

**CERTIFICATE OF APPROPRIATENESS**

**Applicant:** Kevin A. Barden, agent for, Jordan Thomas, owner

**Property:** 6 West 11<sup>th</sup> Place, Tract 1A, West 11<sup>th</sup> Place Subdivision. The property includes a historic two-story wood frame 4,294 square foot single-family residence and a two-story 752 square foot garage (376 sq ft on each floor) situated on a 7,375 square foot lot.

**Significance:** Contributing Garage, constructed circa 1935, located in the West 11<sup>th</sup> Place Historic District.

**Proposal:** Alteration- Doors, Windows, Porch/Balcony, Awning or Canopy

The applicant is proposing to make some updates to the contributing garage by adding a new two-car garage door to replace the current which fits one-car, re-constructing the exterior stairs that lead to the second level, and relocating the existing utilities.

- All existing windows to remain.
- 2 new windows will be added to existing openings and will be inset and recessed fixed 1/1 wood material.
- New two-car garage door dimensions are to be 16' x 6'8" with materials and finishes to match existing
- Reconstructed stairs will be reusing existing stone treads and metal posts
- All proposed building material palette to be in kind; will match original structure

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:**

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

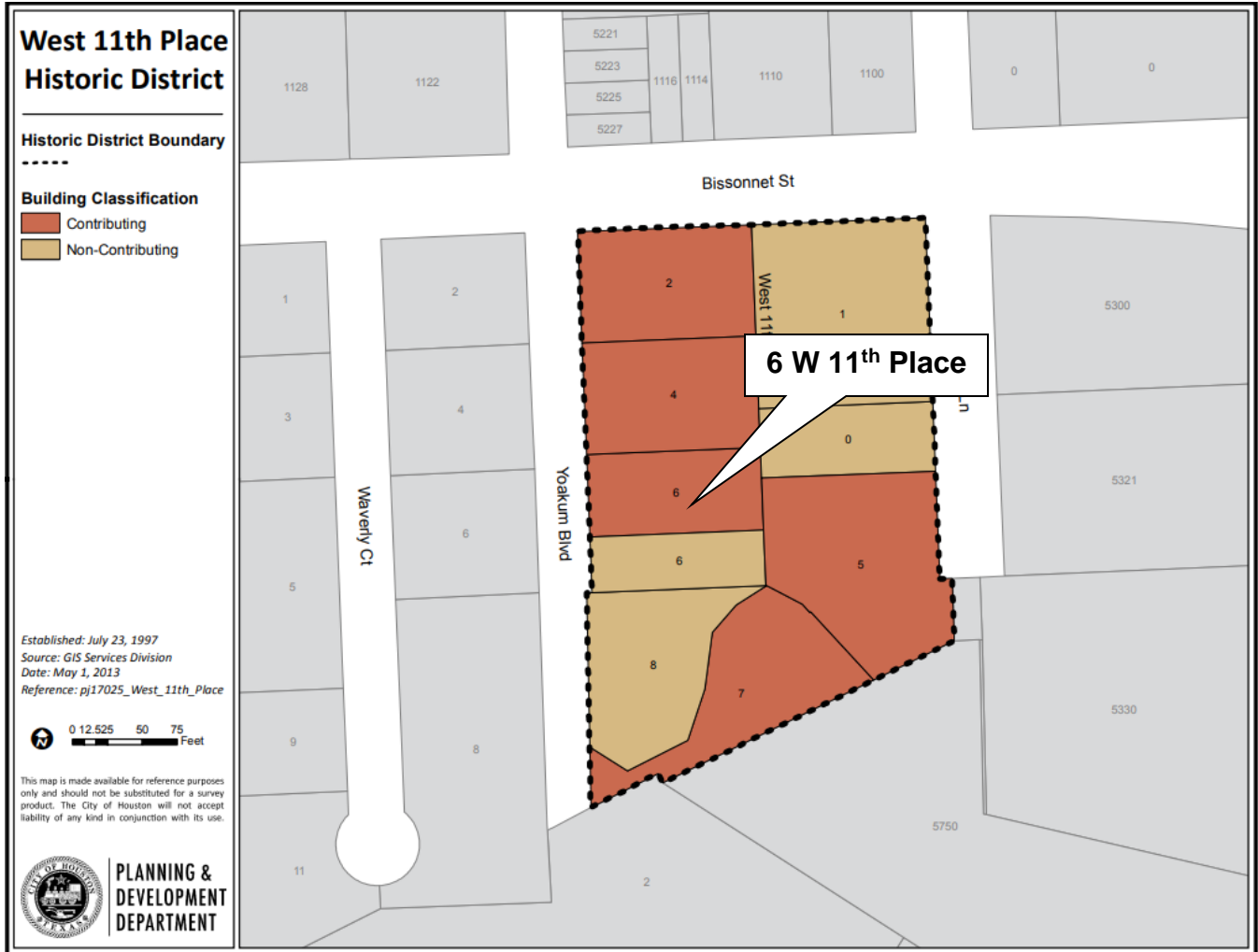
Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | <b>S</b>                            | <b>D</b>                 | <b>NA</b>                |   |
|-------------------------------------|--------------------------|--------------------------|---|
|                                     |                          |                          | <b>S - satisfies    D - does not satisfy    NA - not applicable</b>   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.  |



PROPERTY LOCATION

WEST 11<sup>th</sup> PLACE HISTORIC DISTRICT



**INVENTORY PHOTO**



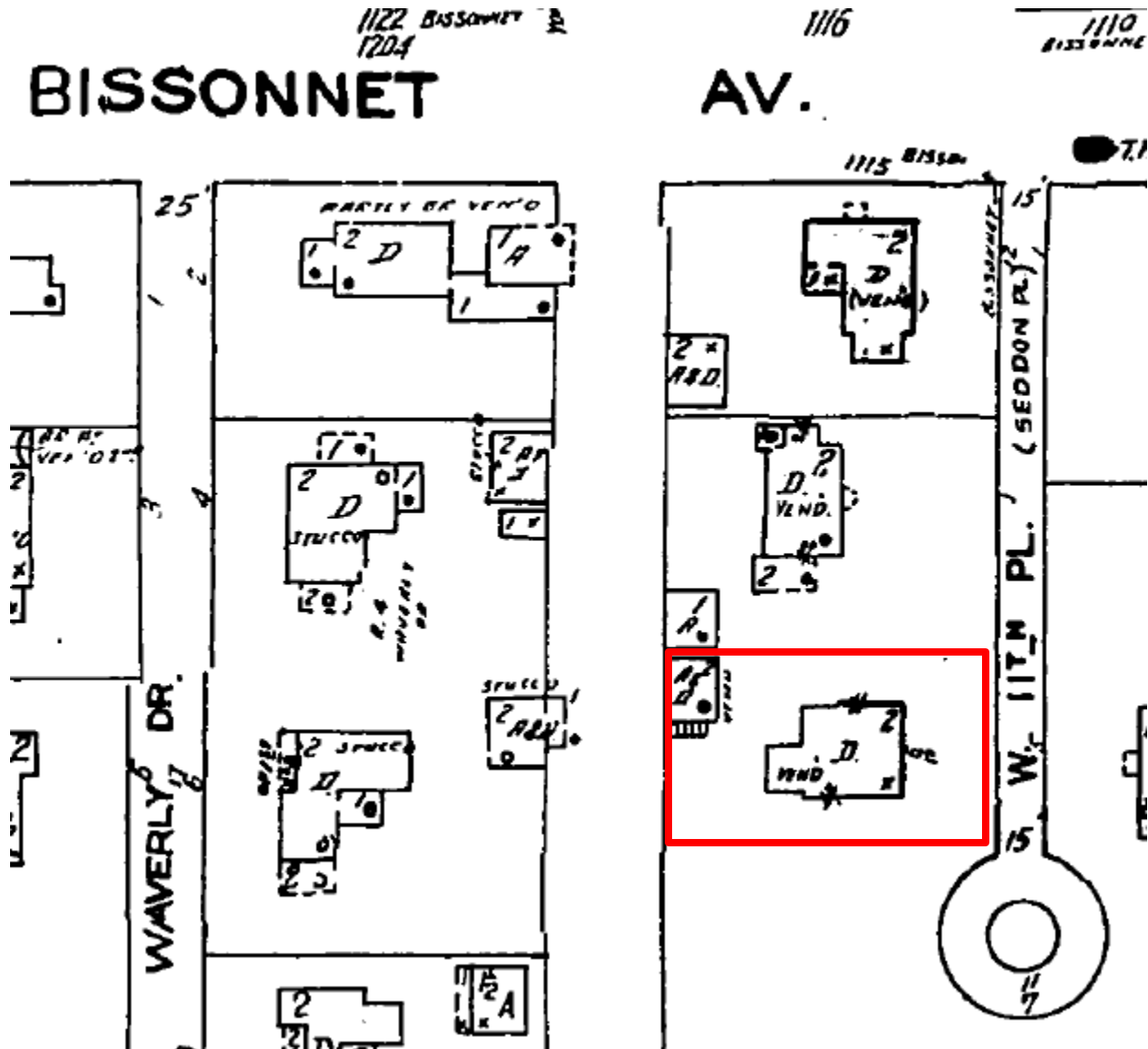
**CURRENT PHOTO**



AERIAL VIEW OF PROPERTY



SANBORN (1925)



**CONTEXT AREA**

2 W 11<sup>th</sup>



4 W 11<sup>th</sup>

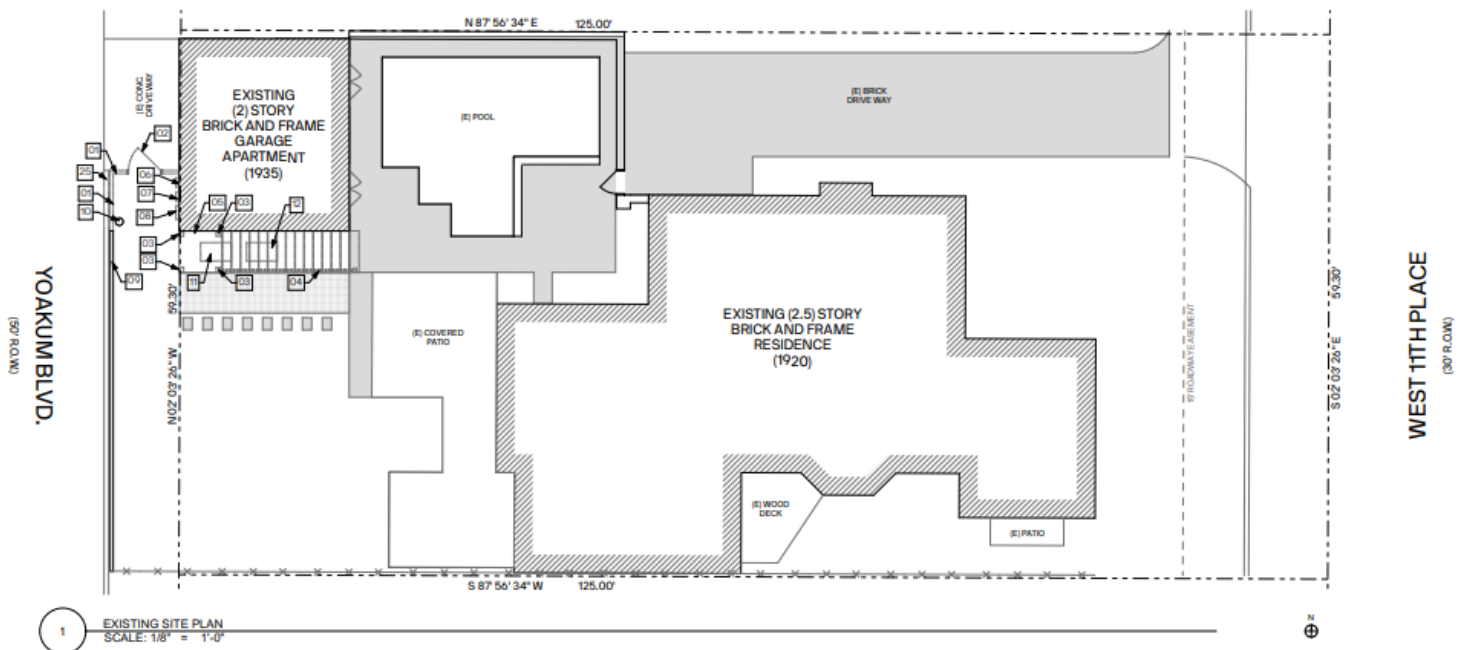
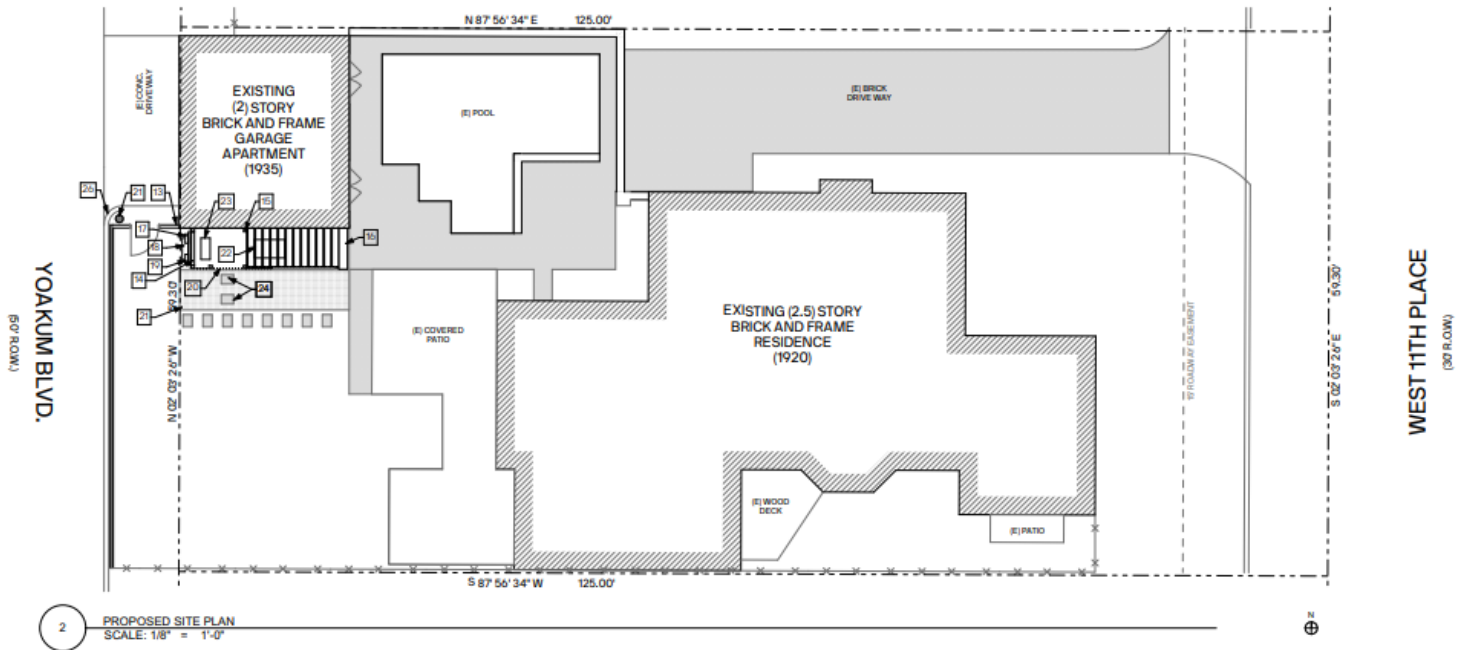


7 W 11<sup>th</sup>

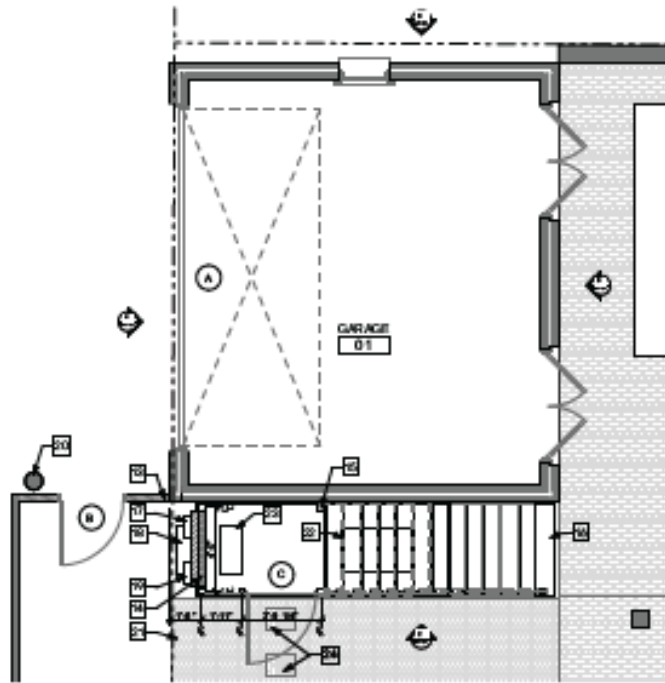




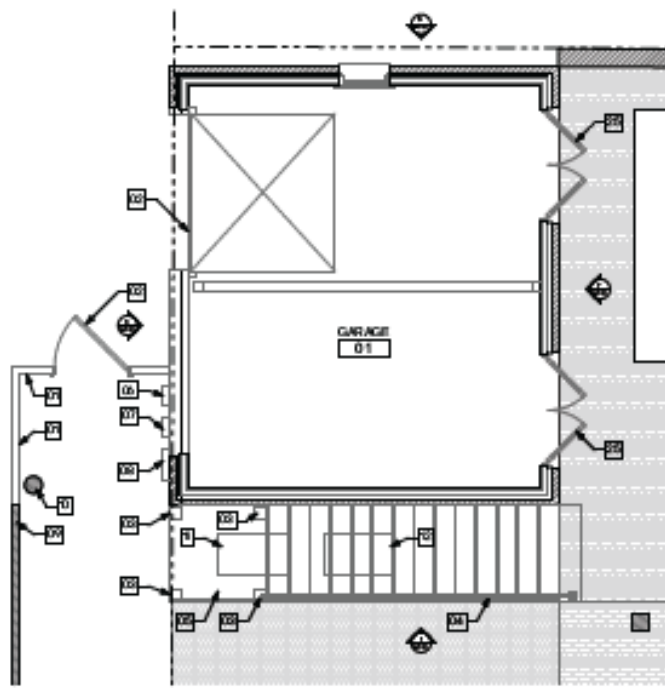
SITE PLANS



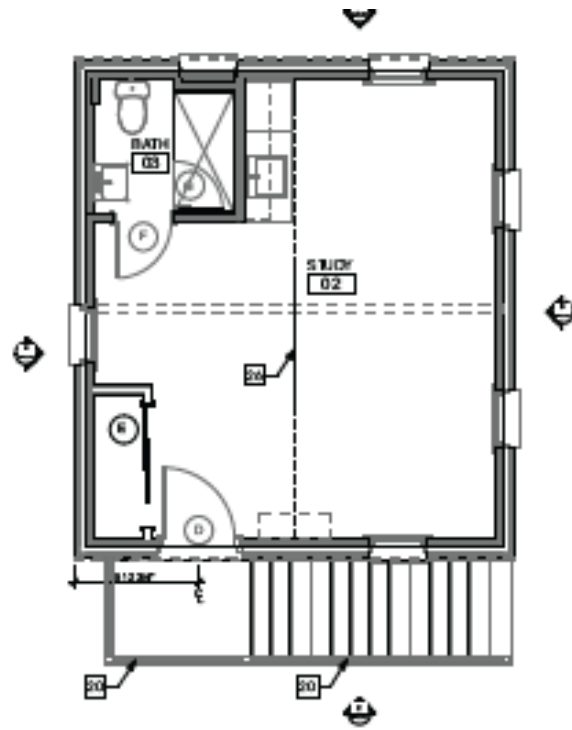
FLOOR PLANS (PROPOSED TOP, EXISTING BOTTOM)



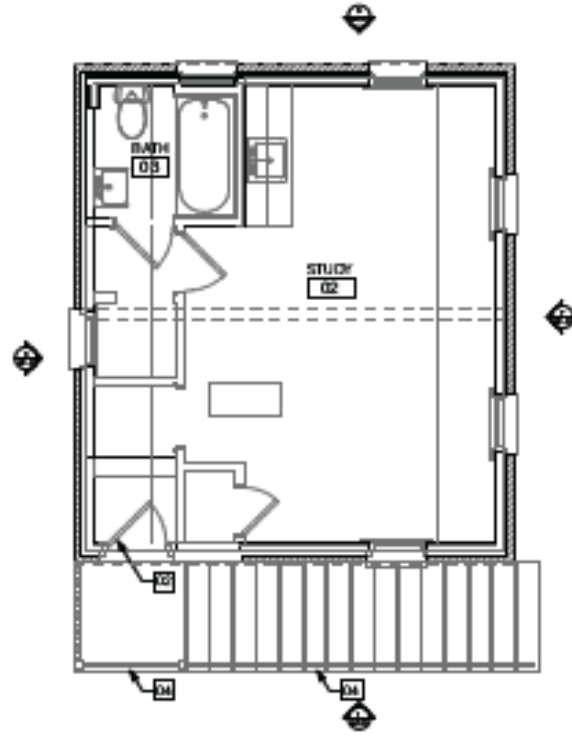
2 GROUND LEVEL - PROPOSED PLAN  
SCALE: 1/4" = 1'-0"



1 GROUND LEVEL - DEMO PLAN  
SCALE: 1/4" = 1'-0"



4 UPPER LEVEL - PROPOSED PLAN  
SCALE: 1/4" = 1'-0"



3 UPPER LEVEL - DEMO PLAN  
SCALE: 1/4" = 1'-0"

**GARAGE PICTURES**



EXISTING EAST FACADE



EXISTING NORTH FACADE

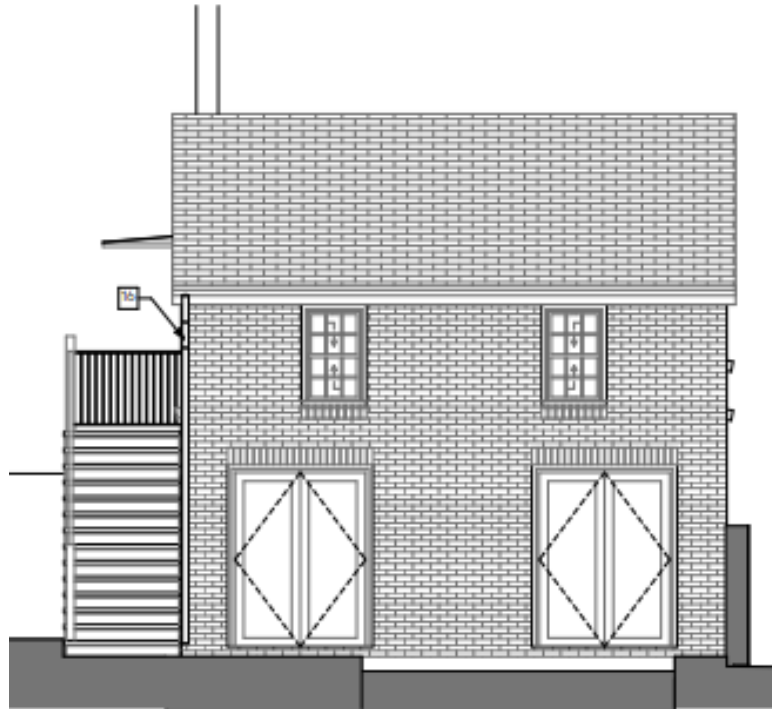


EXISTING WEST FACADE



EXISTING SOUTH FACADE

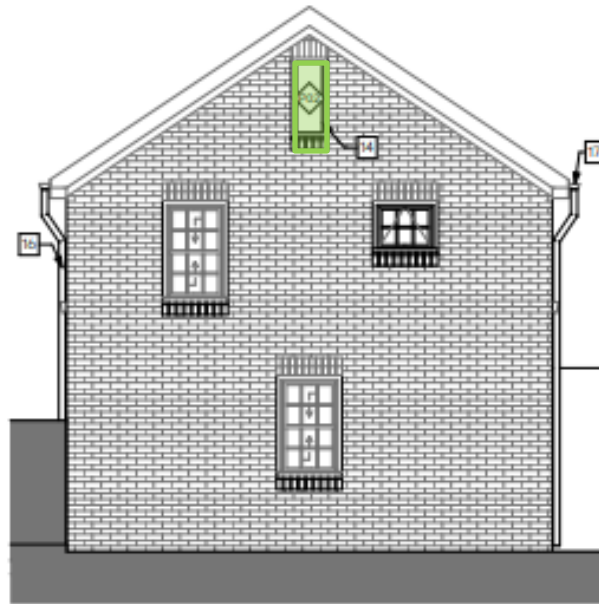
**ELEVATIONS (PROPOSED TOP, EXISTING BOTTOM)**



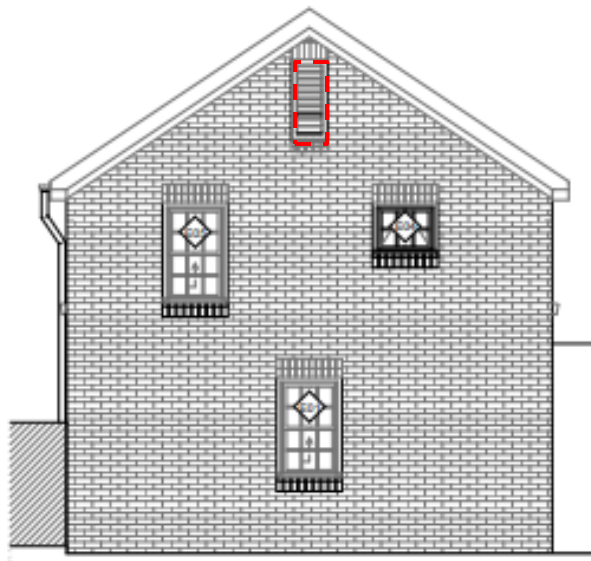
8 EAST ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



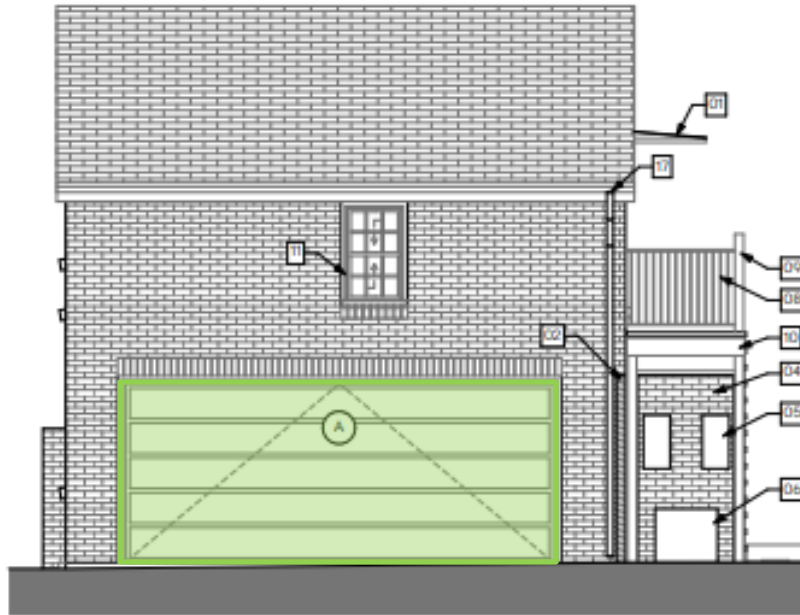
7 EAST ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"



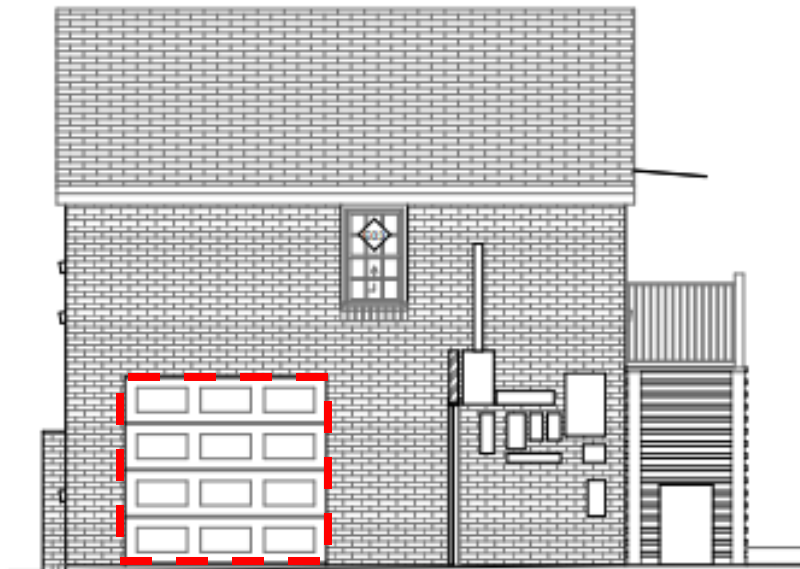
6 NORTH ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



5 NORTH ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"

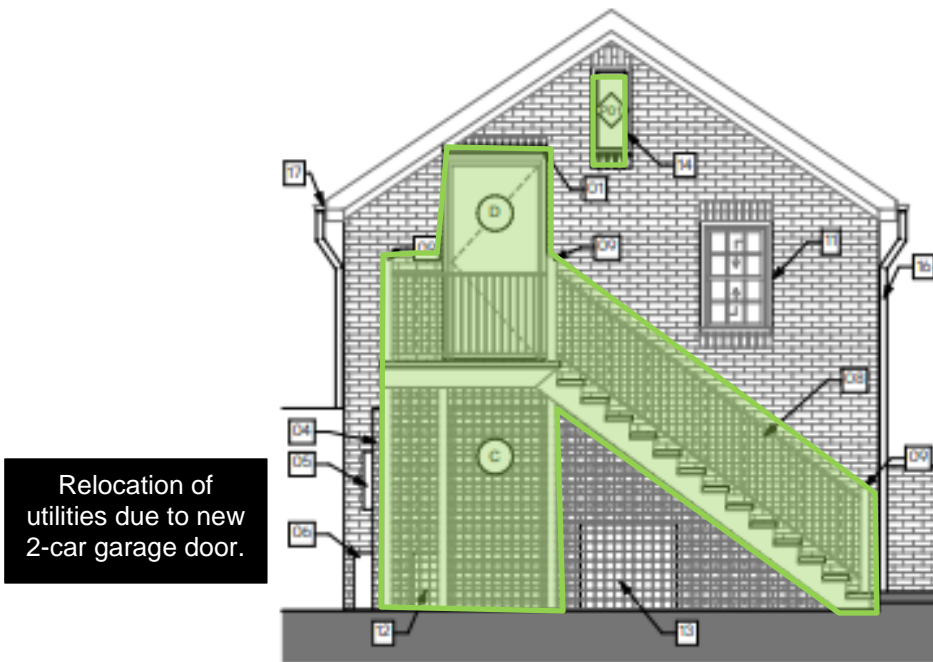


4 WEST ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



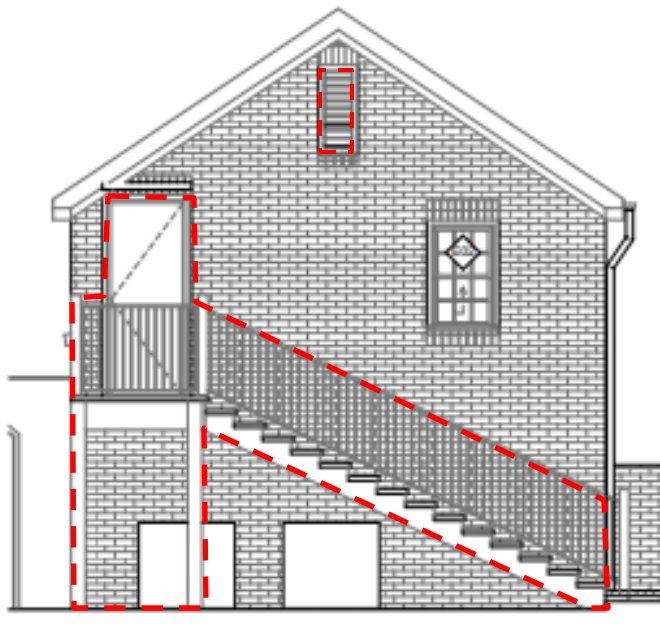
3 WEST ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"





Relocation of utilities due to new 2-car garage door.

2 SOUTH ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

CERTIFICATE OF APPROPRIATENESS

WINDOW WORKSHEET



PLANNING & DEVELOPMENT DEPARTMENT

EXISTING WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>
E01	WD	3/4	DH	28 x 45	Recessed	Original	Yes
E02	WD	3/4	DH	28 x 45	Recessed	Original	Yes
E03	WD	3/4	DH	28 x 45	Recessed	Original	Yes
E04	WD	3/2	FX	28 x 22.5	Recessed	Original	Yes
E05	WD	3/4	DH	28 x 45	Recessed	Original	Yes
E06	WD	3/4	DH	28 x 45	Recessed	Original	Yes
E07	WD	3/4	DH	28 X 45	Recessed	Original	Yes

DAMAGE TO EXISTING WINDOWS

Window	Describe Damage
<i>Ex. A1</i>	<i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i>

PROPOSED WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Plygem</i>	
P01	Wood	1/1	FX	16 x 36	Recessed	Andersen	See spec.
P02	Wood	1/1	FX	16 x 36	Recessed	Andersen	See spec.

- Must include photos of all windows with labels indicated on this sheet
  - Must include manufacture’s specifications and details for all proposed windows
- \*\*\* Use additional sheets as necessary