

CERTIFICATE OF APPROPRIATENESS

Applicant: Alia De Anda, agent for Tracy Boulware, owner

Property: 247 W 16th Street, Lots 28, Tract 27 and 29, Block 132, Houston Heights West Subdivision. The property includes a contributing 1,027 sq ft one-story single-family residence situated on a 6,800 square foot interior lot.

Significance: A bungalow style residence, constructed in 2014 located in the Houston Heights West Historic District.

Proposal: New Construction – Garage (detached): Construct a two-story wood framed garage with garage apartment.

- Construct a two-story addition, consisting of a 528 sq ft two-story detached garage.
- Constructed with a 27'-0" max ridge height.
- Proposed first-floor plate height of 10'-0" and a second floor plate height of 9'-0".
- Constructed with a 7 over 12 roof pitch.
- Constructed with a 20'-0" eave height.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

RECOMMENDATION SUBJECT TO CHANGE TO APPROVAL WITH CONDITIONS

REPORT SUBJECT TO CHANGE

APPROVAL CRITERIA**NEW CONSTRUCTION IN A HISTORIC DISTRICT**

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA**S - satisfies D - does not satisfy NA - not applicable**

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that: (a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and (b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district. |

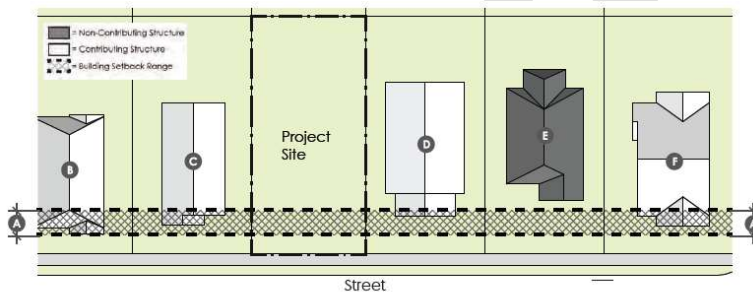
HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

Maximum Lot Coverage (Addition and New Construction)

| LOT SIZE | MAXIMUM LOT COVERAGE |
|-----------|----------------------|
| <4000 | .44 (44%) |
| 4000-4999 | .44 (44%) |
| 5000-5999 | .42 (42%) |
| 6000-6999 | .40 (40%) |
| 7000-7999 | .38 (38%) |
| 8000+ | .38 (38%) |

Existing Lot Size: 6,800 sq ft

Proposed FAR: 40% (2,720 sq ft)

Front Setbacks (New Construction)

| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|---------------------------------------------------------------------------------------------------------------------------------|
| A | RANGE | Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area. |

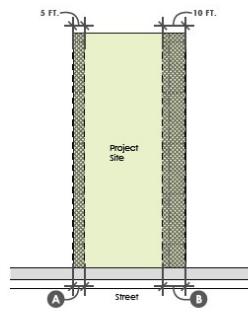
Proposed front setback: 19'-0" (n/a)

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 18'-7"

Side Setbacks (Addition and New Construction)

Note: This diagram shows just one example of a side setback configuration.

| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|------------------------------------------------------------------------------------------|
| A | 3 FT. | Minimum distance between side wall and the property line for lots less than 35 feet wide |
| | 5 FT. | Minimum distance between the side wall and the property line |
| B | REMAINING | Difference between minimum side setback of 5 feet and minimum cumulative side setback |
| C | 6 FT. | Minimum cumulative side setback for lots less than 35 feet wide |
| | 10 FT. | Minimum cumulative side setback for a one-story house |
| | 15 FT. | Minimum cumulative side setback for a two-story house |

Proposed side setback (1): 10'-0"

Proposed side setback (2): 5'-1"

Cumulative side setback: 15'-1"

Maximum Floor Area Ratio (Addition and New Construction)

| LOT SIZE | MAXIMUM FAR |
|-----------|-------------|
| <4000 | .48 |
| 4000-4999 | .48 |
| 5000-5999 | .46 |
| 6000-6999 | .44 |
| 7000-7999 | .42 |
| 8000+ | .40 |

Existing Lot Size: 6,800 sq ft

Proposed Lot Coverage: 2,992 sq ft

Proposed Percentage: 44% (.44)

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Side Wall Length and Insets (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|-------------------------------------------------------|
| 50 FT. | Maximum side wall length without inset (1-story) |
| 40 FT. | Maximum side wall length without inset (2-story) |
| 1 FT. | Minimum depth of inset section of side wall (1-story) |
| 2 FT. | Minimum depth of inset section of side wall (2-story) |
| 6 FT. | Minimum length of inset section of side wall |

Side Wall Length: 44'-2 1/2" (existing) and 27'-5" / 22'-2" (proposed)

Inset depth: 2'-0", 3'-2 1/2", 4'-1 1/2", and 6'-3"

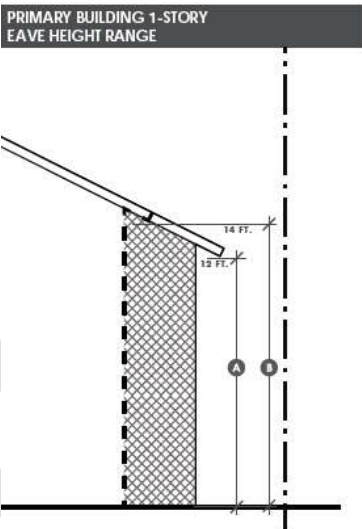
Inset length: 6'-2"

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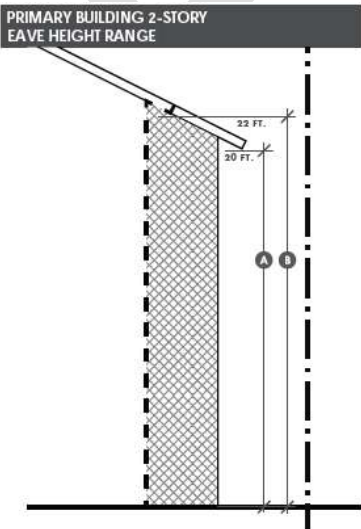
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Eave Height (Addition and New Construction)



| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|---------------------------------------------------------------|
| A | 12 FT. | Maximum 1-story eave height at the 5 FT. minimum side setback |
| B | 14 FT. | Maximum 1-story eave height at 7 FT. or greater side setback |



| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|---------------------------------------------------------------|
| A | 20 FT. | Maximum 2-story eave height at the 5 FT. minimum side setback |
| B | 22 FT. | Maximum 2-story eave height at 7 FT. or greater side setback |

Proposed eave height: 20'-0"

☒ ☐ ☐Building Wall (Plate) Height (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|---------------------------------------------------------------------------|
| 36 IN. | Maximum finished floor height (as measured at the front of the structure) |
| 10 FT. | Maximum first floor plate height |
| 9 FT. | Maximum second floor plate height |

Proposed finished floor: 2'-6" or 30" (no change to existing)

Proposed first floor plate height: 10'-0"

Proposed second floor plate height: 7'-6" (9'-0" ceiling height)

☒ ☐ ☐Porch Eave Height (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|------------------------------------------------|
| 9-11 FT. | Minimum and maximum 1-story porch eave height. |

Proposed porch eave height: - 9'-0" (no change to existing)

☐ ☐ ☒Front Wall Width and Insets (New Construction)

Proposed front wall width: N/A

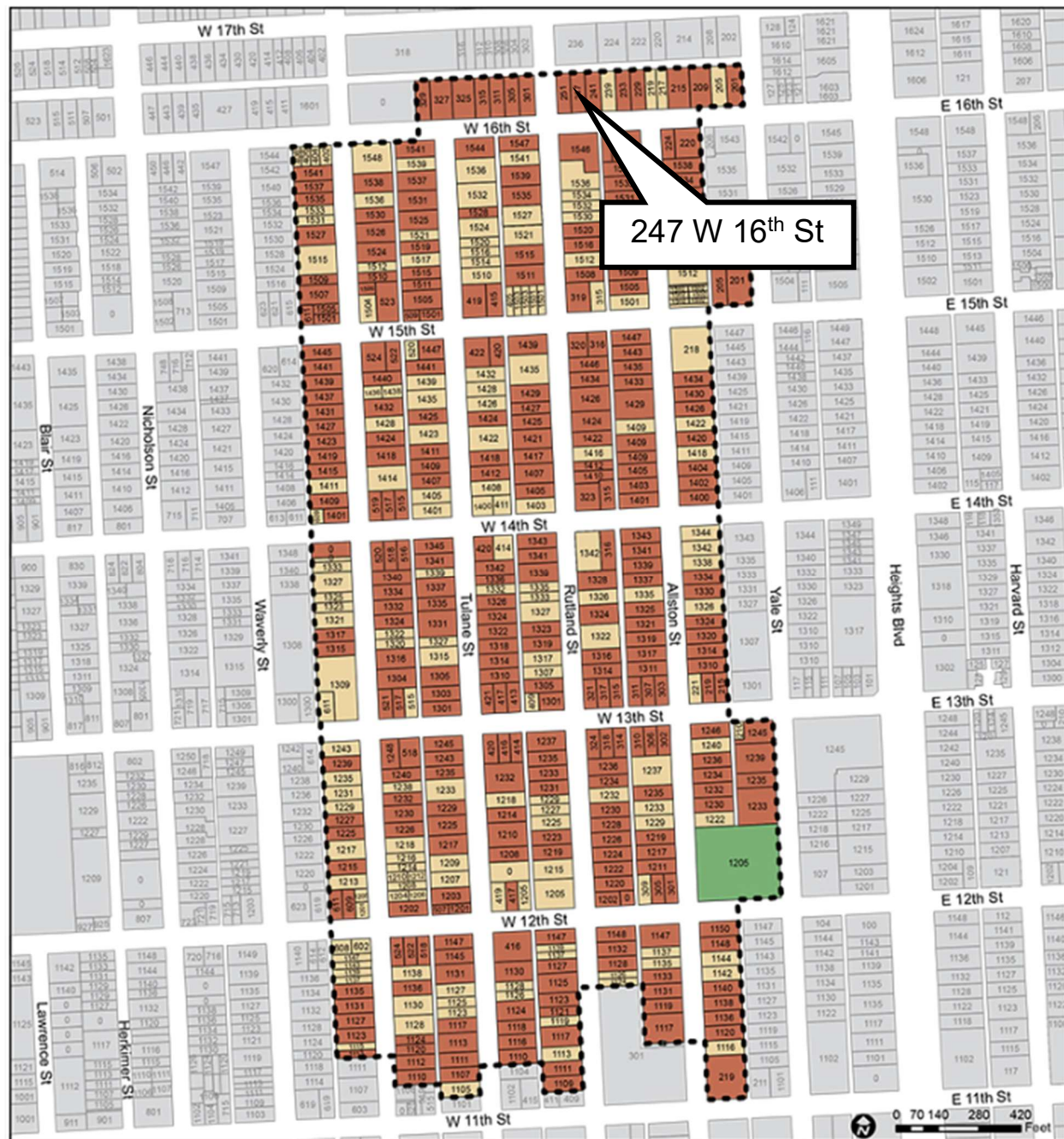
☐ ☐ ☒Front Porch Width and Depth (Addition and New Construction)

Proposed front porch width: N/A - Porch is existing

☐ ☐ ☒Detached Garage Ridge Height (New Construction)

Proposed ridge height: 27'-0"

DISTRICT MAP



Historic District Boundary

Building Classification

Contributing

Non-Contributing

Park

INVENTORY PHOTO

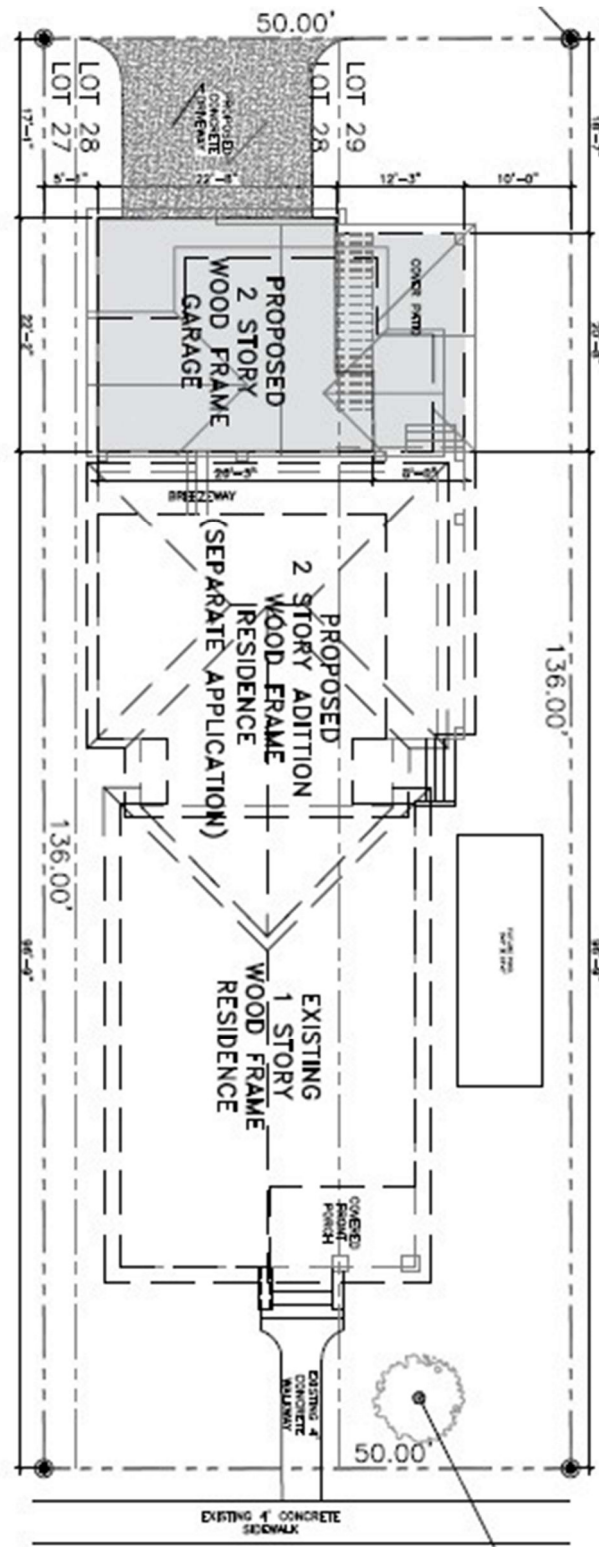


CURRENT PHOTOS

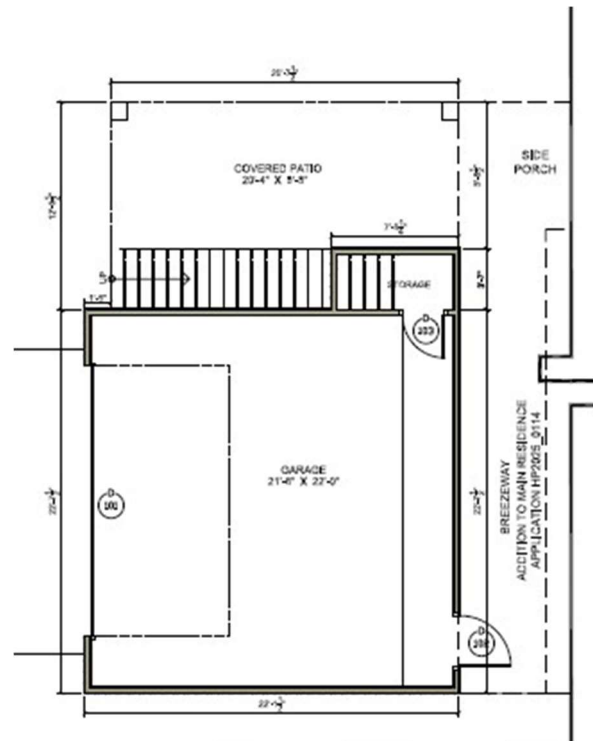




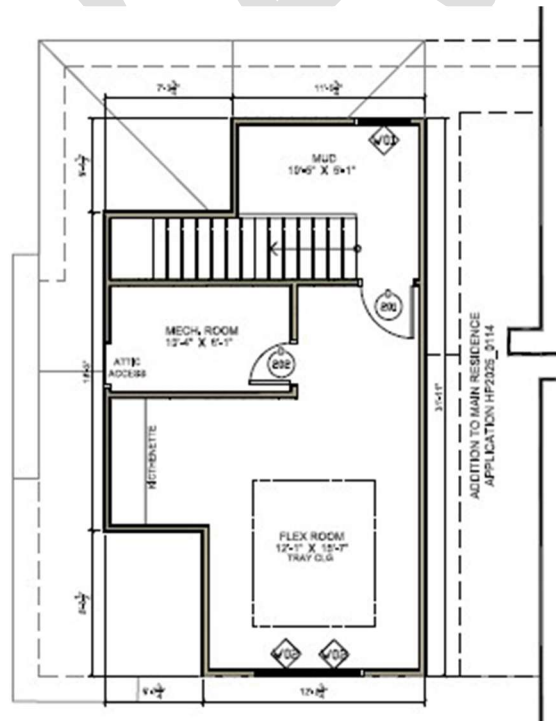
SITE PLAN



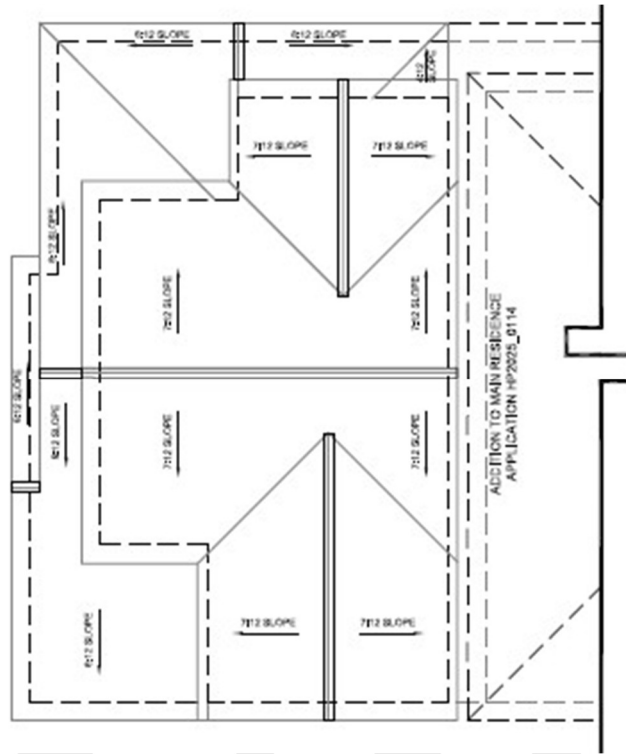
FIRST FLOOR PLAN



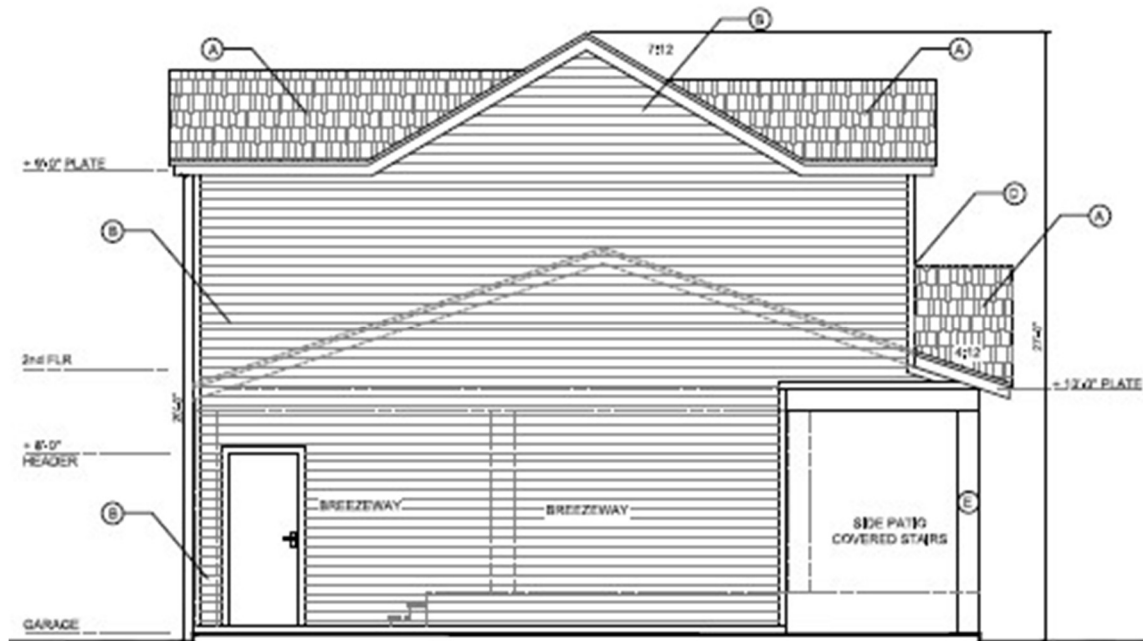
SECOND FLOOR PLAN



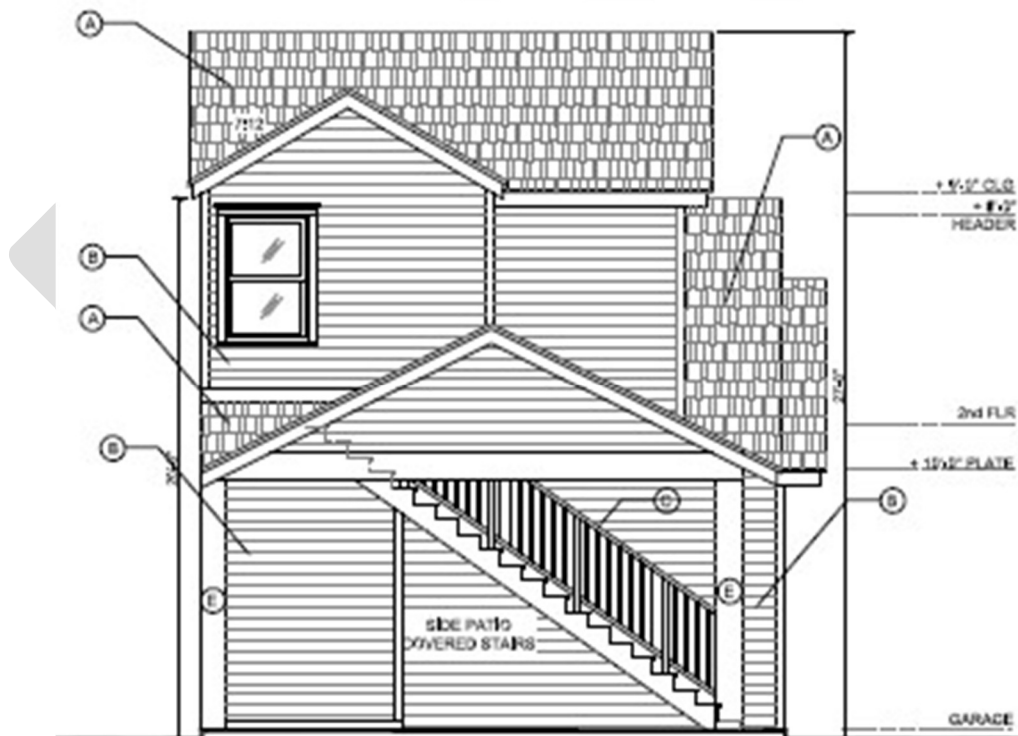
ROOF PLAN



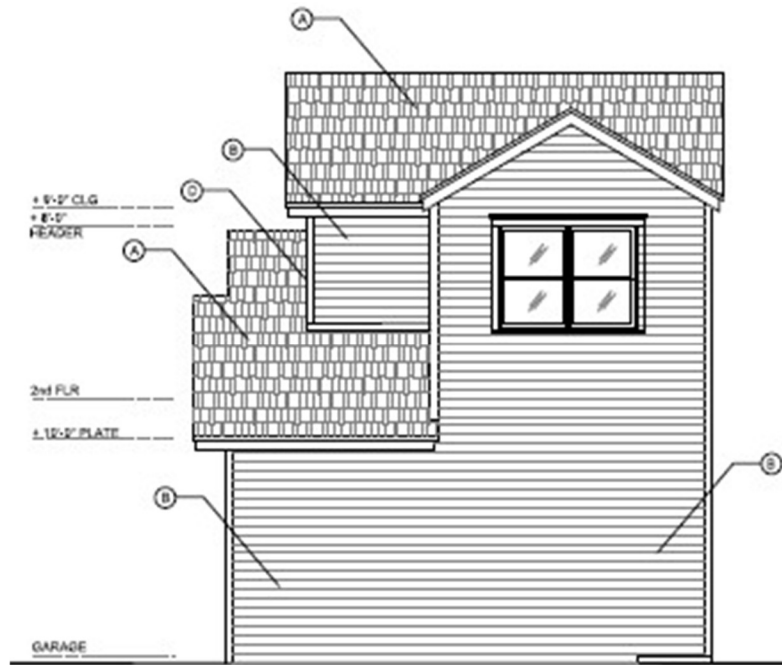
FRONT ELEVATIONS



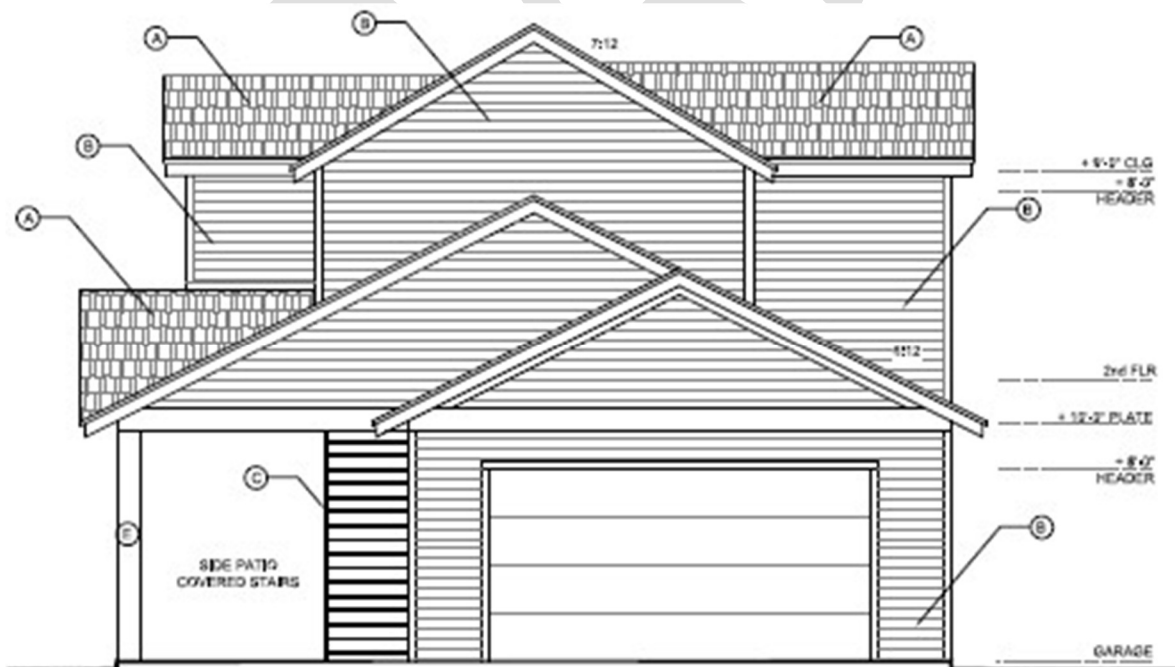
RIGHT-SIDE ELEVATIONS



LEFT-SIDE ELEVATIONS



REAR ELEVATIONS



WINDOW SCHEDULE**PROPOSED**

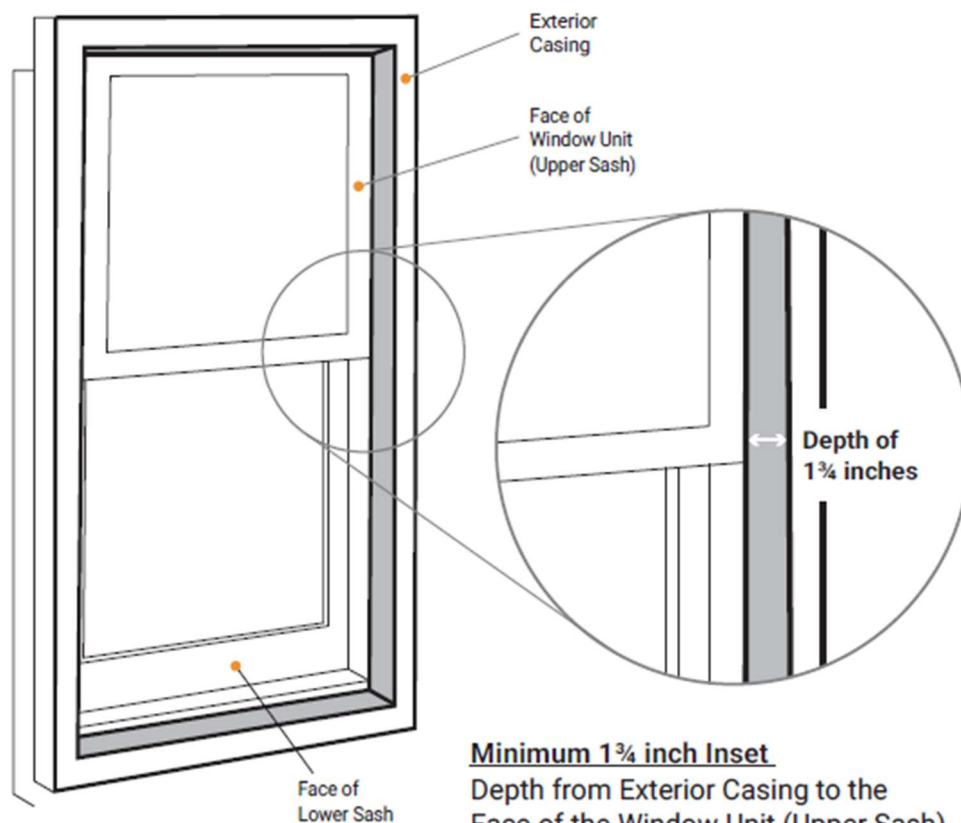
| WINDOW SCHEDULE | | | | | | |
|------------------------|----------|-------|--------|-------------|--------------|----------------------------|
| WINDOW TAG | Quantity | SIZE | | Style | Lite Pattern | NOTES |
| | | Width | HEIGHT | | | |
| W01 | 1 | 3'-2" | 4'-8" | SINGLE HUNG | 1/1 | INSET AND RECESSED |
| W02 | 2 | 3'-2" | 4'-8" | SINGLE HUNG | 1/1 | EGRESS, INSET AND RECESSED |

DOOR SCHEDULE**PROPOSED**

| DOOR SCHEDULE | | | | | | |
|---------------|----------|--------|-------|----------------------|-------|-----------------|
| Number | QUANTITY | DOOR | | TYPE | SWING | NOTES |
| | | SIZE | | | | |
| | | WD | HGT | | | |
| 101 | 1 | 16'-0" | 8'-0" | OVERHEAD - SECTIONAL | NA | GARAGE DOOR |
| 102 | 1 | 3'-0" | 8'-0" | HINGED - SINGLE | RIGHT | TO BREEZEWAY |
| 201 | 1 | 3'-0" | 6'-8" | HINGED - SINGLE | LEFT | FIRE RATED DOOR |
| 202 | 1 | 2'-4" | 6'-8" | HINGED - SINGLE | LEFT | -- |



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:

Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov

City of Houston | Planning and Development | Houston Office of Preservation