

CERTIFICATE OF APPROPRIATENESS

Applicant: Sam Gianukos, agent for Sergio Franco, owner

Property: 1516 Rutland Street, Lots/Tracts 25, 26A, Block 143, Houston Heights West Subdivision. The property includes a historic one-story wood frame 1,704 square foot single-family residence situated on a 6,600 square foot interior lot.

Significance: Contributing craftsman residence, constructed circa 1920, located in the Houston Heights West Historic District.

Proposal: Alteration – Addition

This project received a COA for the alteration/addition on December 12, 2024. (HP2024_0320)

The new application is for a one story addition instead of the two story that was approved last year.

The current structure is a one-story house.

The applicant proposes the following:

- A 442 sq.ft. one story addition to the rear of the house and a 466 sq.ft. garage attached to the rear of the house.
- A large portion of the existing exterior porch will be removed.
- The original roof pitch of the house is 6, 8, & 10:12. The addition/renovation will have a roof pitch of 8:12.
- The current maximum eave height is 9' – 9" while the addition's proposed ridge height is 19' – 3 ½". The addition will have a new eave height of 12' – 0" while new maximum ridge height will be 20' – 2 ½".
- The current ceiling height on the first level is 9' – 0". The proposed addition will match the existing ceiling height.
- The new addition will be clad in 5 1/2" reveal cementitious smooth siding to match the existing.
- All new windows need to be wood, inset and recessed.
Minimum 1¾ inch inset depth from exterior casing to the face of the window unit (Upper Sash) Windows must be 1-over-1 if single or double-hung and equally horizontally divided.
1¾ inch minimum inset for Fixed Window.

*Draft report is subject to change

Public Comment: No comment received.

Civic Association: No comment received.

Recommendation: **Approval with conditions:** That the addition's roof and how it connects to the existing roof be fixed to avoid pooling.

HAHC Action:

APPROVAL CRITERIA**ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS**

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(1)			
			(2)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(3)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(4)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(5)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(6)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(7)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(8)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(9)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(10)			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	(11)			

HEIGHTS DESIGN GUIDELINES

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.
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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS**S D NA****S** - satisfies **D** - does not satisfy **NA** - not applicable☒ ☐ ☐Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)



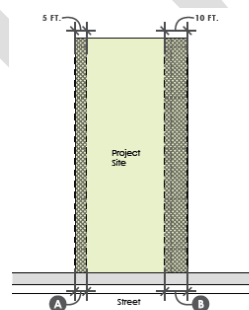
Existing Lot Size: 6,600
 Max. Allowed: 2,640
 Proposed Lot Coverage: 2,376

☒ ☐ ☐Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40



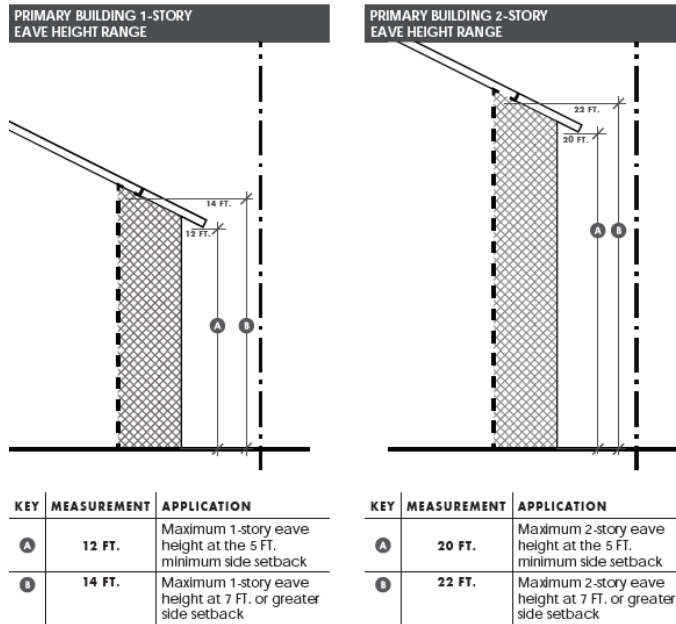
Existing Lot Size: 6,600
 Max. FAR Allowed: 2,904
 Proposed FAR: 2,874

☒ ☐ ☐Side Setbacks (Addition and New Construction)

Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
C	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (right/south elevation): 5'
 Proposed side setback (north elevation): 12'-6.5"
 Cumulative side setback: 17'-6.5"

Eave Height (Addition and New Construction)

Proposed eave height: 12'
Proposed ridge height is 20'-2 1/2"

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

3'-11" Offset on south elevation for the length of 48'-6"
11'-5" inset on north elevation for 48'-6"

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 2' to property line and 22' from an opposing alley-loading garage door.

☒ ☐ ☐

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 24"
Proposed first floor plate height: 10'

DRAFT



PROPERTY LOCATION

HOUSTON HEIGHTS WEST HISTORIC DISTRICT



INVENTORY PHOTO



CURRENT PHOTO



HISTORIC PHOTO



CONTEXT AREA



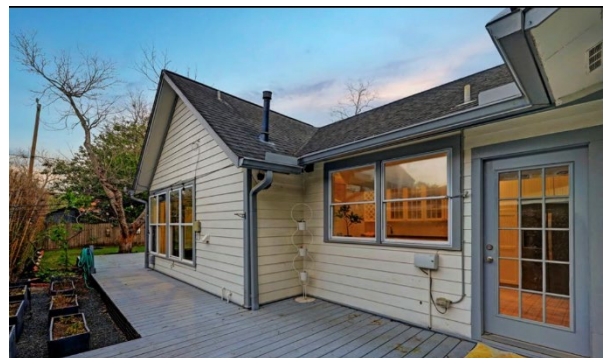
1547	1546	1544
1541		1542
1539	1536	1540
1535	1534	1538
1527	1532	1536
1521	1530	1534
1515	1520	1532
1511	1516	1530
1503	1512	1528
1501	1508	1526
1495	1500	1524
1489	1496	1522
1483	1492	1520
1477	1488	1518
1471	1484	1516
1465	1480	1514
1459	1476	1512
1453	1472	1510
1447	1468	1508
1441	1464	1506
1435	1460	1504
1429	1456	1502
1427	1452	1500
1425	1448	1498
1421	1444	1496
1417	1440	1494
1407	1436	1492
	1432	1490
	1428	1488
	1424	1486
	1420	1484
	1416	1482
	1412	1480
	1408	1478
	1404	1476
	1400	1474



EXISTING PHOTOS



PHOTOS FROM HAR 2023

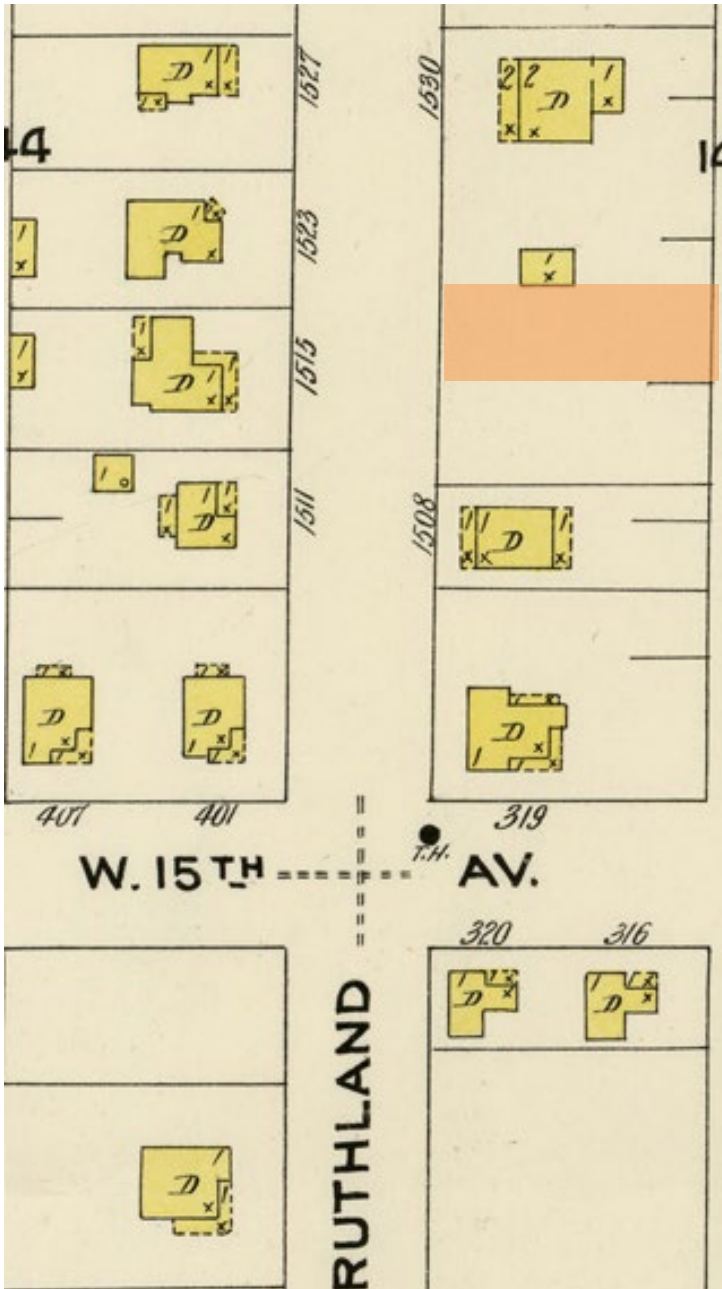


AERIAL VIEW OF PROPERTY

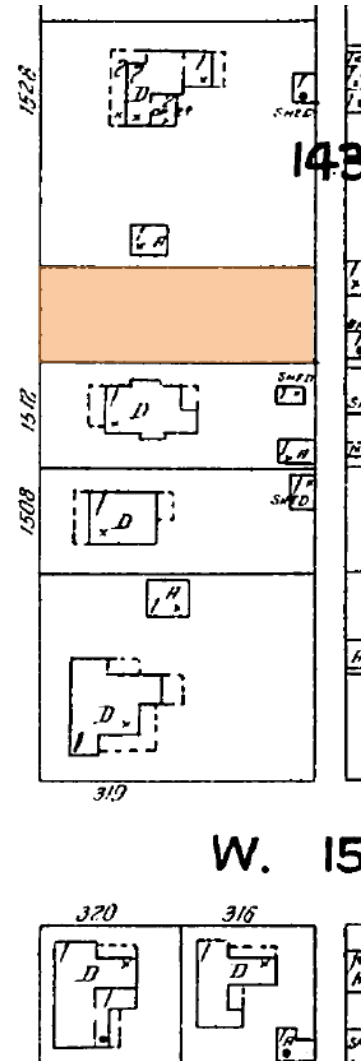
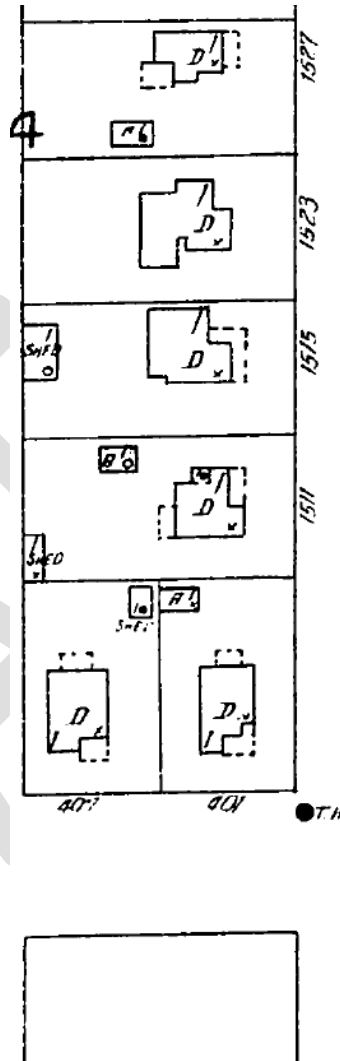


SANBORN MAP

1917



1924-1950



049-010-00-022/8

016600
1800
18
1101

38
9120
24
1440 00
24 6

TING APPRAISALS, if any -
Value - without depreciation-\$ _____ \$
-Ph. 50 % Fu. 10 % Ec. % \$ _____ \$
APPRAISALS

912	SPR \$ 4.60	\$ 4200	\$
144	1.20	170	
180	1.20	220	
0% Value		4590 *	
40% Dep		1840	
100% Value		2750	

CLASS _____ Yr. Built _____ Depr. _____
Base Unit @ \$ _____ A/C&C/H @ \$ _____ Total Unit @ \$ _____
SF @ \$ _____ \$ _____ \$ _____

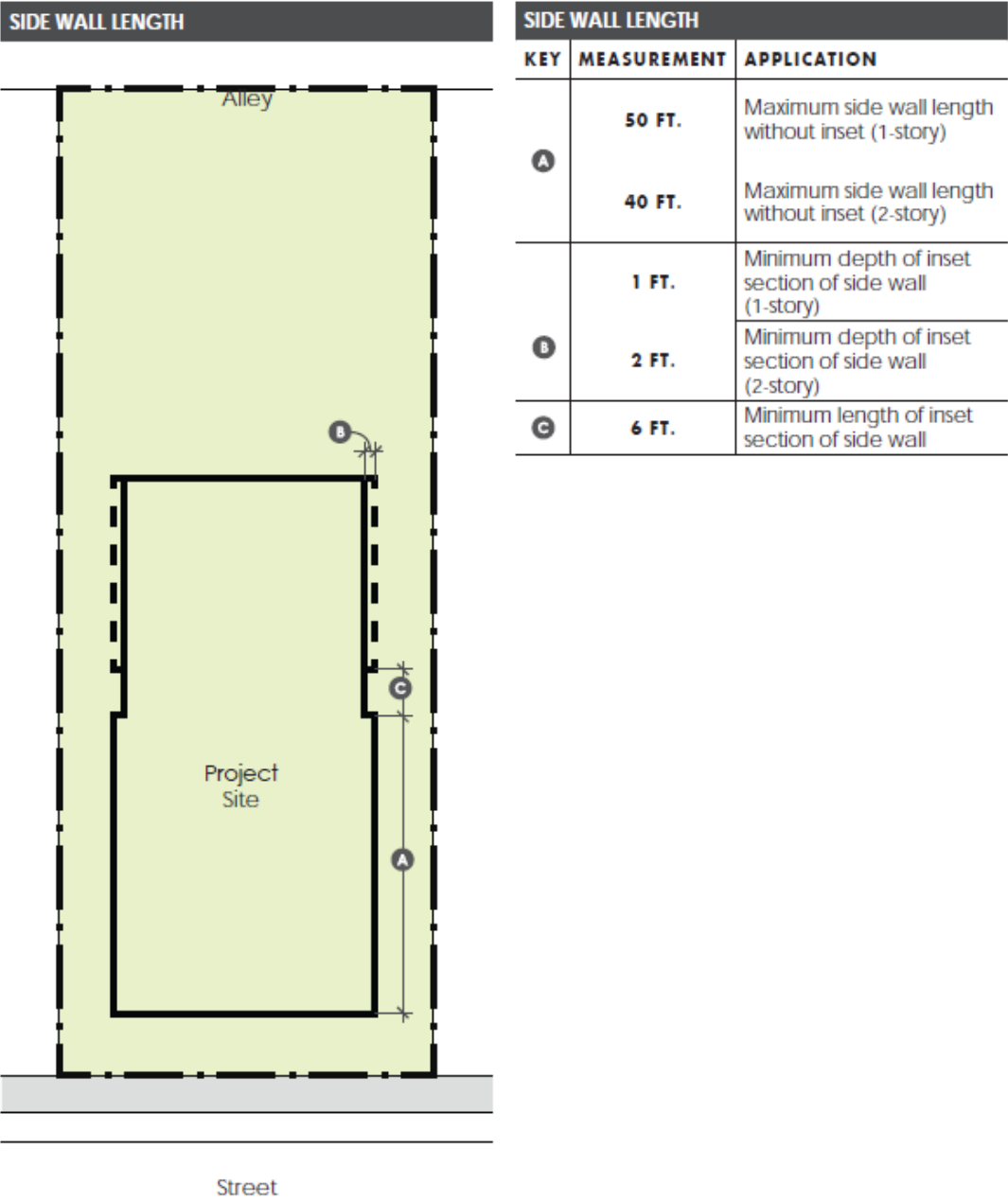
Olde 100% * 4590
X .8

Appraiser's name & date
3600 by 11-10-67
TOTAL VALUE \$ 2
FOR 19 68 40% \$ 11
53% 1400

Total 100% Value \$ 3670
For 19 77 factor X 2.5
new 100% - 9180
CO 32% = 2940

HOUSTON HEIGHTS DESIGN GUIDELINES

Side Wall Length and Insets
Maximum overall wall lengths have been established for front walls and side walls. In addition, these design standards establish how long a wall can be before a portion of a wall must be inset relative to the rest of the wall. These measurements apply to both one-story and two-story buildings.



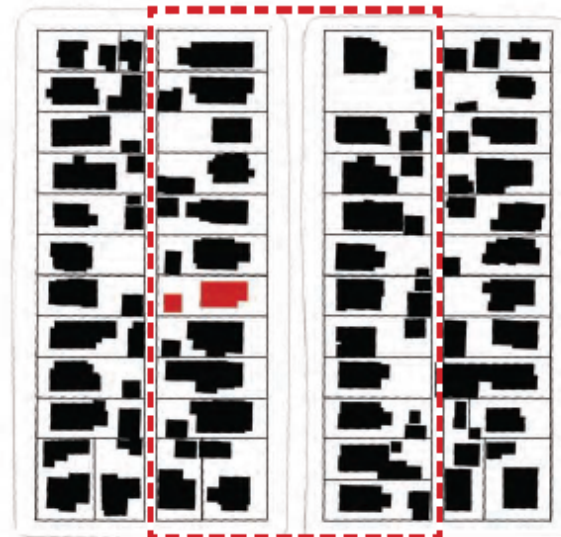
PLEASE NOTE:

Property owners may present additional information to supplement their COA application or to make a case for considering a different context area or adjusted measurable standards. HAHC will consider, but is not required to agree with or apply, such information.

CONTEXT AREA

When a property owner applies for a Certificate of Appropriateness, members of the Houston Archaeological and Historical Commission (HAHC), with help from Planning staff in the Historic Preservation Office, must decide if the proposed changes are compatible with the surrounding historic district. Rather than compare the project to the entire district, the City of Houston's historic preservation ordinance establishes a smaller area, called the *context area*, for comparison purposes. This is especially important in large districts where the character of the district varies within the district.

The ordinance defines the context area as the blockface on which the proposed project is located and opposing blockface, as shown in the diagram below.



Context area for a subject property (shown in red)

The context area may be defined differently, if the HAHC and staff find that unusual and compelling circumstances exist or if it is described differently in design guidelines. The HAHC may decide to expand the context area for a particular project, if not many buildings within the context area are contributing structures, or if the proposed project is unusual for the area. For example, a new church building could be compared to existing historic church buildings, rather than to residential buildings in the same block.

Note: Only *typical, existing* contributing structures are used to determine compatibility of the proposed project.

This set of design guidelines does not include an alternate definition of context area for Houston Heights Historic District East, Houston Heights Historic District West, or Houston Heights Historic District South.

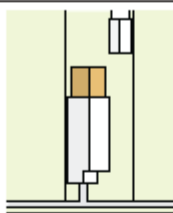
Note: The information on this page is taken directly from the City's historic preservation ordinance and was accurate at the time of publication. Please check with the Historic Preservation Office staff to ensure that you are using the most current ordinance criteria.

APPROPRIATE AND INAPPROPRIATE REAR ADDITION ALTERNATIVES

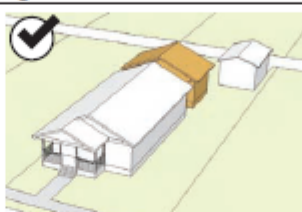
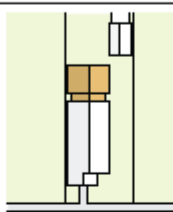
These images illustrate how the design guidelines for adding a rear addition would apply to a series of alternatives.

1. One-Story Addition Inset from Historic Walls

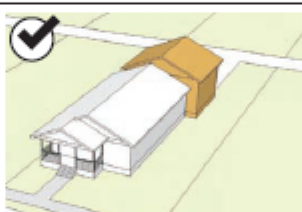
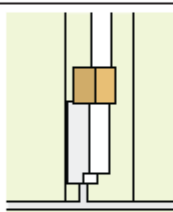
- Roof pitch matches historic building
- Eave line maintained
- Height and width of historic building is maintained
- Maintains all corners of historic structure

**2. One-Story Addition with Connector and Walls Aligned with Historic Walls**

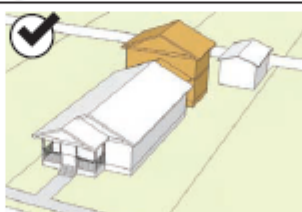
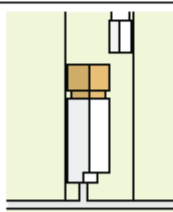
- Roof pitch matches historic building
- Eave line maintained
- Height and width of historic building is maintained
- Maintains all corners of historic structure

**3. One-Story Addition Inset from One Historic Wall and Offset from One Historic Wall**

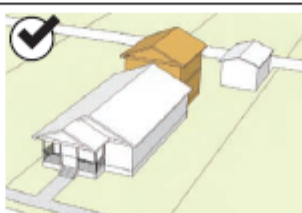
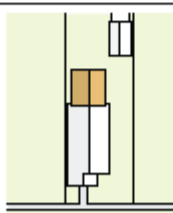
- Roof pitch matches historic building
- Eave line maintained
- Width of historic building is maintained
- Maintains 3 corners of historic structure

**4. Two-Story Addition with Connector and Walls Aligned with Historic Walls**

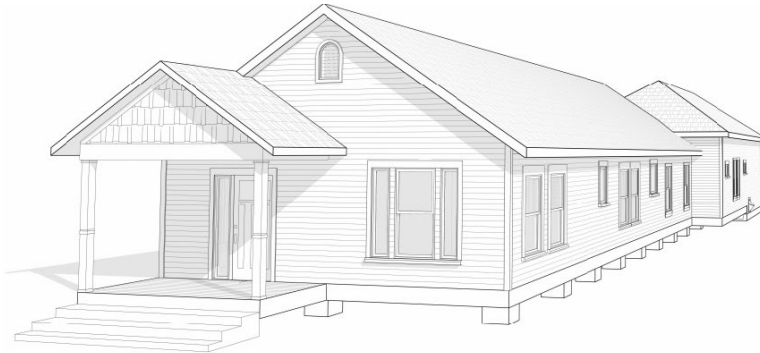
- Roof pitch matches historic building
- Eave line maintained
- Width of historic building is maintained
- Maintains all corners of historic structure

**5. Two-Story Addition Inset from Historic Walls**

- Roof pitch matches historic building
- Eave line maintained
- Width of historic building is maintained
- Maintains all corners of historic structure



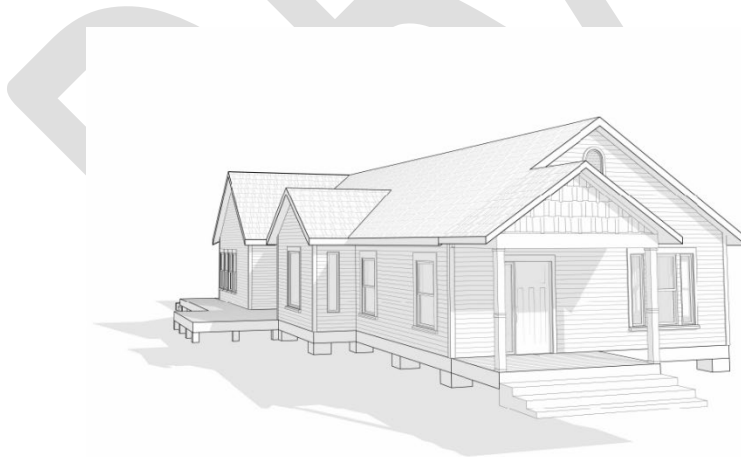
PROPOSED 3D DRAWINGS



3D VIEW 1 - 6' EYE LEVEL FROM CENTER OF STREET



3D VIEW 2 - 6' EYE LEVEL FROM CENTER OF STREET

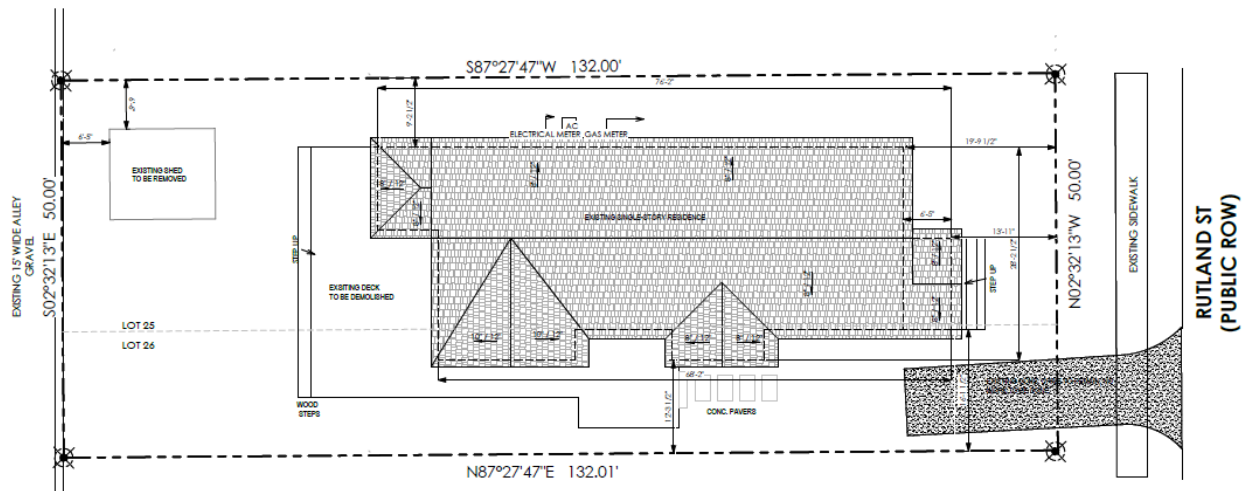


3D VIEW 3 - 6' EYE LEVEL FROM CENTER OF STREET



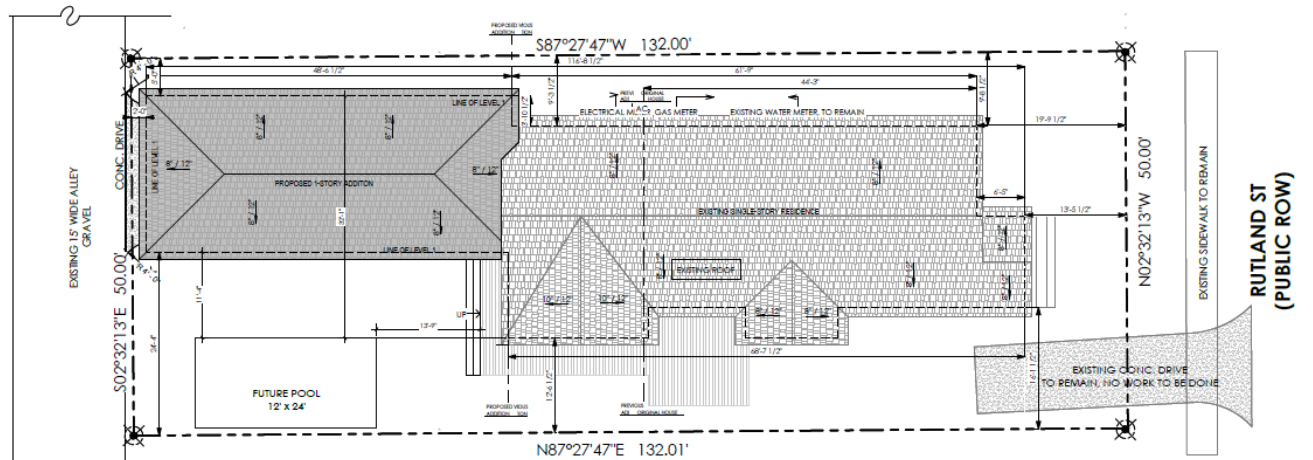
SITE PLAN

EXISTING CALCULATIONS OF IMPERVIOUS PERCENTAGE	
HOUSE / GARAGE	1,882 SF
DRIVEWAY / SIDEWALK	252 SF
TOTAL OF IMPERVIOUS COVER	2,134 SF
LOT AREA	4,600 SF
PERCENTAGE OF IMPERVIOUS AREA	32.3%



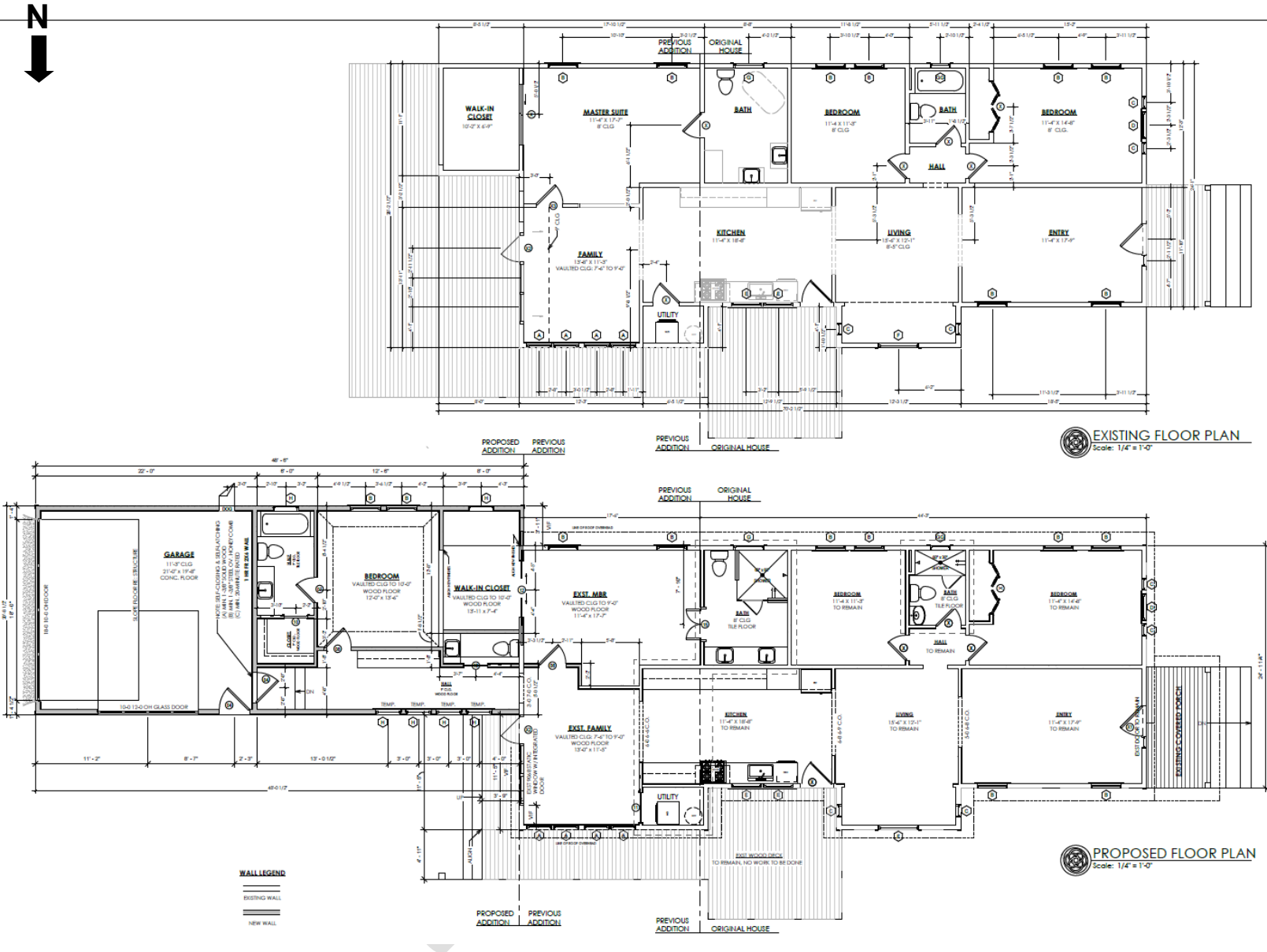
EXISTING SITE PLAN
Scale: 1/8" = 1'-0"

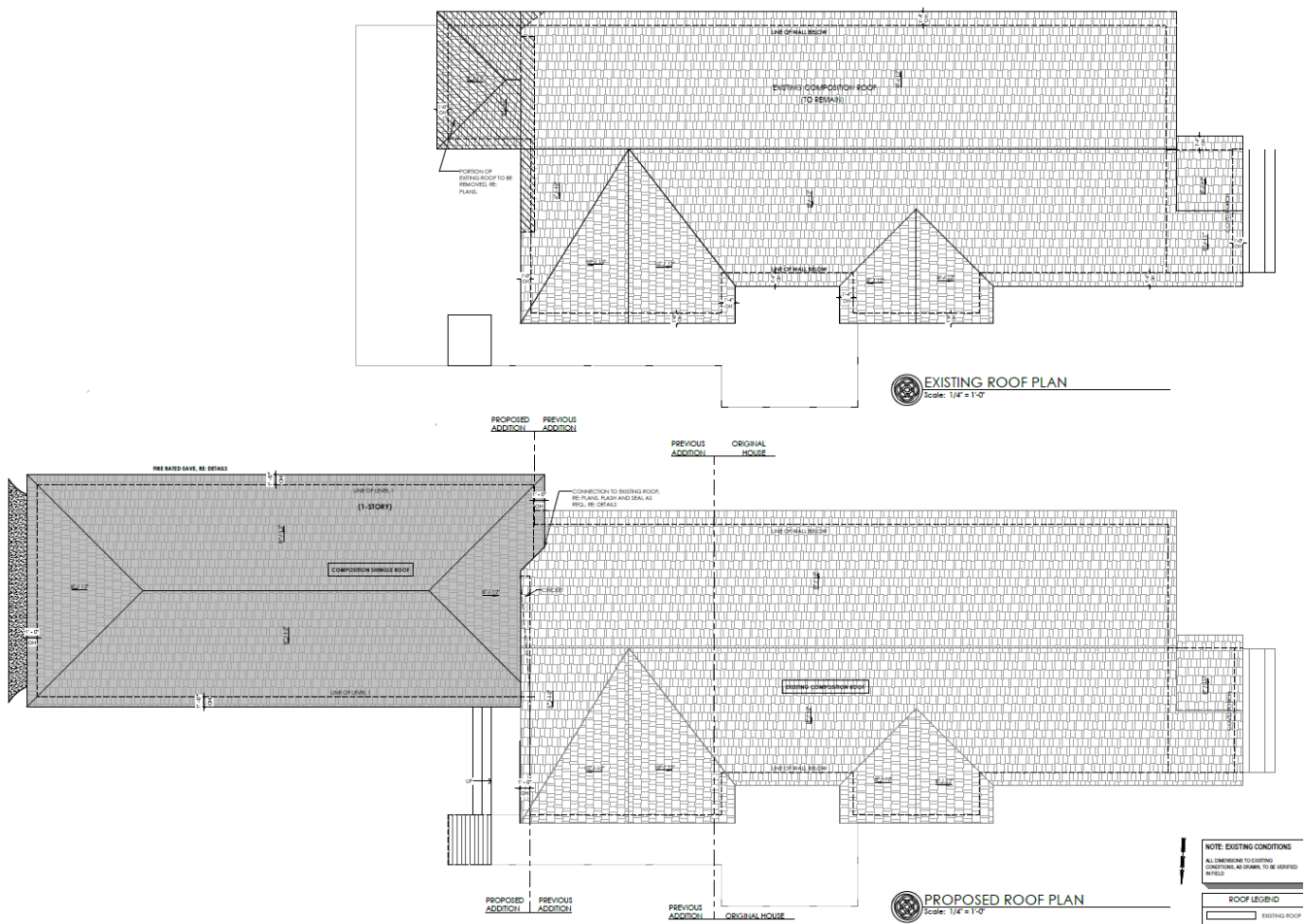
PROPOSED CALCULATIONS OF IMPERVIOUS PERCENTAGE	
HOUSE / GARAGE	2,422 SF
DRIVEWAY / SIDEWALK	252 SF
TOTAL OF IMPERVIOUS COVER	2,674 SF
LOT AREA	4,600 SF
PERCENTAGE OF IMPERVIOUS AREA	43.9%



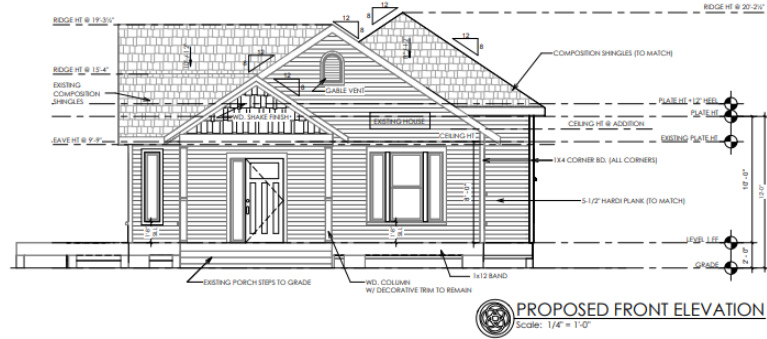
PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"

FIRST FLOOR PLAN

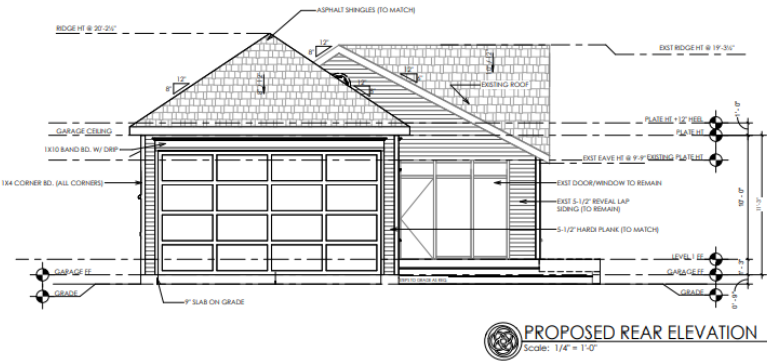
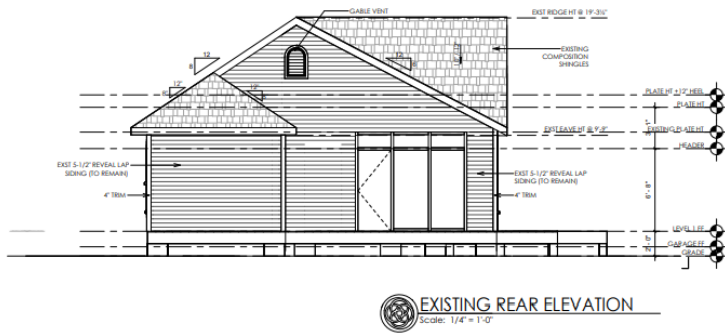




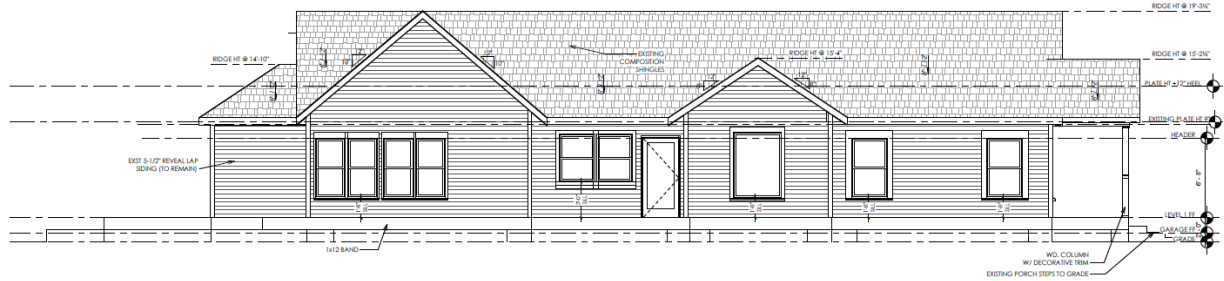
FRONT WEST ELEVATION



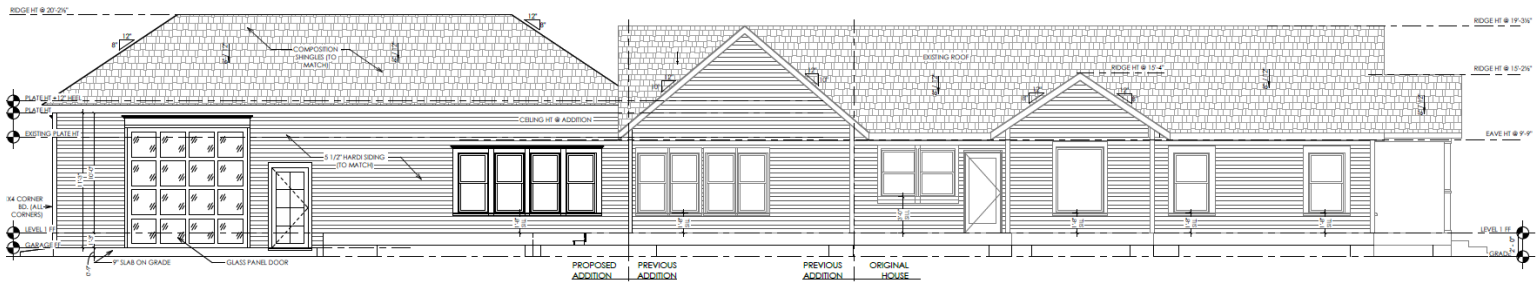
REAR EAST ELEVATION



NORTH SIDE ELEVATION

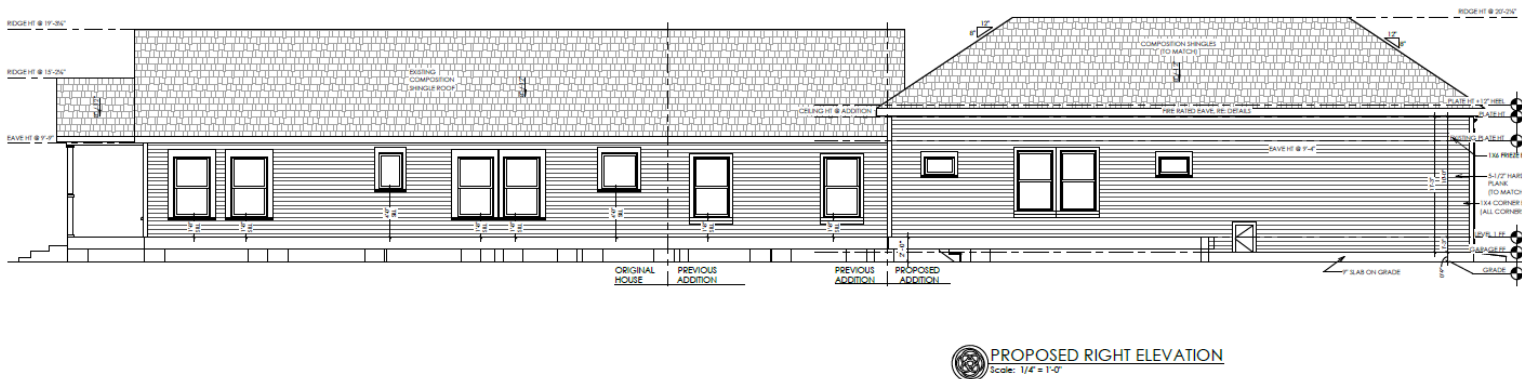
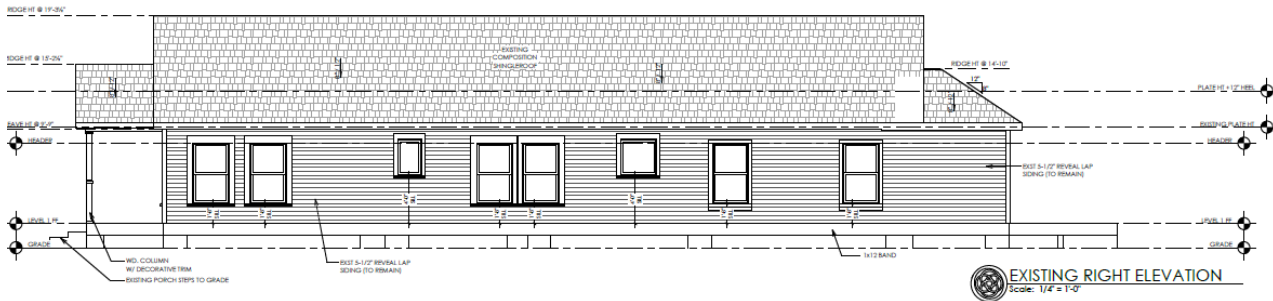


EXISTING LEFT ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION
Scale: 1/4" = 1'-0"

SOUTH SIDE ELEVATION



WINDOW & DOOR SCHEDULE

EXISTING DOOR SCHEDULE

MARK	QTY.	WIDTH	HEIGHT	DESCRIPTION
X	8	<varies>	<varies>	EXISTING, TO REMAIN
X1	1	36	80	FRONT DOOR, TO REMAIN
X2	1	32	79	INTEGRATED, TO REMAIN
X3	1	32	80	RELOCATE DOOR

EXISTING WINDOW SCHEDULE

MARK	PHASE CREATED	COUNT	Size		DESCRIPTION
			WIDTH	HEIGHT	
LEVEL 1 FF					
A	Existing	4	30	60	TO REMAIN
B	Existing	8	36	60	TO REMAIN
C	Existing	4	15	66	TO REMAIN
D	Existing	1	32	66	TO REMAIN
E	Existing	2	36	48	TO REMAIN
F	Existing	1	48	66	TO REMAIN
G	Existing	1	36	36	TO REMAIN
H	Existing	1	24	36	TO REMAIN
LEVEL 2 FF					
N	Existing	1	18	28	
P	Existing	1	18	28	TO BE REMOVED

DOOR SCHEDULE

MARK	QTY.	WIDTH	HEIGHT	DESCRIPTION
GARAGE FF				
04	1	36	80	
11	1	216	120	
X4	1	120	120	
LEVEL 1 FF				
04	1	36	80	SELF-CLOSING 20 MIN FR, LOCKSET 1
07	1	30	80	
08	1	32	80	RELOCATE DOOR
08	1	32	80	
10	1	28	80	
10	1	28	80	
11	1	36	80	
12	1	66	80	DOUBLE POCKET DOOR
14	1	24	80	
15	1	36	80	DOUBLE 1-6 DOOR
16	1	24	80	

WINDOW SCHEDULE

MARK	QTY.	WIDTH	HEIGHT	DESCRIPTION
A	4	30	60	EXISTING TO REMAIN
B	10	36	60	EXISTING TO REMAIN
C	4	15	66	EXISTING TO REMAIN
D	1	32	66	EXISTING TO REMAIN
E	2	36	48	EXISTING TO REMAIN
F	1	48	66	EXISTING TO REMAIN
G	1	36	36	EXISTING TO REMAIN
H	1	24	36	EXISTING TO REMAIN
J	4	30	60	SINGLE HUNG, TEMPERED
K	2	30	18	FIXED

Grand total: 30

CERTIFICATE OF APPROPRIATENESS

WINDOW WORKSHEET



PLANNING &
DEVELOPMENT
DEPARTMENT

EXISTING WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Original</i>	<i>No</i>
A	Wood	1/1	SH	30 x 60	Recessed	Original	Yes
B	Wood	1/1	SH	36 x 60	Recessed	Original	Yes
C	Wood	1	FX	15 x 66	Recessed	Original	Yes
D	Wood	1/1	SH	32 x 66	Recessed	Original	Yes
E	Wood	1/1	SH	36 x 48	Recessed	Original	Yes
F	Wood	1	FX	48 x 66	Recessed	Original	Yes
G	Wood	1	FX	36 x 36	Recessed	Original	Yes
H	Wood	1	FX	24 x 36	Recessed	Original	Yes
					Recessed	Original	Yes

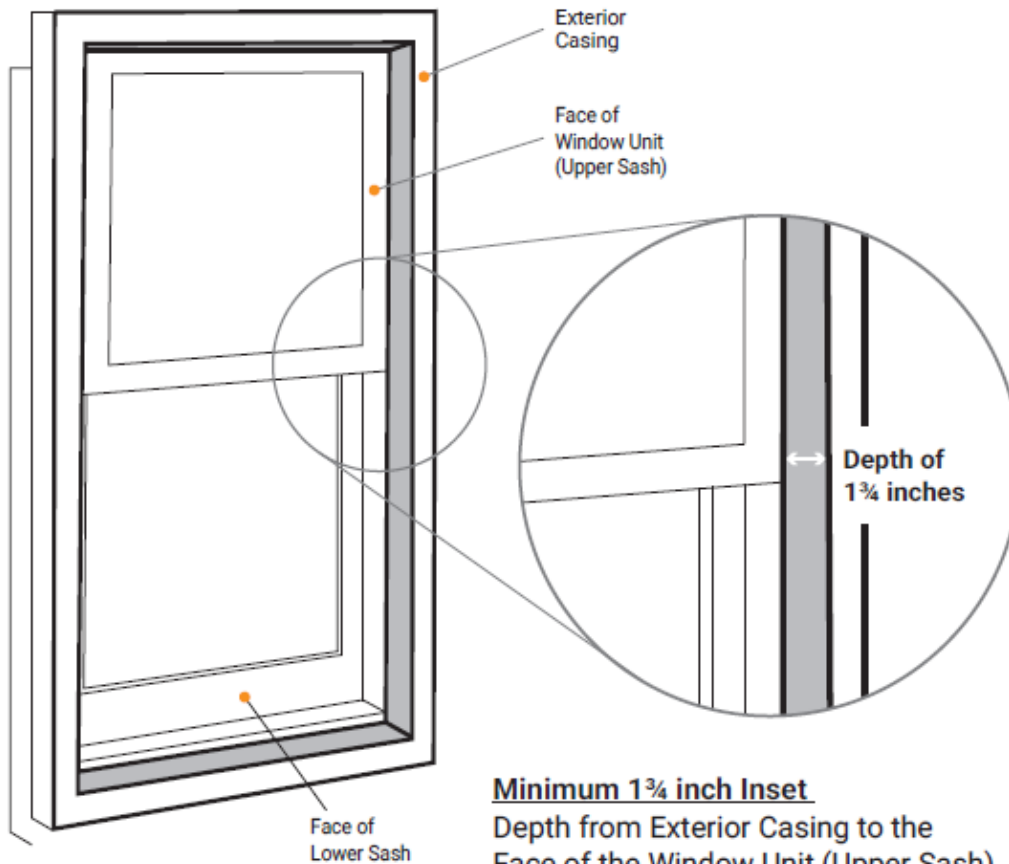
DAMAGE TO EXISTING WINDOWS	
Window	Describe Damage
<i>Ex. A1</i>	<i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i>

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Plygem</i>	
B	Wood	1/1	SH	36 x 60	Recessed	JELD-WEN	
J	Wood	1/1	SH	30 x 60	Recessed	JELD-WEN	
J	Wood	1	FX	30 x 18	Recessed	JELD-WEN	

- Must include photos of all windows with labels indicated on this sheet
 - Must include manufacture's specifications and details for all proposed windows
- *** Use additional sheets as necessary



Historic Window Standard: New Construction & Replacement



Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:
Houston Office of Preservation
832-393-6556
historicpreservation@houstontx.gov