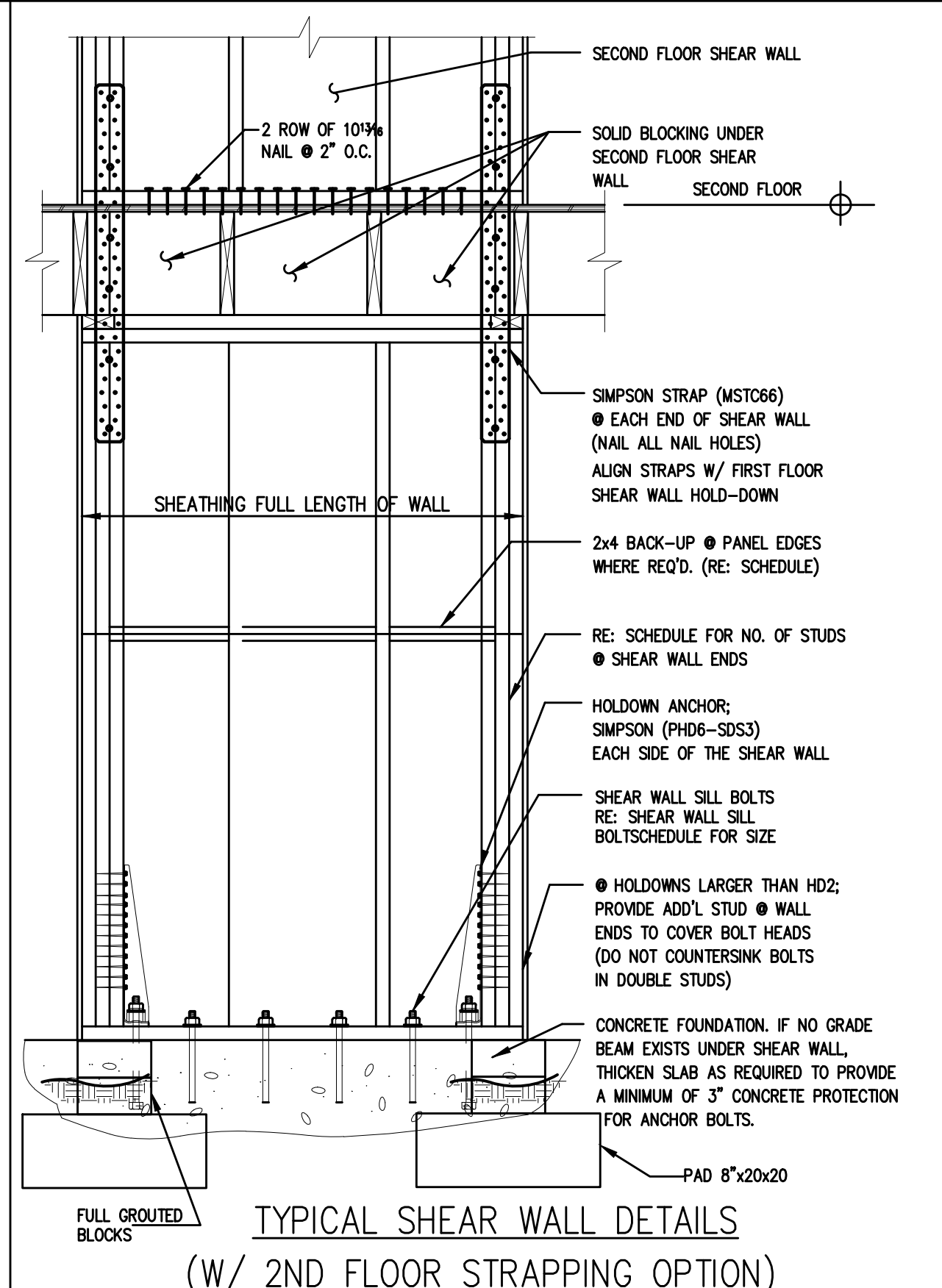
NOTES ON "NAILING--WALL SHEATHING & SIDING"

- CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO THE REQUIREMENTS OF IRC.
- CORROSION-RESISTANT ROOFING NAILS WITH 7/16-INCH DIAMETER HEAD AND 1 1/2-INCH IN LENGTH FOR 1/2-INCH SHEATHING AND 1 3/4-INCH LENGTH FOR 25/32-INCH SHEATHING CONFORMING TO THE REQUIREMENTS OF IRC.
- CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16-INCH CROWN AND 1 1/8-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1 1/2-INCH LENGTH FOR 25/32-INCH SHEATHING CONFORMING TO THE REQUIREMENTS OF IRC.
- CORROSION-RESISTANT, LARGE HEAD.

TYPICAL NAILING SCHEDULE



TYPICAL WIND STRAPPING DETAILS (METAL STRAPPING OPTION)



TYPICAL SHEAR WALL DETAILS (W/ 2ND FLOOR STRAPPING OPTION)

SHEAR WALL SCHEDULE

MARK	SHEATHING MATERIAL ③④	BLOCKING ①	NAILING PATTERN ②③④	STUD POST EACH END ⑤	HOLD-DOWN MARK ⑥	HOLD-DOWN BOLT #
P1	3/8" PLYWOOD C-C	YES	8D COMMON @ 6"	2-2x4	PHD2-SDS3	5/8"
P2	3/8" PLYWOOD C-C	YES	8D COMMON @ 4"	2-2x4	PHD2-SDS3	5/8"
P3	1/2" PLYWOOD C-C	YES	10D COMMON @ 4"	2-2x4	PHD5-SDS3	5/8"
P4	1/2" PLYWOOD C-C	YES	10D COMMON @ 3"	2-2x4	PHD6-SDS3	7/8"

SHEAR WALL SILL BOLTS SCHEDULE

MARK	SILL PLATE BOLTING FOR SHEAR WALL ⑧	MIN. EMBEDMENT
P1	1/2" @ 2'-6" O.C.	6"
P2	1/2" @ 2'-0" O.C.	6"
P3	3/8" @ 2'-0" O.C.	6"
P4	3/8" @ 1'-6" O.C.	6"
P5	3/8" @ 1'-0" O.C.	6"

SHEAR WALL NOTES:

- WHERE "BLOCKING" IS INDICATED, PROVIDE 2x4 BACK-UP AT ALL GYPBOARD OR PLYWOOD PANEL EDGES.
- NAILING PATTERN APPLIES AT ALL PANEL EDGES. AT INTERMEDIATE SUPPORTS, PROVIDE NAILING @ 12" O.C. USING CORRESPONDING NAIL SIZE.
- SHEATHING MATERIAL AND NAILING PATTERN APPLY TO ONE SIDE OF SHEAR WALL ONLY.
- WHERE A SHEAR WALL IS CALLED OUT ON A PLAN, PROVIDE SCHEDULED SHEATHING MATERIAL AND NAILING FOR THE FULL LENGTH OF THAT WALL.
- PROVIDE SCHEDULED STUDS AT EACH END OF SHEAR WALL OR SEGMENT THEREOF.
- HOLD-DOWN CONNECTORS:
 - CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC., SAN LEANDRO, CA. OR APPROVED EQUAL.
 - THE FOLLOWING SUBSTITUTIONS MAY BE MADE:

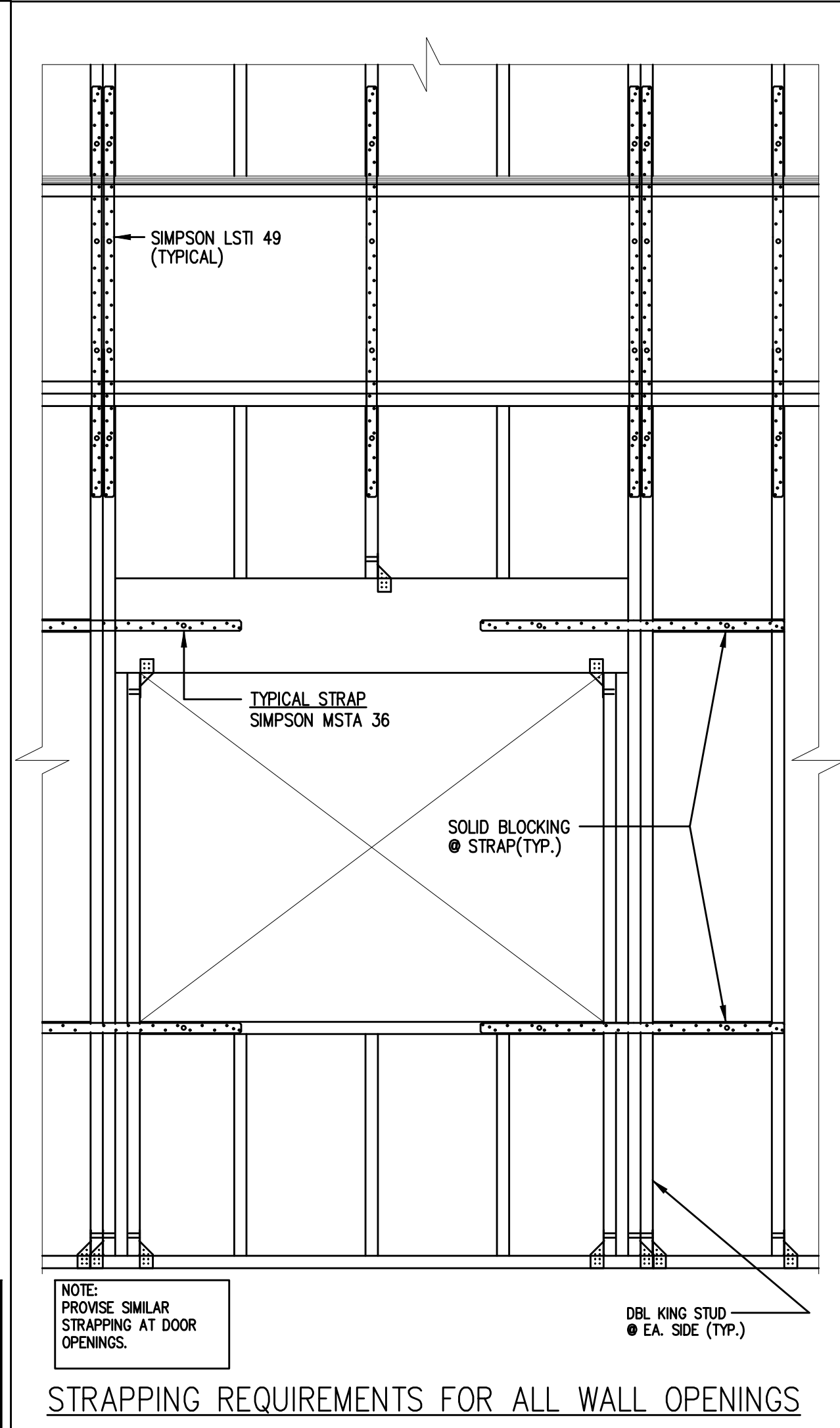
HOLDDOWN MARK	SUBSTITUTION	
	@ SLAB / FOUNDATION	@ FLOOR FRAMING
PHD2-SDS 3	HD2A OR STD10 OR HTT16	HST2 OR MSTC40
PHD5-SDS 3	HD5A OR STD14 OR HTT22	HST3 OR MSTC52
PHD6-SDS 3	HD6A OR HTT22	HST3 OR MSTC66

C) ALL HOLD-DOWNS MUST BE INSTALLED IN STRICT ADHERENCE TO MANUFACTURER'S INSTRUCTIONS, USING BOLT & NAIL NUMBERS, SIZES & LENGTHS AS SPECIFIED BY MANUFACTURER.

- WHERE PLYWOOD IS SHOWN ON BOTH FACES OF A SHEAR WALL:
 - DOUBLE STUDS OR 3" WIDE STUDS MUST BE USED.
 - STAGGER PLYWOOD JOINTS AT WALL FACES.
 - USE 4x4 WOOD POSTS @ EA. END TO BOLT HOLD-DOWNS.
 - PROVIDE DOUBLE 2x SILL PLATE W/ 1/2" ANCHOR BOLTS @ 24" c. IN ADDITION TO HOLD-DOWN ANCHOR BOLTS.

8. BOLTS SPECIFIED FOR THIS TABLE MUST BE A490 RATED BOLTS

TYPICAL SHEAR WALL DETAILS



STRAPPING REQUIREMENTS FOR ALL WALL OPENINGS

GENERAL NOTES

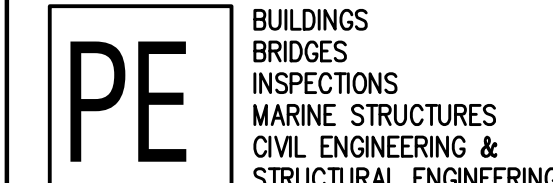
HAWTHORNE STREET RESIDENCE

412 HAWTHORNE STREET
HOUSTON TX, 77006

ISSUE HISTORY

DATE	ISSUED FOR
07-24-23	CLIENT REVIEW
	PERMIT
	CONSTRUCTION

07/24/2023



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TBPE REGISTRATION # F-3394

DRAWN BY: MA CHECKED BY: MM

PROJ. NO.: PE23-IL25

SHEET: **S2**

DIMENSIONS ARE APPROXIMATE. MUST BE VERIFIED IN FIELD.

CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND COORDINATE DETAILS WITH ARCHITECTURAL DRAWINGS. ALL DIMENSIONS & ELEVATION ON ARCHITECTURAL DRAWINGS SHALL GOVERN. IT IS CONTRACTOR'S RESPONSIBILITY TO REPORT TO ENGINEER ABOUT DISCREPANCY IN DRAWINGS PRIOR TO FABRICATION & BIDDING.

Engineer's Re-framing and Sheathing Plan Contiued