

CERTIFICATE OF APPROPRIATENESS

Applicant: Alia De Anda, agent for Tracy Boulware, owner

Property: 247 W 16th Street, Lots 28, Tract 27 and 29, Block 132, Houston Heights West Subdivision. The property includes a contributing 1,027 sq ft one-story single-family residence situated on a 6,800 square foot interior lot.

Significance: A bungalow style residence, constructed in 2014 located in the Houston Heights West Historic District.

Proposal: Alteration/Addition: Construct a second-story addition to the rear of the contributing one-story home. The applicant proposes to:

- Construct a two-story addition, consisting of a 762 sq ft first floor addition, 928 sq ft second-floor addition, and 528 sq ft of detached garage.
- Existing 117 siding to remain, repair as needed.
- Existing windows to remain, windows to be approved by staff prior to installation, which shall be inset and recessed.
- Install 4" cementitious siding at the addition.
- Construct new roof with both 6 over 12 and 7 over 12 roof pitch.
- Construct the roof with a maximum ridge height of 28'-11" and a 20'-0" maximum eave height.
- Construct a side porch of 28'-3" by 7'-5".
- Construct a rear breezeway of 27'-6" by 5'-10" (conditioned space above).
- Construct the addition with braces and vent to match existing contributing structure.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

RECOMMENDATION SUBJECT TO CHANGE TO APPROVAL WITH CONDITIONS

REPORT SUBJECT TO CHANGE

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(1)			The proposed activity must retain and preserve the historical character of the property;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(2)			The proposed activity must contribute to the continued availability of the property for a contemporary use;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(3)			The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(4)			The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	(5)			The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(6)			New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(7)			The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(8)			Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(9)			The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(10)			The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(11)			The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

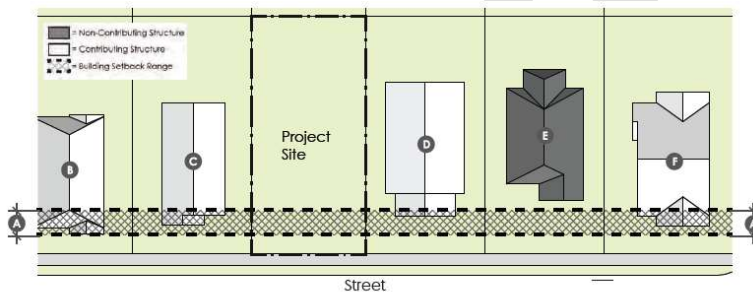
HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

☐ ☒ ☐Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,800 sq ft

Proposed FAR: 40% (2,720 sq ft)

☐ ☐ ☒Front Setbacks (New Construction)

KEY	MEASUREMENT	APPLICATION
A	RANGE	Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area.

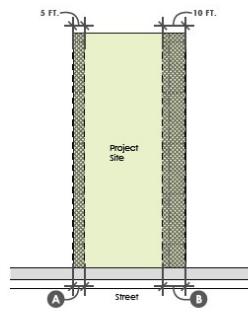
Proposed front setback: 19'-0" (n/a)

☒ ☐ ☐Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 18'-7"

Side Setbacks (Addition and New Construction)

Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (1): 10'-0"

Proposed side setback (2): 5'-1"

Cumulative side setback: 15'-1"

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,800 sq ft

Proposed Lot Coverage: 2,992 sq ft

Proposed Percentage: 44% (.44)

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Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 44'-2 1/2" (existing) and 27'-5" / 22'-2" (proposed)

Inset depth: 2'-0", 3'-2 1/2", 4'-1 1/2", and 6'-3"

Inset length: 6'-2"

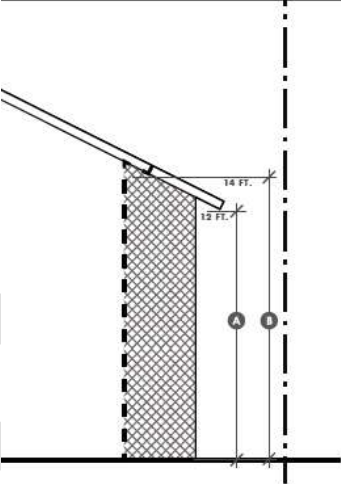
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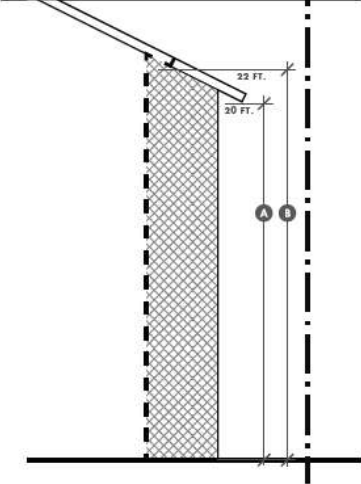
Eave Height (Addition and New Construction)

PRIMARY BUILDING 1-STORY
EAVE HEIGHT RANGE



KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback

PRIMARY BUILDING 2-STORY
EAVE HEIGHT RANGE



KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 20'-0"

☒ ☐ ☐Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 2'-6" or 30" (no change to existing)

Proposed first floor plate height: 10'-0"

Proposed second floor plate height: 7'-6" (9'-0" ceiling height)

☒ ☐ ☐Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: - 9'-0" (no change to existing)

☐ ☐ ☒Front Wall Width and Insets (New Construction)

Proposed front wall width: N/A

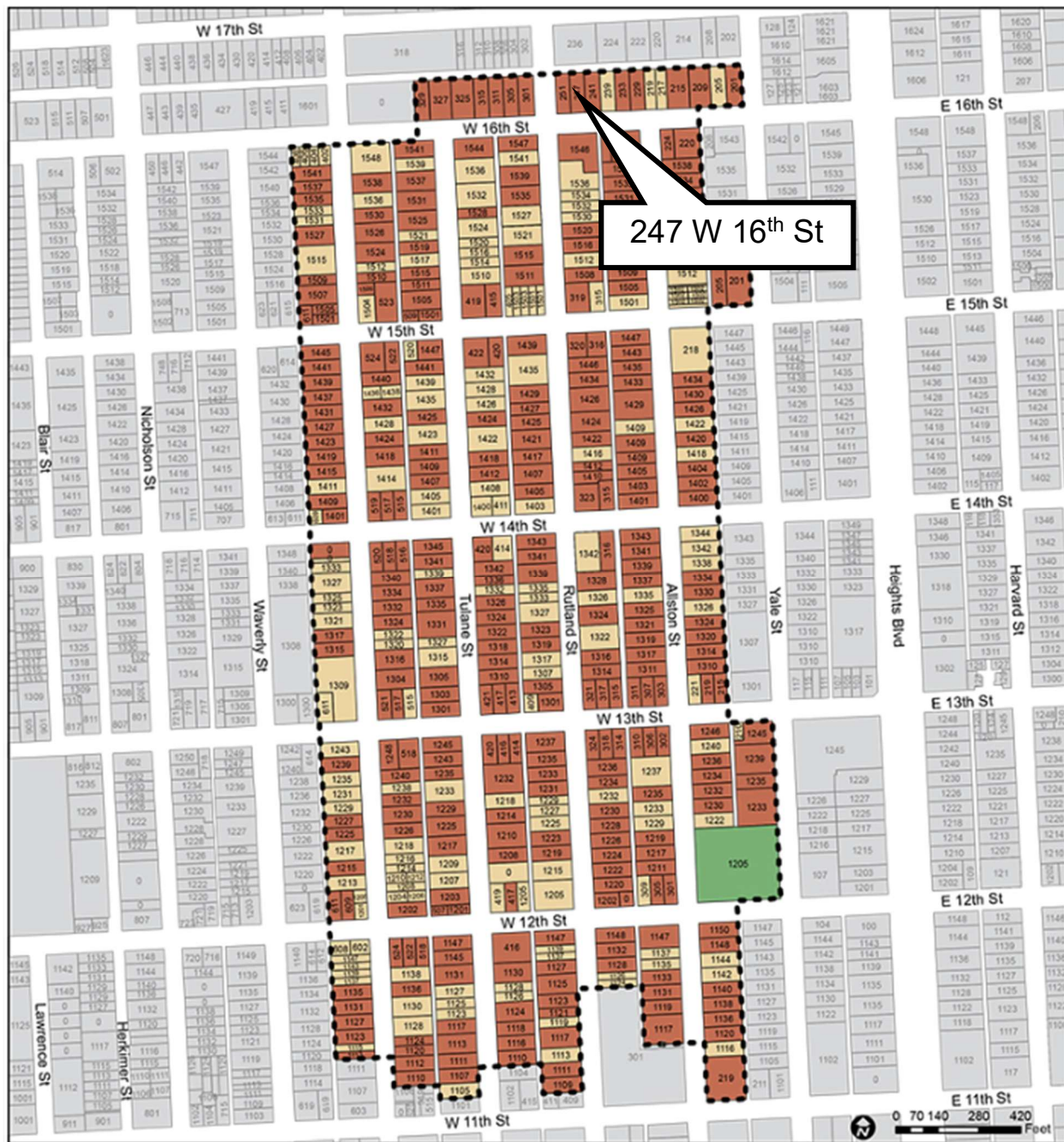
☐ ☐ ☒Front Porch Width and Depth (Addition and New Construction)

Proposed front porch width: N/A - Porch is existing

☐ ☐ ☒Detached Garage Ridge Height (New Construction)

Proposed ridge height: 27'-0"

DISTRICT MAP



Historic District Boundary

Building Classification

Contributing

Non-Contributing

Park

INVENTORY PHOTO



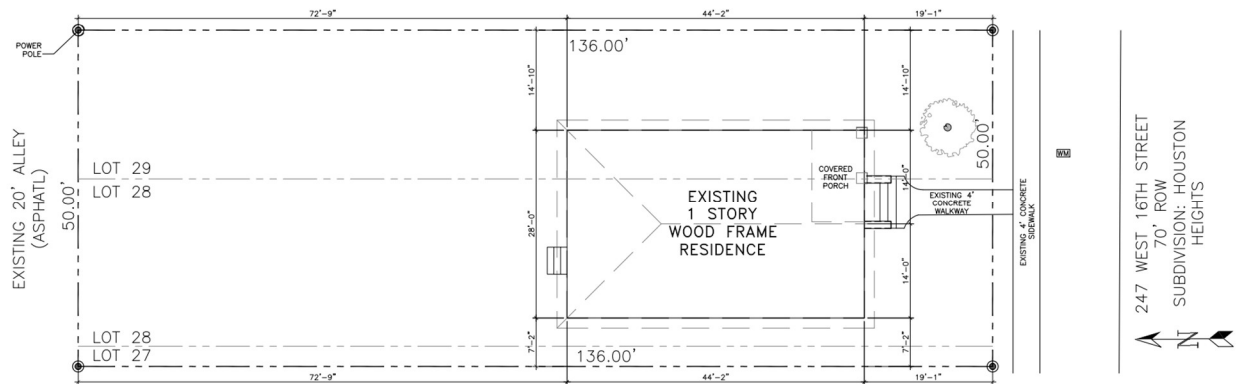
CURRENT PHOTOS



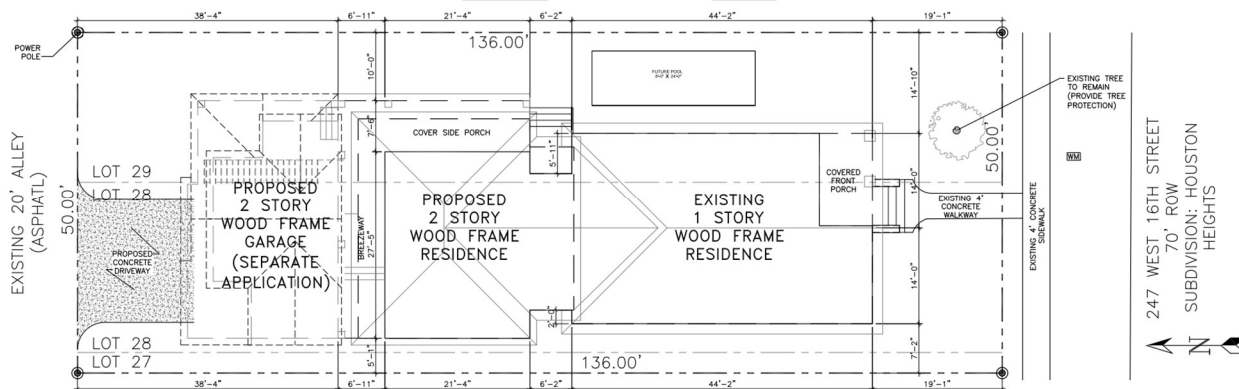


SITE PLAN

EXISTING

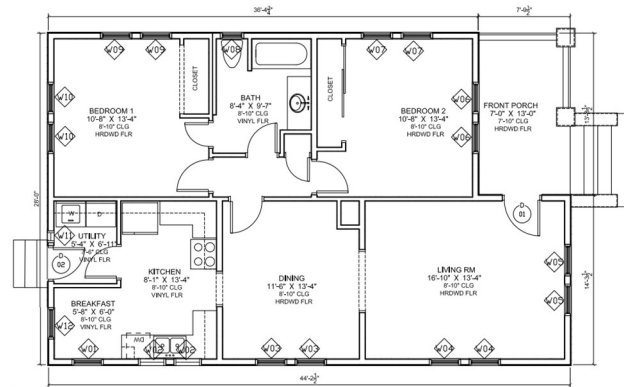


PROPOSED

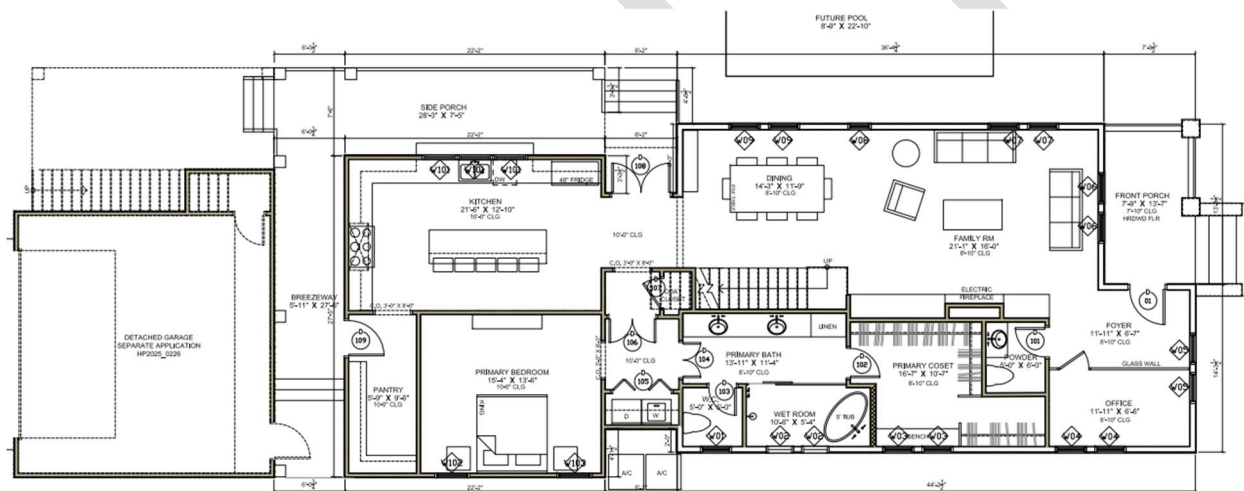


FIRST FLOOR PLAN

EXISTING

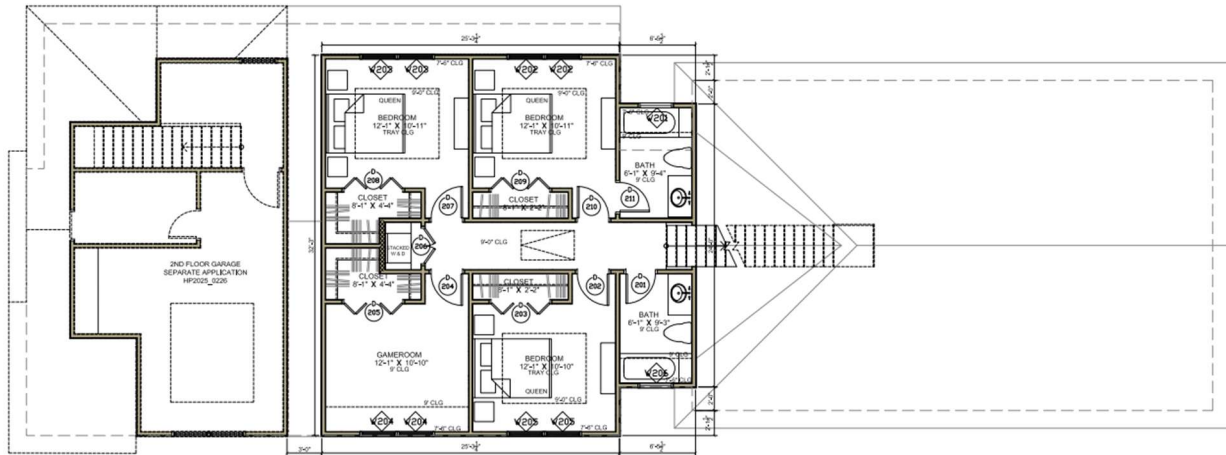


PROPOSED



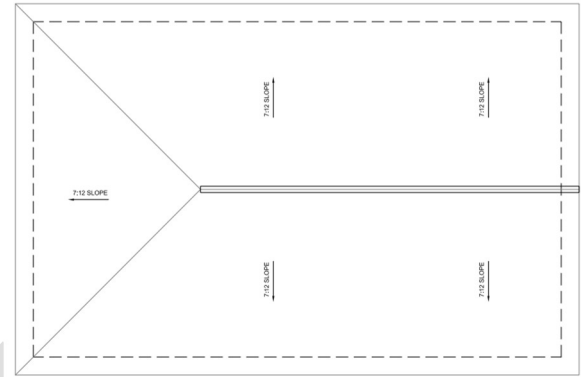
SECOND FLOOR PLAN

PROPOSED

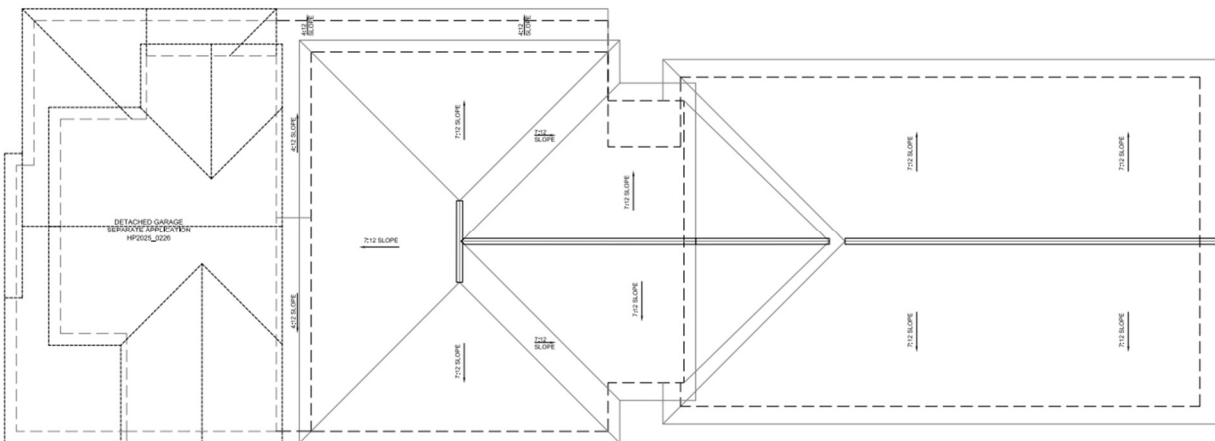


ROOF PLAN

EXISTING



PROPOSED



FRONT ELEVATIONS

EXISTING

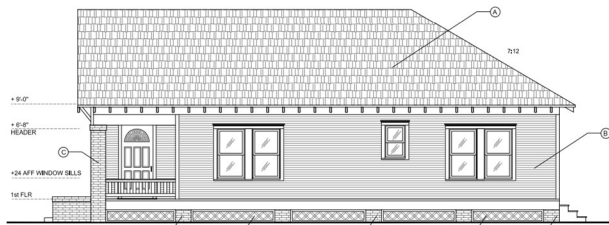


PROPOSED



RIGHT-SIDE ELEVATIONS

EXISTING



PROPOSED

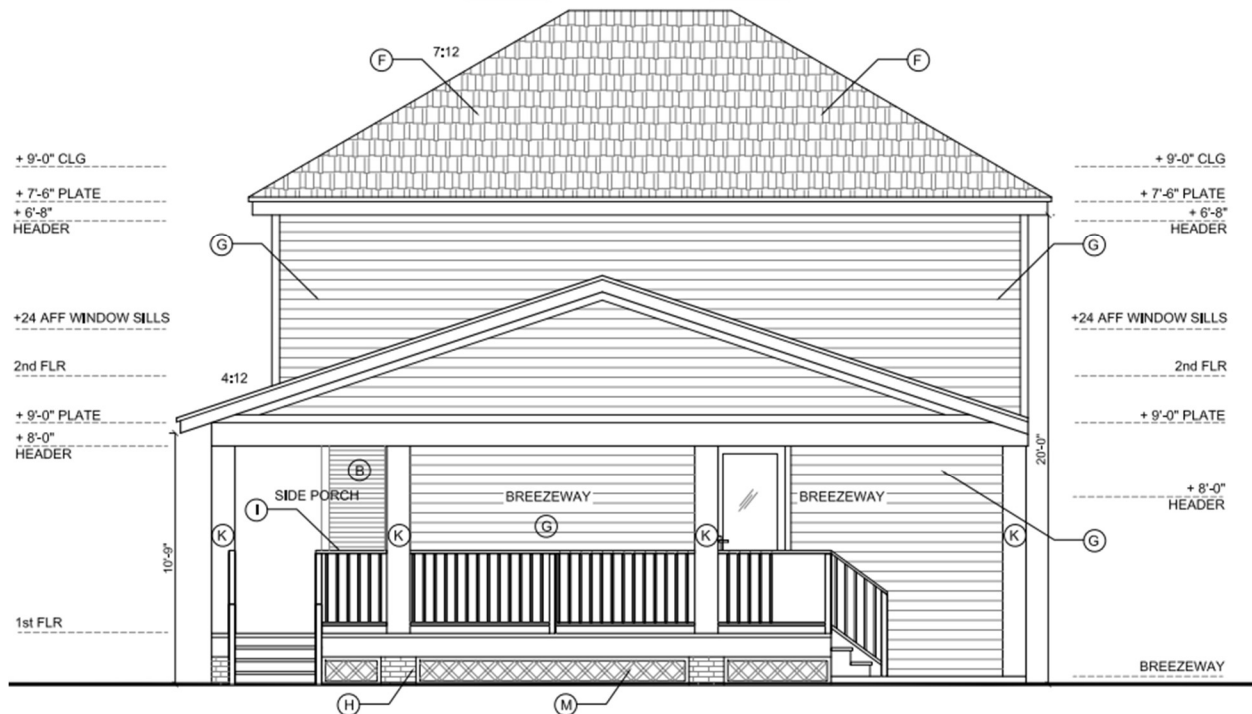


REAR ELEVATIONS

EXISTING



PROPOSED



WINDOW SCHEDULE

EXISTING

WINDOW SCHEDULE						
WINDOW TAG	Quantity	SIZE		Style	Lite Pattern	NOTES
		Width	HEIGHT			
W01	1	2'-8"	3'-6"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W02	2	2'-4"	2'-4"	FIXED	1	EXISTING WINDOW TO REMAIN
W03	2	2'-8"	4'-8"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W04	2	2'-8"	4'-8"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W05	2	2'-8"	4'-8"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W06	2	2'-8"	4'-8"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W07	2	2'-8"	4'-8"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W08	1	2'-0"	3'-0"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W09	2	2'-8"	4'-8"	SINGLE HUNG	1/1	EXISTING WINDOW TO REMAIN
W10	2	2'-8"	4'-8"	SINGLE HUNG	1/1	EXISTING WINDOW TO BE REMOVED
W11	1	1'-0"	4'-6"	FIXED	1	EXISTING WINDOW TO BE REMOVED
W12	1	2'-8"	3'-6"	SINGLE HUNG	1/1	EXISTING WINDOW TO BE REMOVED

PROPOSED

WINDOW SCHEDULE						
WINDOW TAG	Quantity	SIZE		Style	Lite Pattern	NOTES
		Width	HEIGHT			
W101	3	3'-0"	6'-0"	Awning	1	KITCHEN PASS THROUGH, INSET AND RECESSED
W102	1	3'-0"	6'-0"	SINGLE HUNG	1/1	EGRESS, INSET AND RECESSED
W103	1	3'-0"	6'-0"	SINGLE HUNG	1/1	EGRESS, INSET AND RECESSED
W201	1	3'-0"	2'-0"	FIXED	1	INSET AND RECESSED
W202	2	3'-2"	4'-8"	SINGLE HUNG	1/1	EGRESS, INSET AND RECESSED
W203	2	3'-2"	4'-8"	SINGLE HUNG	1/1	EGRESS, INSET AND RECESSED
W204	2	3'-2"	4'-8"	SINGLE HUNG	1/1	EGRESS, INSET AND RECESSED
W205	2	3'-2"	4'-8"	SINGLE HUNG	1/1	EGRESS, INSET AND RECESSED
W206	1	3'-0"	2'-0"	FIXED	1	INSET AND RECESSED

DOOR SCHEDULE

EXISTING

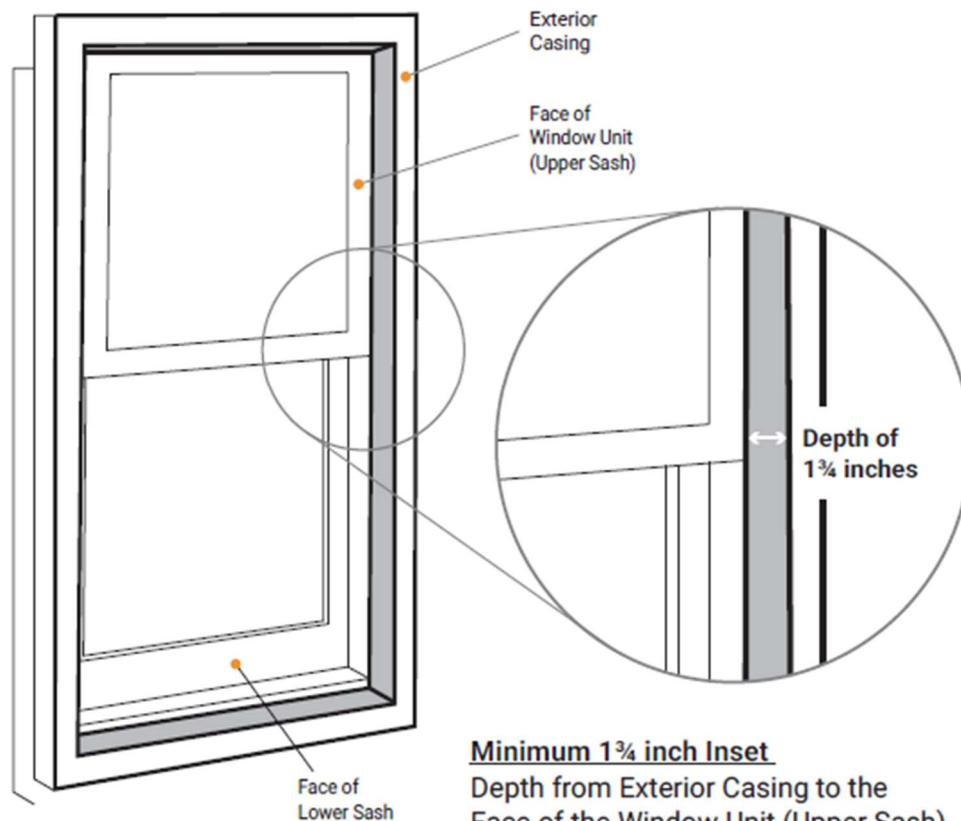
DOOR SCHEDULE						
Number	QUANTITY	DOOR		TYPE	SWING	NOTES
		SIZE				
		WD	HGT			
01	1	3'-0"	6'-8"	STANDARD	LEFT	FRONT DOOR TO REMAIN
02	1	2'-8"	6'-8"	STANDARD	LEFT	EXITING TO BE REMOVED

PROPOSED

DOOR SCHEDULE						
Number	QUANTITY	DOOR		TYPE	SWING	NOTES
		SIZE				
		WD	HGT			
101	1	2'-6"	6'-8"	STANDARD	RIGHT	--
102	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	--
103	1	2'-4"	6'-8"	HINGED - SINGLE	LEFT	--
104	1	3'-0"	6'-8"	HINGED - DOUBLE	NA	--
105	1	5'-0"	8'-0"	BIFOLD DOUBLE	NA	--
106	1	4'-0"	8'-0"	HINGED - DOUBLE	NA	--
107	1	2'-6"	8'-0"	HINGED - SINGLE	LEFT	--
108	1	5'-0"	8'-0"	HINGED - DOUBLE	NA	SIDE PORCH
109	1	3'-0"	8'-0"	HINGED - SINGLE	RIGHT	BACK DOOR
201	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	--
202	1	2'-8"	6'-8"	HINGED - SINGLE	LEFT	--
203	1	5'-0"	6'-8"	BIFOLD DOUBLE	NA	--
204	1	2'-8"	6'-8"	HINGED - SINGLE	LEFT	--
205	1	5'-0"	6'-8"	BIFOLD DOUBLE	NA	--
206	1	3'-0"	6'-8"	HINGED - DOUBLE	NA	--
207	1	2'-8"	6'-8"	HINGED - SINGLE	RIGHT	--
208	1	5'-0"	6'-8"	BIFOLD DOUBLE	NA	--
209	1	5'-0"	6'-8"	BIFOLD DOUBLE	NA	--
210	1	2'-8"	6'-8"	HINGED - SINGLE	LEFT	--
211	1	2'-6"	6'-8"	HINGED - SINGLE	RIGHT	--



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:

Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov

City of Houston | Planning and Development | Houston Office of Preservation