

CERTIFICATE OF APPROPRIATENESS

Application Date: September 25, 2025

Applicant: Krystal Hill, owner

Property: 1032 Key St, lot 8, block 133, North Norhill Subdivision. The property includes a (50' x 100') 5,000 square foot lot.

Significance: Contributing vacant lot, located in the Norhill Historic District.

Proposal: New Construction – of a residence:

The applicant proposes to:

- Demolish the existing accessory structure.
- Construct a 2,247 sq ft two-story home, with a 1,695 sq ft first floor and a 552 sq ft second floor. The total covered shall be 2,884 sq ft.
- The property will have 130 sq ft of covered patio
- A porch of 108 sq ft
- A 399 sq ft detached garage to be considered in a separate application
- Constructed with a pier and beam foundation 2'-4" above grade.
- Clad the structure with board and batten along with smooth cementitious siding.
- The roof shall have a 7 over 12 pitch, with composition shingles.
- The first floor eave height will be 10'-3" on the first floor and 19'-3" at the second floor.
- The maximum ridge height will be 26'-2".

See enclosed application materials and detailed project description below.

Public Comment: No public comment received at this time.

Civic Association: No public comment received at this time.

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | | | | |
|-------------------------------------|-------------------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area; |
| ☐ | ☒ | ☐ | (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;
<i>All the proposed exterior features are compatible with existing contributing structures, except for the cementitious siding that is being proposed.</i> |
| ☒ | ☐ | ☐ | (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions; |
| ☒ | ☐ | ☐ | (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district. |



PROPERTY LOCATION
NORHILL HISTORIC DISTRICT

Building Classification

- Contributing
- Non-Contributing
- Park



CURRENT PHOTO

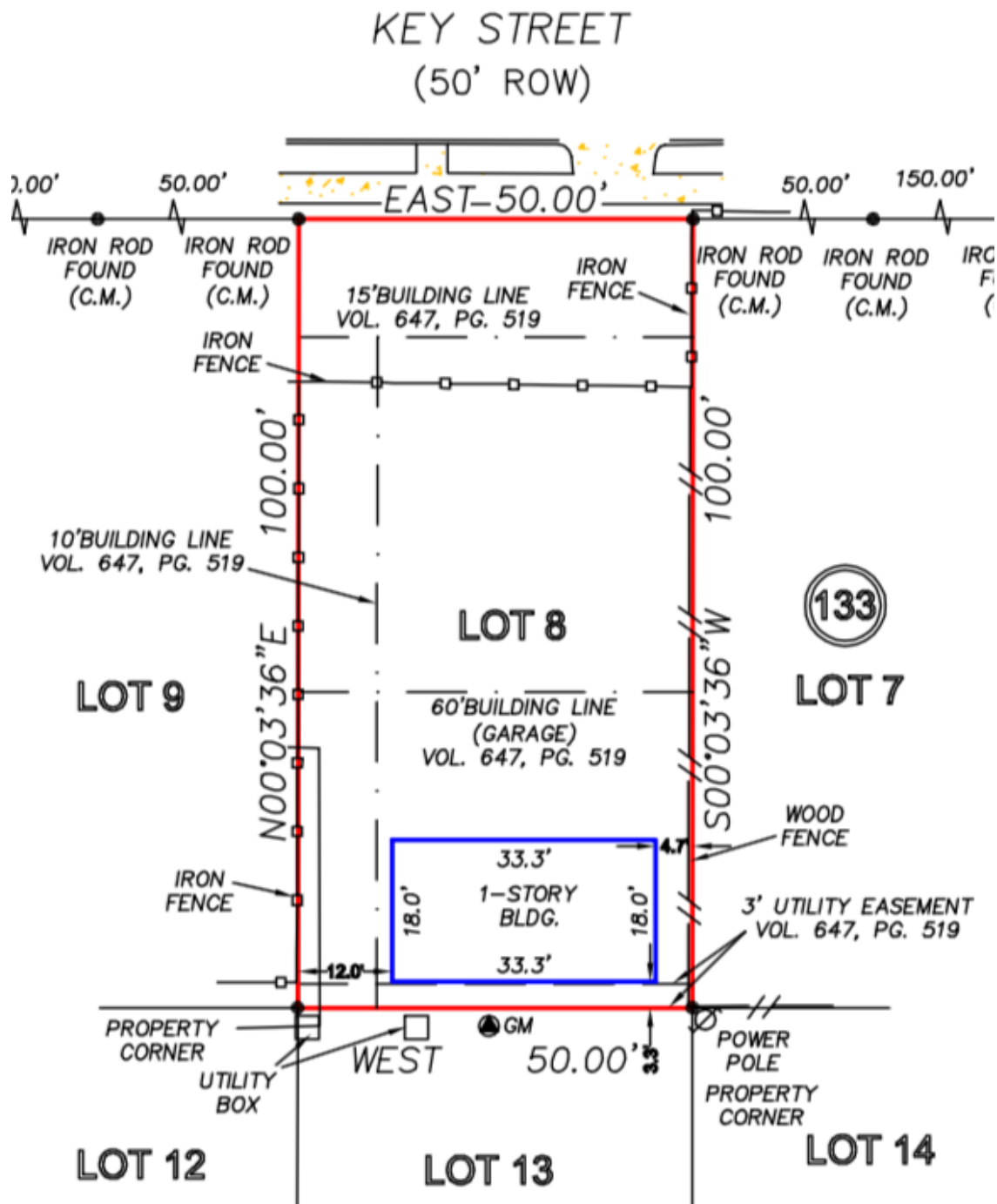


CURRENT PHOTO



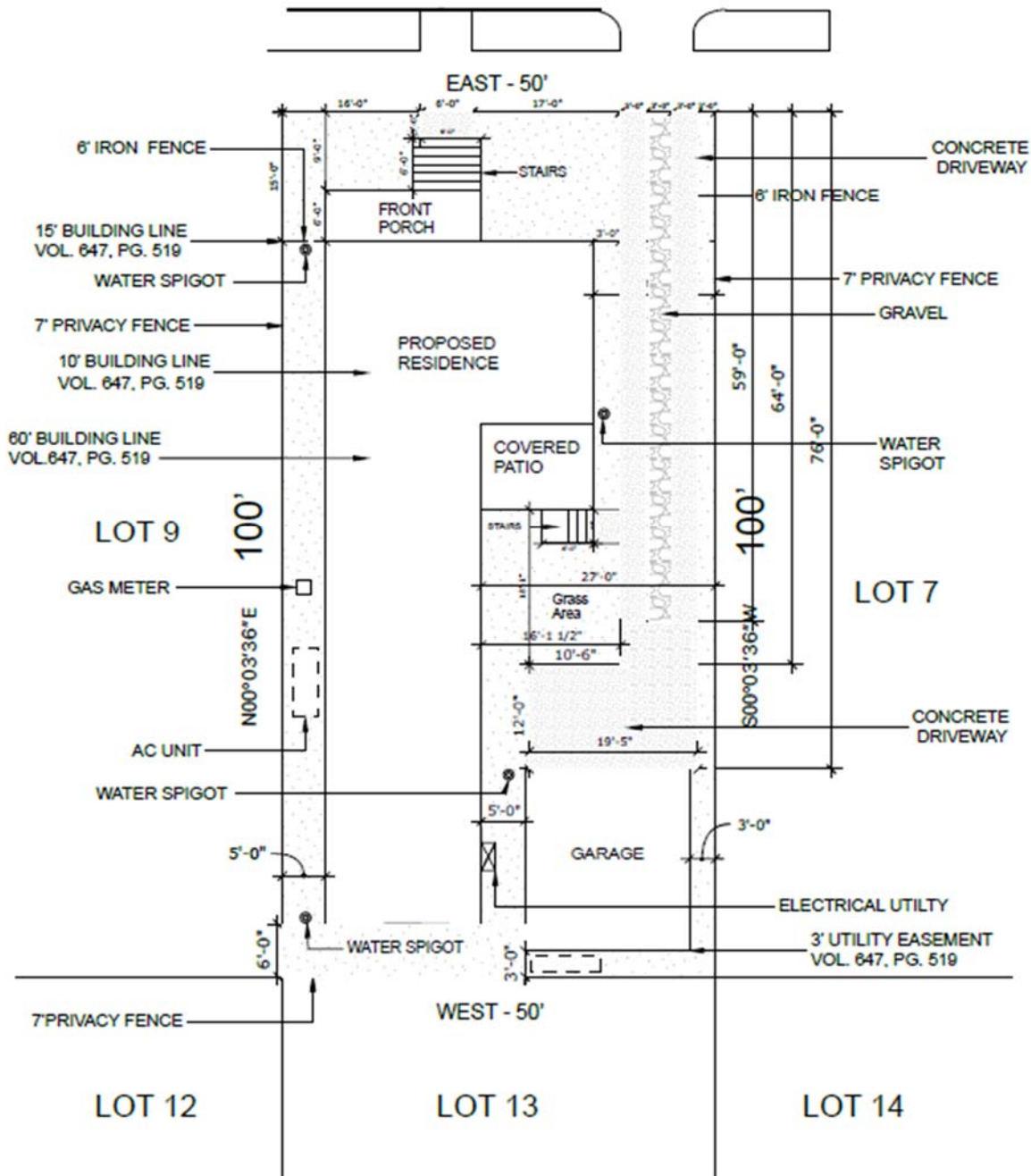
SURVEY: EXISTING CONDITIONS

SITE PLAN



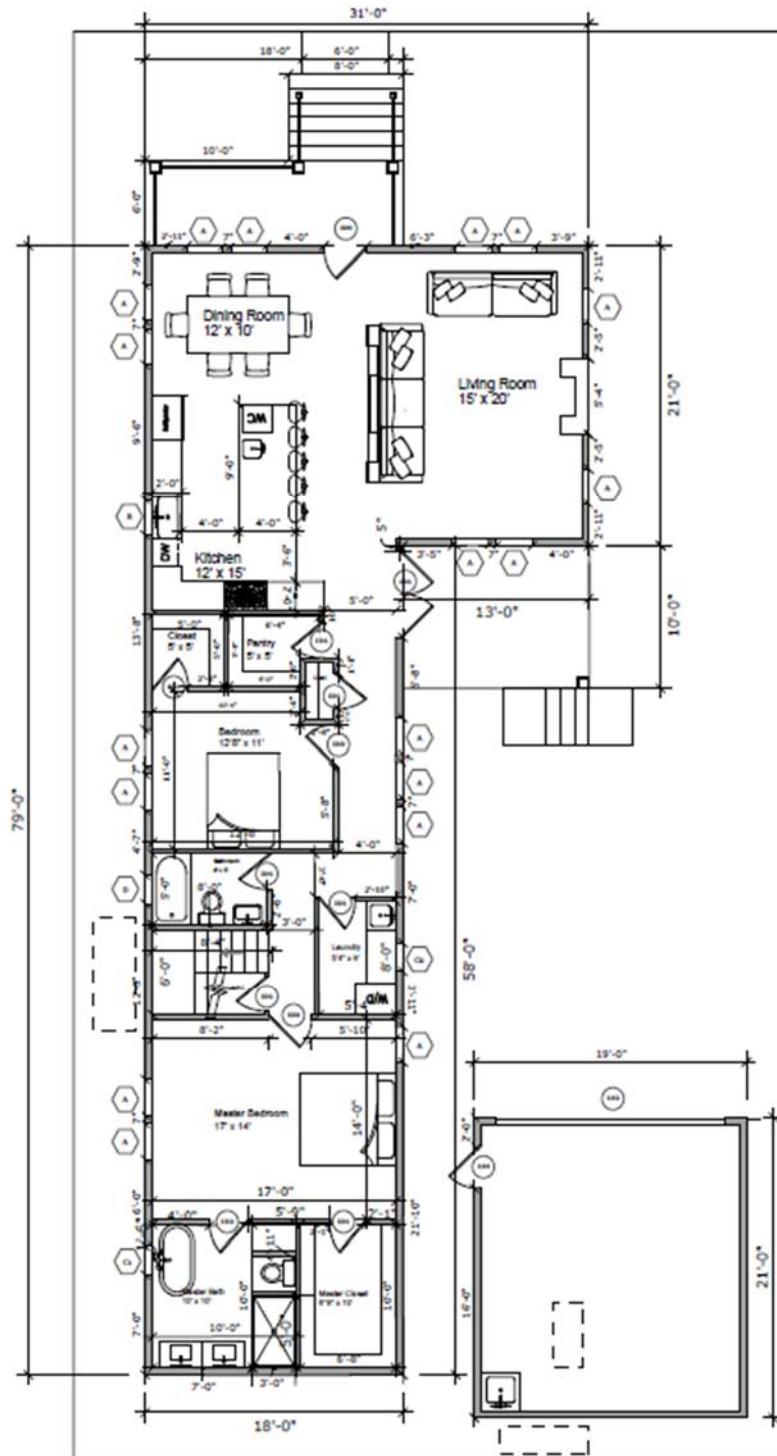
**PROPOSED RENDERING
FRONT ELEVATION**



**SITE PLAN
PROPOSED****KEY STREET
(50' ROW)**

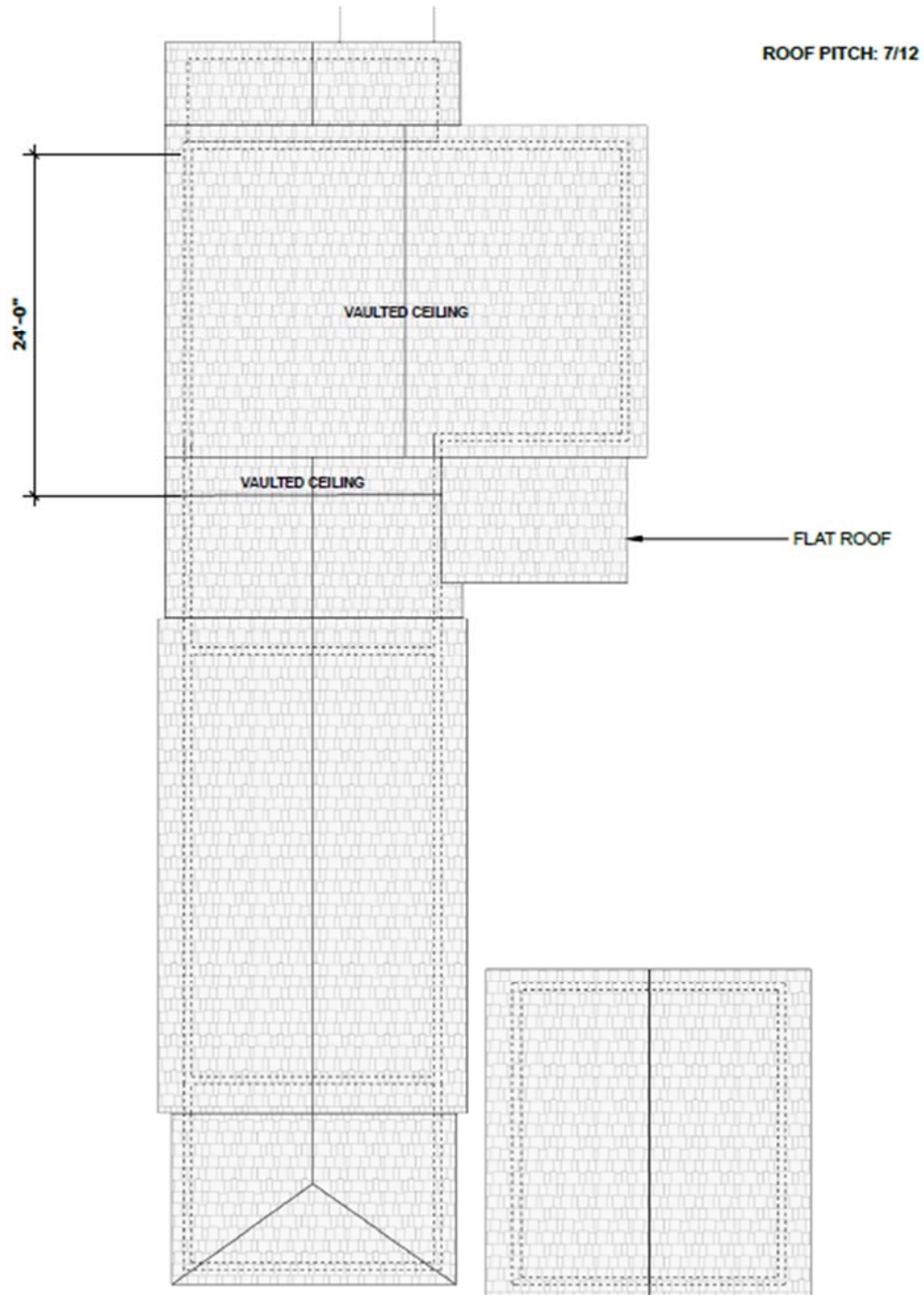
FIRST FLOOR PLAN

PROPOSED



ROOF PLAN

PROPOSED



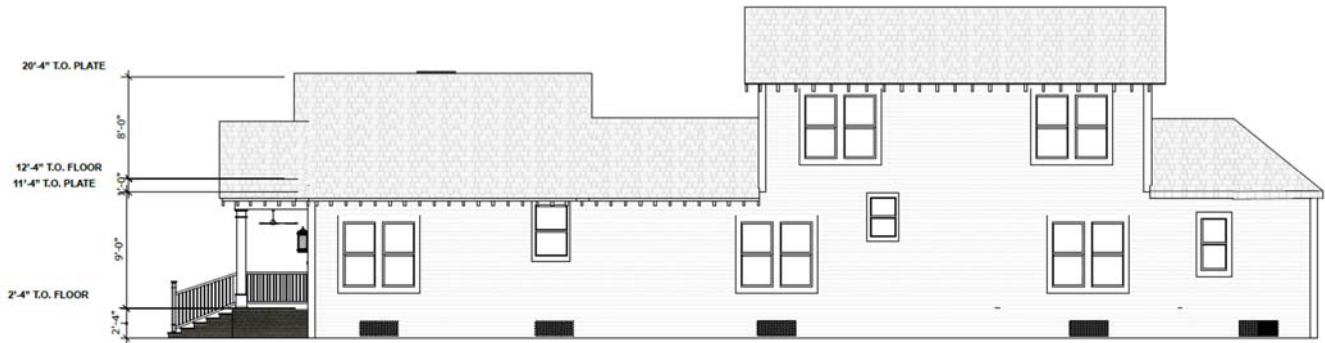
NORTH ELEVATIONS PROPOSED



SOUTH ELEVATIONS PROPOSED



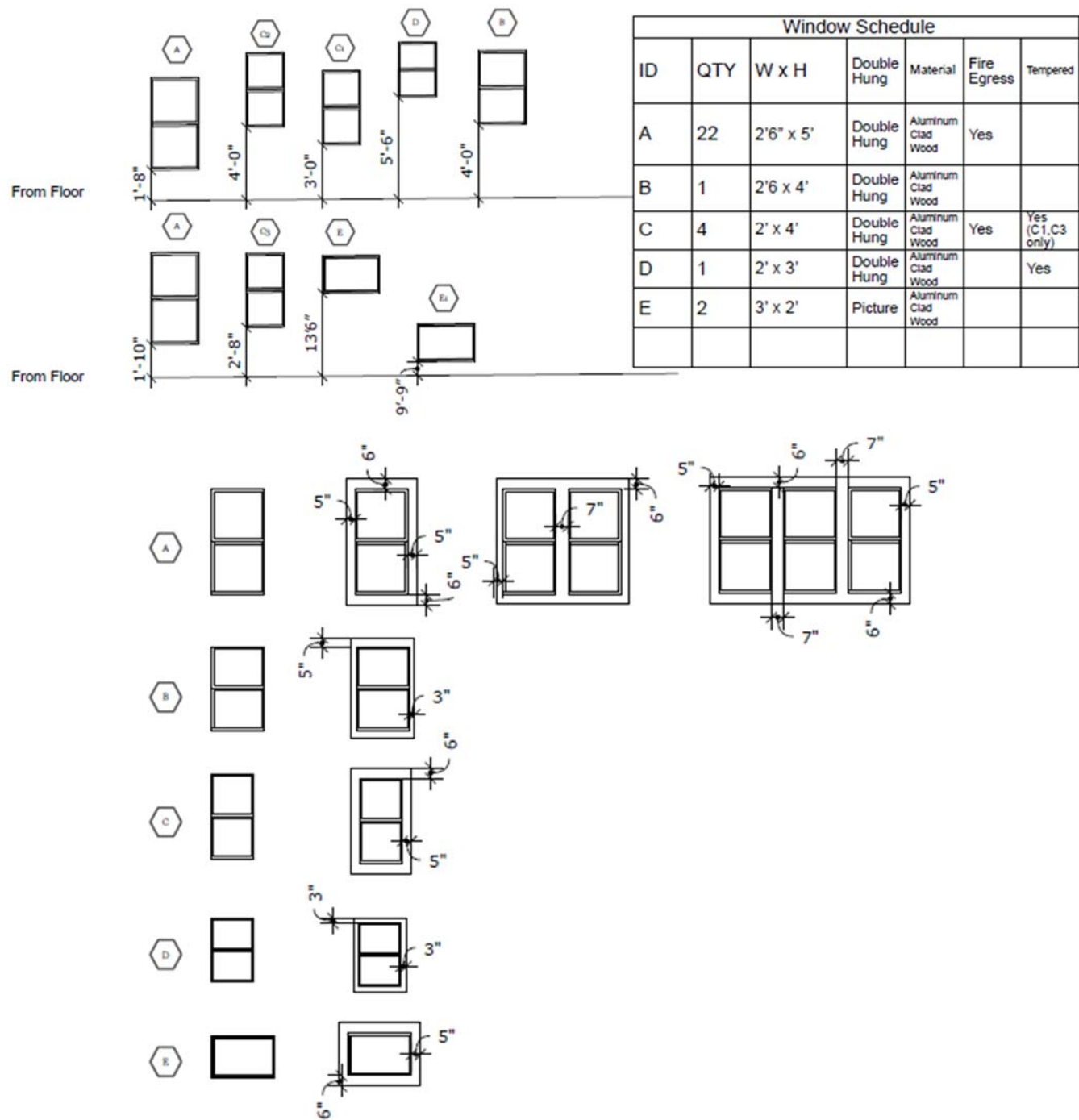
WEST ELEVATION PROPOSED



EAST ELEVATIONS PROPOSED

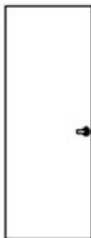
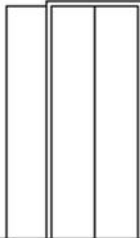


WINDOW SCHEDULE



DOOR SCHEDULE

100  101  104 					Exterior Door Schedule				
ID	QTY	W x H	Material	Door Swing Type					
100	1	3' x 6'8"	Craftsman - Wood	Single Swing					
101	1	6' x 6'8"	Craftsman - Wood	Double Swing					
102	1	16' x 7'	Craftsman - Metal	Overhead Garage Door with Opener					
103	1	3' x 6'8"	Solid Door	Single Swing					

101  102  103  104 					Interior Door Schedule				
ID	QTY	W x H	Material	Door Swing Type					
ID1	9	2'6" x 6'8"	Solid Core Wood Door (SCWD)	Single Swing					
ID2	3	2'8" x 6'8"	SCWD	Single Swing					
ID3	2	3' x 6'8"	SCWD	Single Swing					
ID4	2	2'6" x 6'8"	SCWD	Pocket					

PROOF OF OWNERSHIP

houston**vineyard**

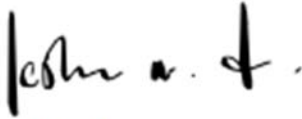
1035 E. 11th St.

Houston, TX 77008

September 29, 2025

I, on behalf of the Houston Vineyard, authorize, Krystal Hill, to act on my behalf as owner of the property located at 1032 Key St. Houston TX, 77008 pursuant to a sales contract.

Thank you for your assistance.

A handwritten signature in black ink, appearing to read "Joshua Harder".

Joshua Harder

Lead Pastor/President