

CERTIFICATE OF APPROPRIATENESS

Application Date: September 25, 2025

Applicant: Benjamin Navo, agent for Steven Izzat, owner

Property: 4605 Norhill Blvd, Lot 16, Block 113, North Norhill Neighborhood Subdivision. The property includes a historic 1,330 square foot, one-story wood frame single-family residence and detached two-story garage apartment (4607 Norhill) situated on a 5,000 square foot interior lot.

Significance: Contributing Bungalow Duplex, constructed circa 1930, and a non-contributing two-story garage apartment located in the Norhill Historic District.

Proposal: Alteration – Front Porch, Siding, Windows, Doors

The applicant proposes to restore the enclosed front porch back to its original exposed state. The proposed design features are based on interpretations of similar architectural styles typical of dwellings throughout the context area. Non-original windows throughout the residence will be replaced to include historically accurate fenestration patterns, install new doors (will remain a duplex), replace siding on front porch elevation, repair siding throughout the structure as needed per existing, and include covered landings at the rear corners of the building.

NOTE: Any proposed alterations to the detached garage apartment will require a separate COA. This application is only for the main house.

Public Comment: No public comment received.

Civic Association: See pg. 24 for comments.

Recommendation: Approval

HAHC Action: -

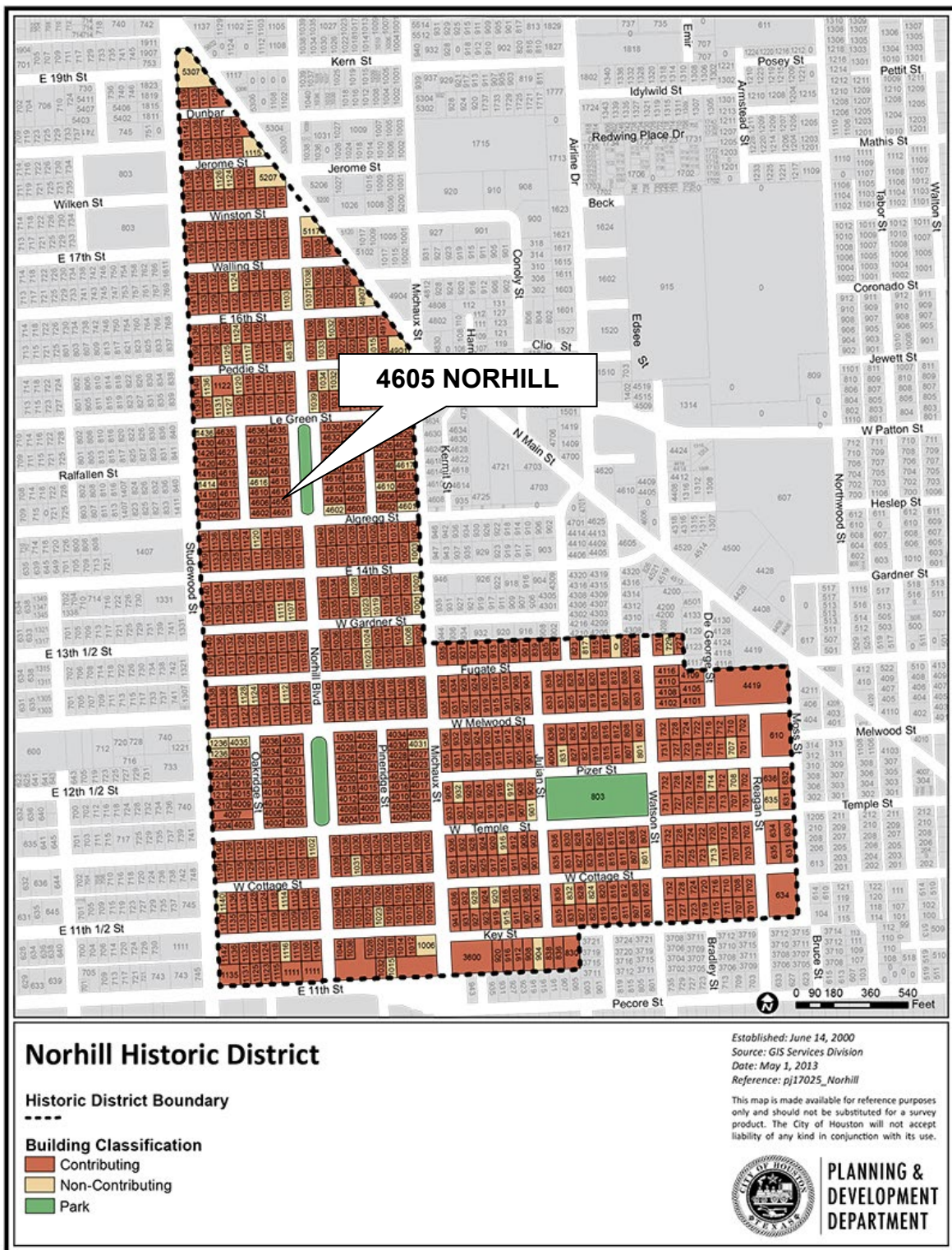
Draft subject to change

APPROVAL CRITERIA**ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS**

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
☒	☐	☐	(1)			The proposed activity must retain and preserve the historical character of the property;
☒	☐	☐	(2)			The proposed activity must contribute to the continued availability of the property for a contemporary use;
☒	☐	☐	(3)			The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
☒	☐	☐	(4)			The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
☐	☐	☒	(5)			The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
☒	☐	☐	(6)			New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
☒	☐	☐	(7)			The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
☒	☐	☐	(8)			Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
☒	☐	☐	(9)			The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
☒	☐	☐	(10)			The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
☐	☐	☒	(11)			The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

DISTRICT MAP



INVENTORY PHOTO



CURRENT PHOTOS













HISTORIC DOCUMENTATION

BLA 1926-1936

Form 590

INVESTIGATE

Map _____

Vol. _____

Page _____

Owner Hudson, E.N.

Lot 16 Block 113 Addition _____

REMARKS:

10% - 1430 for 32

County Value \$ 1690

Owners Value \$ 1190

No. _____ Street _____

N

W E

Form 590

BUILDING ASSESSMENT
Houston, Texas

Map No. 33 1/2 Permit No. 2068

Field Book No. _____

Owner E.W. Hudson

No. 4607 Street or Avenue Norhill

Addition N. Norhill

Vol. 53 Page 239 Block 113 Tract 16

Size of Building
78 wide 47 deep 1 stories

With or without basement, or cellar.
Foundation: Walls or Floor.

Material: Frame, Brick.

Outside Finishes: Plain, Ornamental.

Inside Finish: Rough, Plain, Ornamental, Hard Wood, Pine, Plaster.

Roof: Hip, Gable, Flat.

Roofing: Slate, Tile, Tin, Shingle, Copper, Composition, Iron, Tar and gravel.

Heating: Furnace, Steam, Gas, Stoves.

Plumbing: With or Without Bath Room.

Condition: Good, Fair, Bad. Built in Year _____

No. Sq. Ft. _____ Per Sq. Ft. _____

No. Sq. Ft. _____ Per Sq. Ft. _____

No. Sq. Ft. _____ Per Sq. Ft. _____

Permit Value, \$ 4000

Age, Cond. and Utility Dep. _____ per cent.

Amount of Depreciation, \$ _____

Assessed Value of Building, \$ 1700

Rendered in name of E. N. Hudson

Harris County
BUILDING ASSESSMENT
Houston, Texas

Form 381

Map No. _____ Permit No. 935

Vol. 62 Page 92

Owner Mr. Mary Hudson

No. 4607 Street or Avenue North Norhill

Addition 1 gar apt

Block 113 Lot 16

Size of Building
19 wide 27 deep 2 stories

Size of Garage
19 wide 27 deep 2 stories

Material: Frame, Brick, Veneer, Stucco.

Inside Finish: Rough, Plain, Ornamental, Hard Wood, Pine, Plaster.

Roofing: Slate, Tile, Tin, Shingle, Copper, Composition, Iron, Tar and Gravel, Paper, Asbestos.

Permit Value, \$ 1250

No. Sq. Feet _____ Per Sq. Ft. _____

No. Sq. Feet _____ Per Sq. Ft. _____

No. Sq. Feet _____ Per Sq. Ft. _____

Assessed Value of Building \$ 480

Rendered in name of E. N. Hudson

Form 590

INVESTIGATE

Map 158

Vol. 62

Page 92

May 4th 1934, 19

Owner Hudson, E.N.

Lot 16 Block 113

Addition North Norhill

REMARKS:

1430 for 32

County Value \$ 1160

Owners Value \$ 1000

No. 4607 Street North Norhill

N

W E

BLA C.1950s

Map No. _____ Addition <u>no norhill</u>	IMPROVEMENTS	
Block <u>113</u> Lot <u>16</u>	No. Sq. Ft. <u>1288</u>	Price Per Sq. Ft. <u>235</u>
OWNER <u>Hudson E. N.</u>	\$ <u>3020</u>	
ADDRESS <u>4605-07 Norhill</u>	Percent Good <u>65</u> <u>1960</u>	
TYPE OF PROPERTY <u>DUPLEX</u> OCCUPIED VACANT	Other Bldgs. _____	
BASEMENT, Whole Part _____	Total All Bldgs. <u>1960</u>	
FOUNDATION, Concrete, Stone, Brick, Piers, Posts. _____	LAND VALUE	
WALLS, Brick _____ Stone _____	Front x Depth Unit Value Factor Front Ft. Value - - \$	
Hollow Tile, Stucco, Metal, Concrete Blocks, Box _____	_____	
Weatherboard _____	_____	
ROOF CONS., Concrete, Steel, Wood Truss _____	_____	
ROOF, Hip, Gable, Mansard, Flat _____	_____	
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos _____	_____	
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite _____	_____	
FLOORING, Pipe, Hardwood, Cement, Tile, Marble, Dirt _____	TOTAL	
INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features _____	<u>180-1480</u>	
HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas _____		
LIGHTING, Electricity _____		
PLUMBING, Sewer, Water, Baths _____		
ELEVATORS _____		
CONDITION, Good, Fair, Bad, Obsolete _____		
PERMIT DATE _____ NO. _____ AMT. _____		

Map No. _____ Addition <u>9. Norhill</u>	IMPROVEMENTS	
Block <u>113</u> Lot <u>16</u>	No. Sq. Ft. <u>1064</u>	Price Per Sq. Ft. <u>125</u>
OWNER <u>Hudson, E. N.</u>	\$ <u>1330</u>	
ADDRESS <u>4605 Norhill (REAR)</u>	Percent Good <u>65</u> <u>860</u>	
TYPE OF PROPERTY <u>Occ. Vacant</u> OCCUPIED VACANT	Other Bldgs. _____	
BASEMENT, Whole Part _____	Total All Bldgs. <u>860</u>	
FOUNDATION, Concrete, Stone, Brick, Piers, Posts. _____	LAND VALUE	
WALLS, Brick _____ Stone _____	Front x Depth Unit Value Factor Front Ft. Value - - \$	
Hollow Tile, Stucco, Metal, Concrete Blocks, Box _____	_____	
Weatherboard _____	_____	
ROOF CONS., Concrete, Steel, Wood Truss _____	_____	
ROOF, Hip, Gable, Mansard, Flat _____	_____	
ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos _____	_____	
EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite _____	_____	
FLOORING, Pipe, Hardwood, Cement, Tile, Marble, Dirt _____	TOTAL	
INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features _____		
HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas _____		
LIGHTING, Electricity _____		
PLUMBING, Sewer, Water, Baths _____		
ELEVATORS _____		
CONDITION, Good, Fair, Bad, Obsolete _____		
PERMIT DATE _____ NO. _____ AMT. _____		

[illegible][illegible]

CITY OF HOUSTON HARRIS COUNTY BUILDING ASSESSMENT
ACH 026-125-00-016-0

OWNER BONORA PHILIP
ADDRESS
DESCR. LT 16 BLK 133 N NORHILL

LAND VALUE 2530
IMPROVEMENTS 7510

DOUG

COUNTY ASSESSMENT NO.			
SEQUENCE NO.	YON.	PS.	INP.
			16
		62	920
			79

No. Storage	FOUNDATION	ROOF TYPE	GARAGE
Singl. Family	Concr. Slab	Gable	Walls
Duplex	Beam & Pier	Hipped	Roof
Gar. Apt	Concr. Bks.	Flat	Floor
Fahd. Apt			Ceiled
Basement	FLOORING	ROOFING	Doors
SIDING	Pine	Wd. Shingle	
Brick V.	Hardwood	Comp. Shingle	
Stone V.	Terrazzo	Tar & Gravel	CARPENT
Asbestos	Vinyl		Roof
Stucco	Wool/C. Gips	INTERIOR FINISH	Floor
Lumber		S/L & Paper	
	HEATING & COOLING	Shaetrock	
No. Bdrms	A/C/C.H. Dual	Wd. Panels	
No. Fireplaces	Plaster		

Revalued
1978 *new* Total Value \$5,910
DATE

NEW OWNER

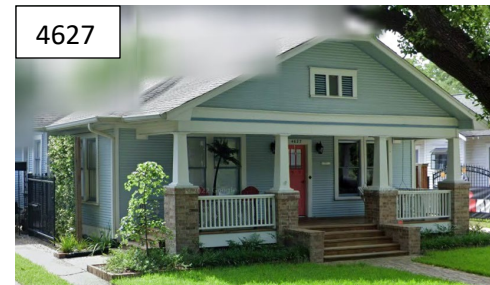
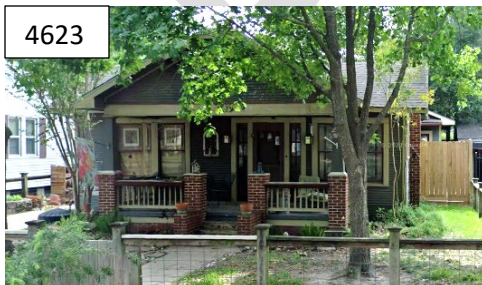
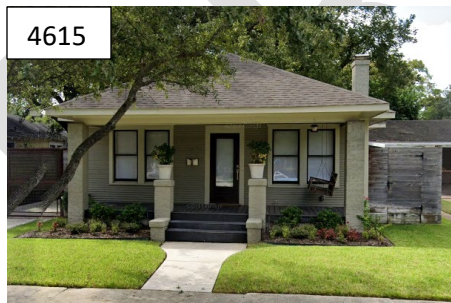
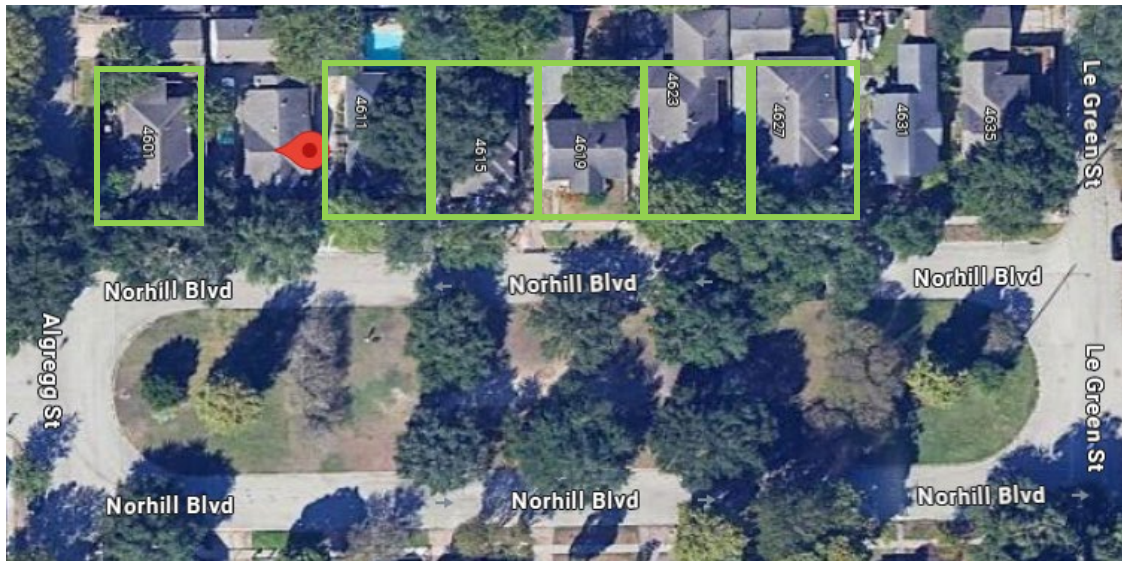
Perm 026-125-00-016-0 1977 01/24/77 I
9990 145.00 16480 53%

Rendered in name of

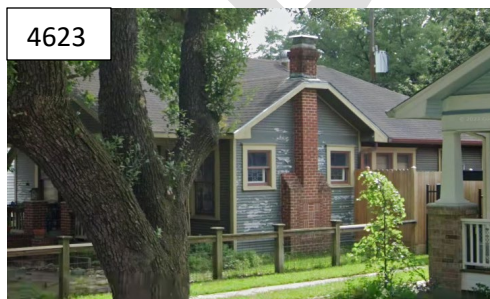
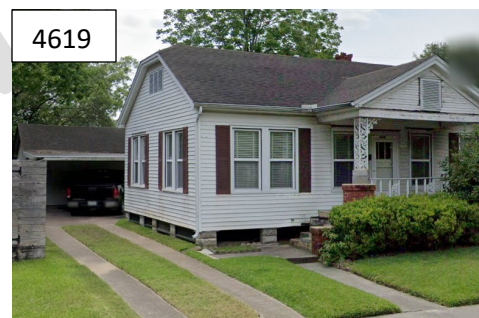
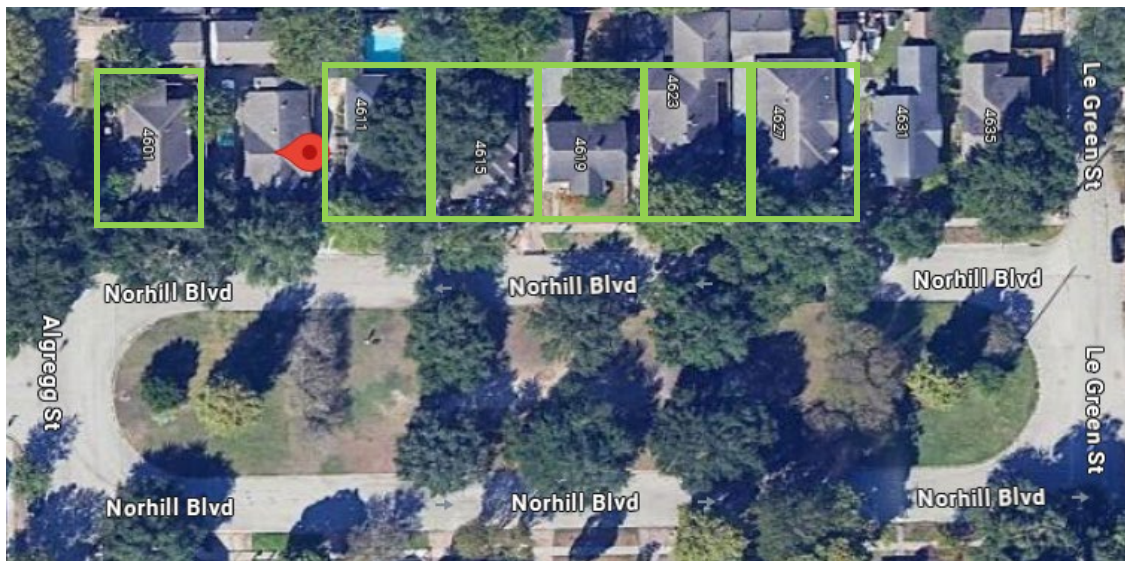
MARKET VALUE TOWN	
49920	
FROM REVERSE	
APPLAUSER CODE	DATE
211	12/17/77

Yr. Built	Dep'n	A/CAC/Hq\$	Total Let's \$
1900	5%	1000	1000
1901	5%	1000	1000
1902	5%	1000	1000
1903	5%	1000	1000
1904	5%	1000	1000
1905	5%	1000	1000
1906	5%	1000	1000
1907	5%	1000	1000
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1987	5%	1000	1000
1988	5%	1000	1000
1989	5%	1000	1000

CONTEXT AREA

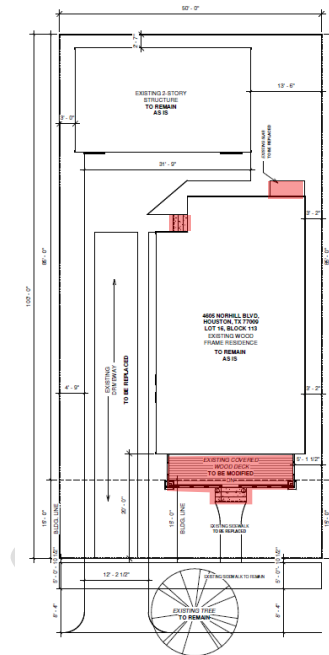


CONTEXT AREA - SIDE WINDOW LOCATIONS

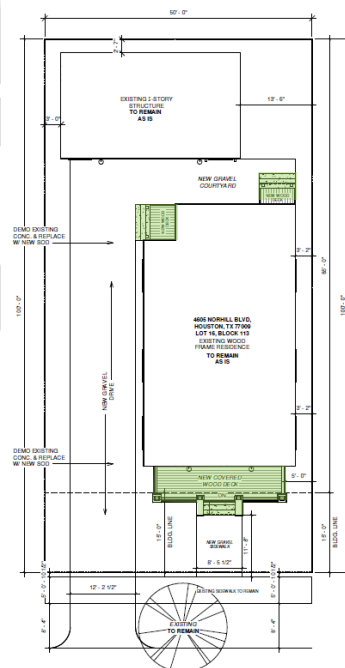


SITE PLAN

EXISTING

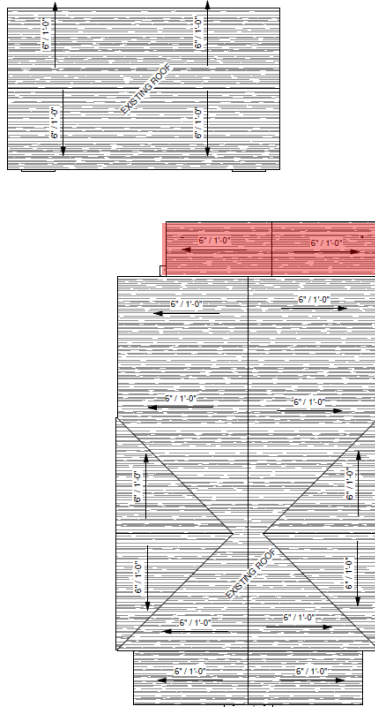


PROPOSED

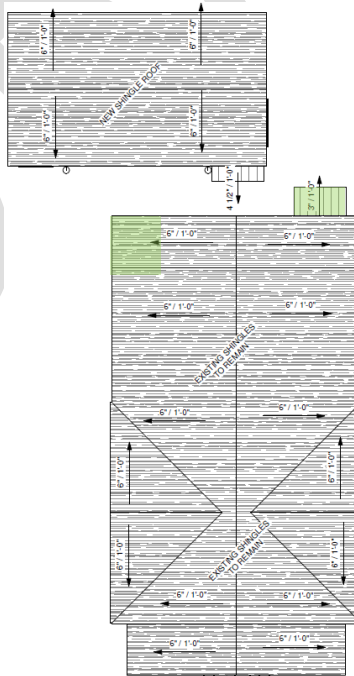


ROOFPLAN

EXISTING

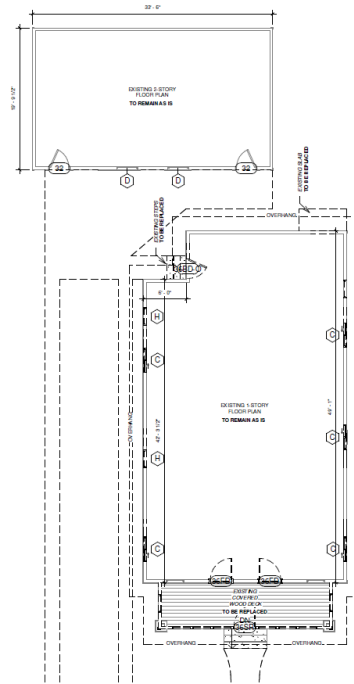


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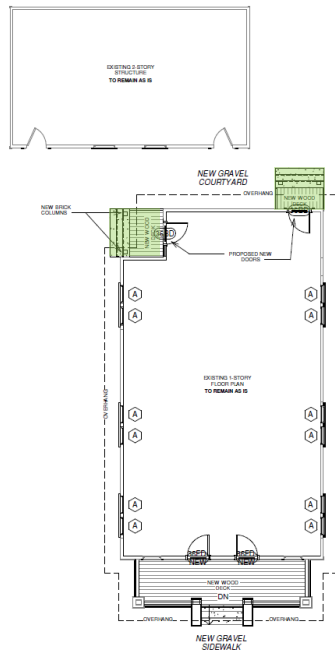


FLOORPLAN

EXISTING

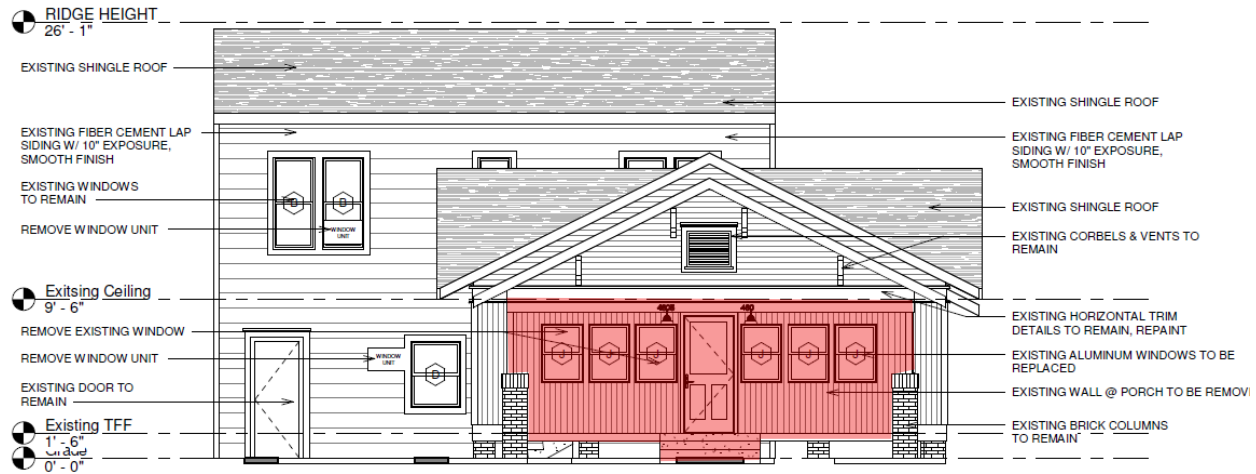


PROPOSED

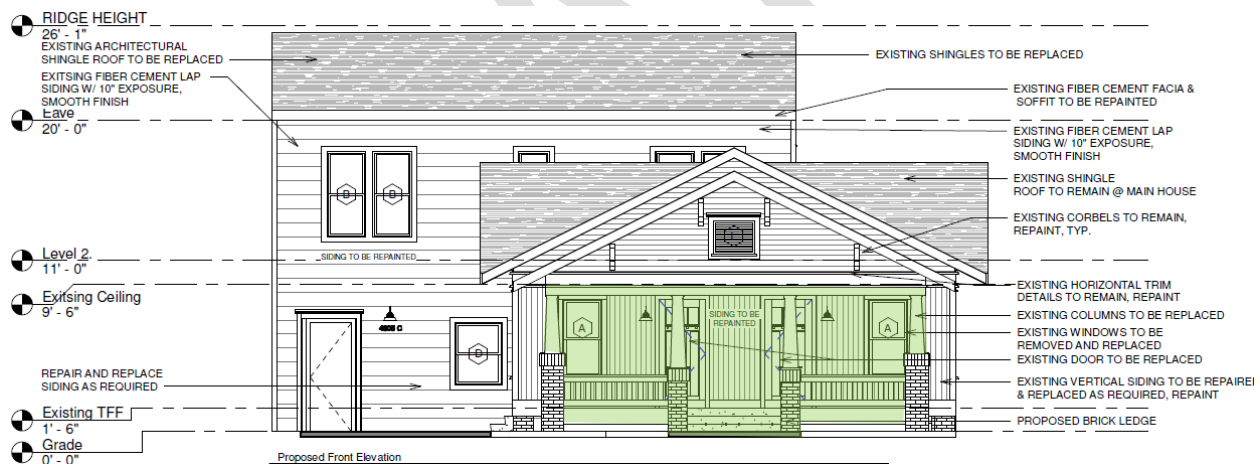


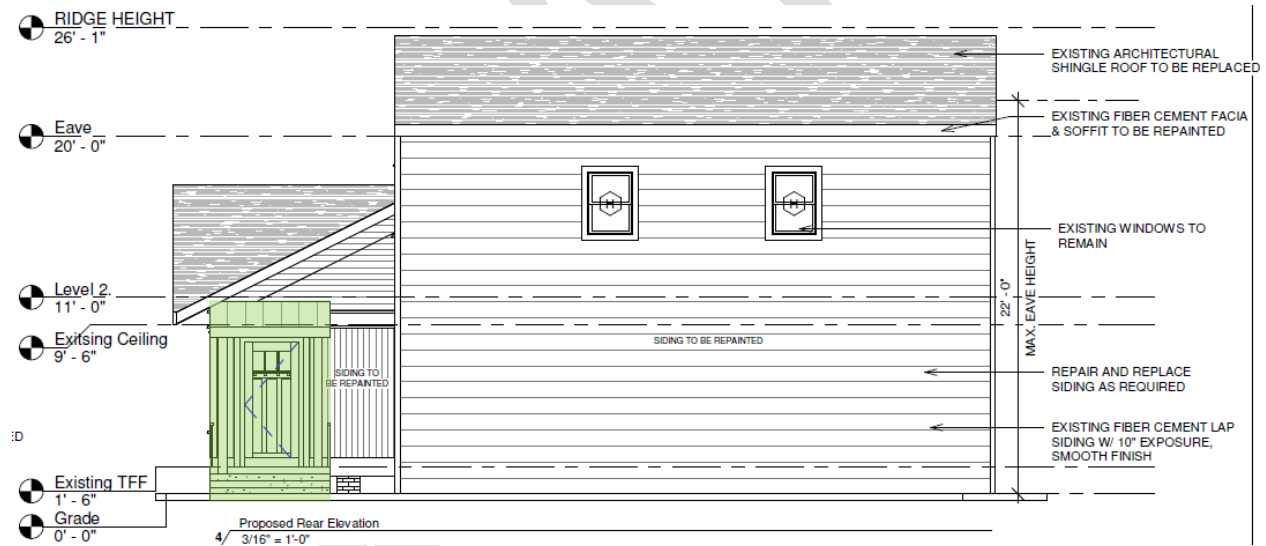
EAST (FRONT) ELEVATION

EXISTING



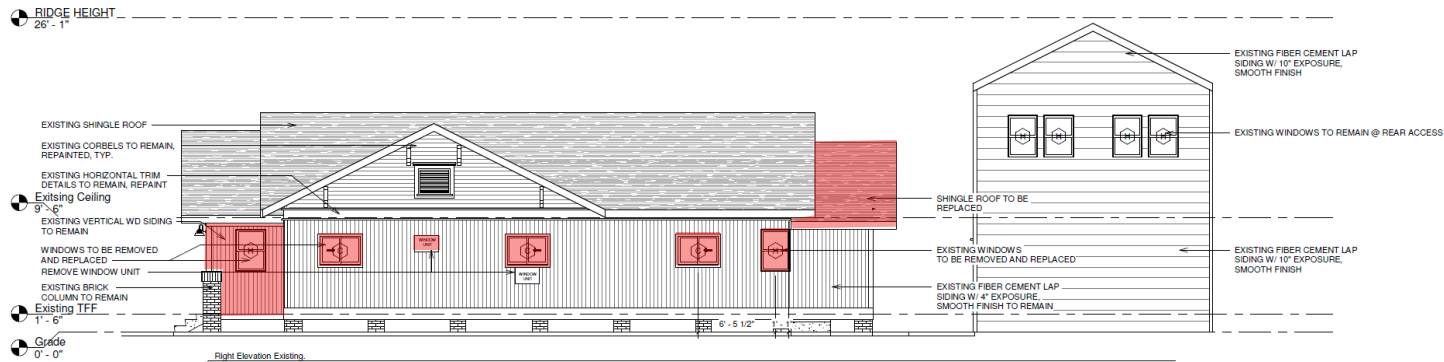
PROPOSED



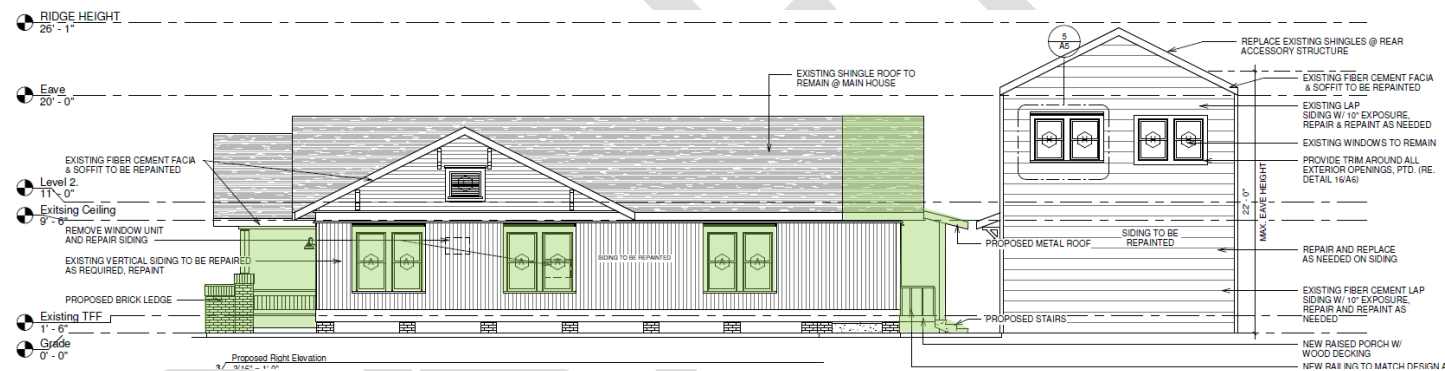
WEST (REAR) ELEVATION**EXISTING****PROPOSED**

NORTH (RIGHT) ELEVATION

EXISTING

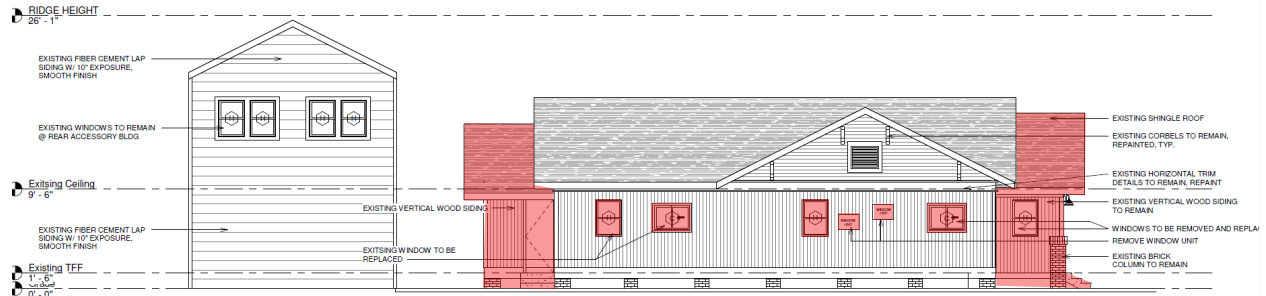


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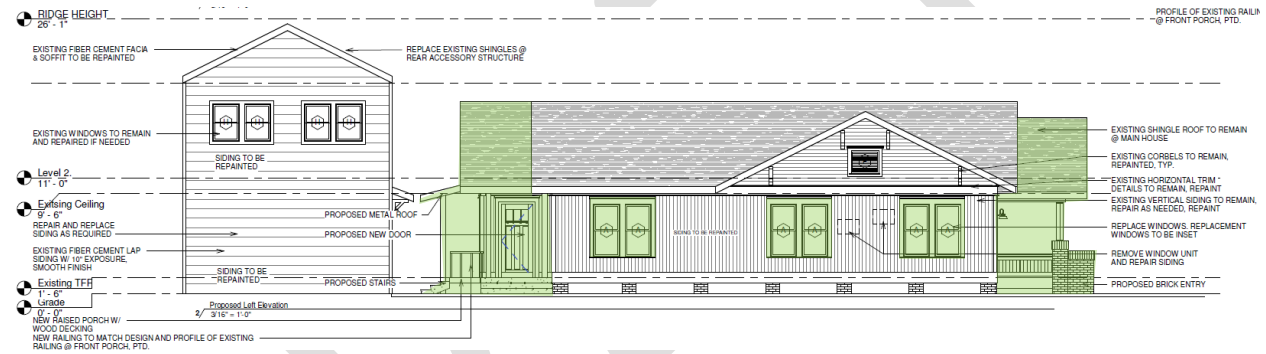


SOUTH (LEFT) ELEVATION

EXISTING



PROPOSED



WINDOW WORKSHEET

Window Schedule						
Type	Mark	Historic	Count	Width	Height	Sill Height
A	NO	14	2'-6"	5'-0"	2'-0"	ALUMINUM CLAD WINDOWS PER NORHILL REQUIREMENTS
B	NO	4	2'-6"	5'-0"	1'-6"	EXISTING ALUMINUM WINDOWS TO REMAIN @ REAR ACCESSORY BLDG
D	NO	2	3'-0"	4'-0"	3'-0"	EXISTING ALUMINUM WINDOWS TO REMAIN @ REAR ACCESSORY BLDG
E	NO	1	2'-0"	4'-0"	3'-0"	EXISTING ALUMINUM WINDOWS TO REMAIN @ REAR ACCESSORY BLDG
F	NO	3	2'-0"	2'-0"	2'-0"	EXISTING ATTIC VENT TO REMAIN, REPAIR
H	NO	15	2'-6"	3'-0"	3'-0"	EXISTING ALUMINUM WINDOWS TO REMAIN @ REAR ACCESSORY BLDG

Door Schedule				
Mark	Count	Height	Width	Comments
32	2	7'-0"	2'-0"	EXISTING DOOR @ REAR ACCESSORY BLDG TO REMAIN
36BD	2	7'-0"	3'-0"	NEW PROPOSED DOOR
36BD-O	1	7'-0"	2'-0"	DOOR TO BE REMOVED
36FO	2	7'-0"	3'-0"	EXISTING DOOR TO BE REPLACED
36FD-NEW	2	7'-0"	3'-0"	NEW PROPOSED DOOR
36SH	1	7'-0"	3'-0"	DOOR TO BE REMOVED

Existing Window Schedule						
Type	Mark	Historic	Count	Width	Height	Sill Height
A	NO	2	2'-6"	5'-0"	2'-0"	ALUMINUM CLAD WINDOWS PER NORHILL REQUIREMENTS
B	NO	4	2'-6"	5'-0"	1'-6"	EXISTING ALUMINUM WINDOWS TO REMAIN @ REAR ACCESSORY BLDG
C	NO	5	3'-5 1/2"	2'-0"	4'-0"	EXISTING ALUMINUM WINDOWS
D	NO	2	3'-0"	4'-0"	3'-0"	EXISTING ALUMINUM WINDOWS TO REMAIN @ REAR ACCESSORY BLDG
E	NO	1	2'-0"	4'-0"	3'-0"	EXISTING ALUMINUM WINDOWS TO REMAIN @ REAR ACCESSORY BLDG
F	NO	3	2'-0"	2'-0"	2'-0"	EXISTING ATTIC VENT TO REMAIN, REPAIR
H	NO	15	2'-6"	3'-0"	3'-0"	EXISTING ALUMINUM WINDOWS
J	NO	6	2'-6"	3'-0"	3'-0"	EXISTING ALUMINUM WINDOWS

CERTIFICATE OF APPROPRIATENESS

WINDOW WORKSHEET

PLANNING &
DEVELOPMENT
DEPARTMENT

EXISTING WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Original	No
C	Alum.	N/A	SLIDER	30X48	Flush	Replacement	No
H	Alum.	1/1	SH	30X42	Flush	Replacement	No
J	Alum.	1/1	SH	30X42	Flush	Replacement	No

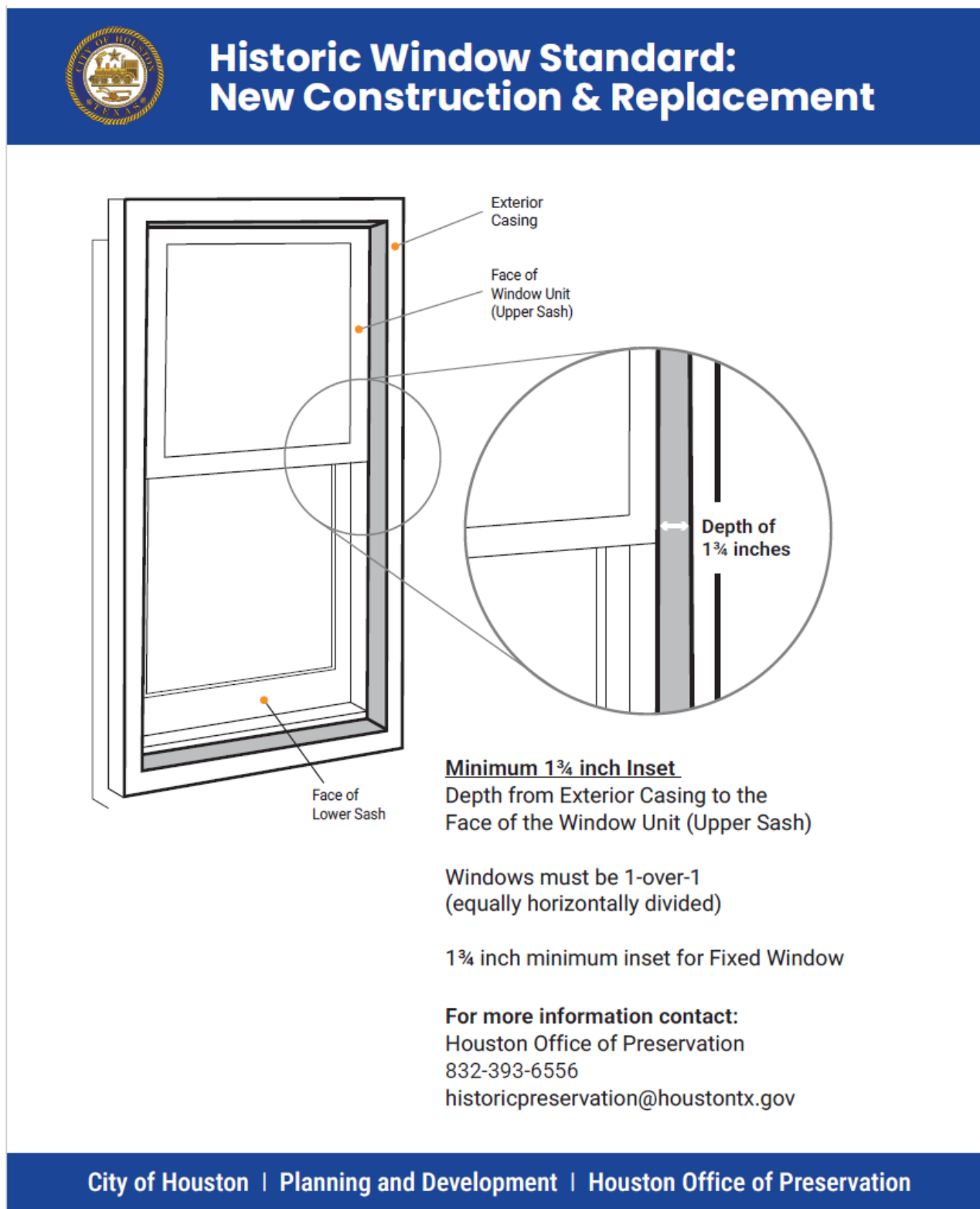
DAMAGE TO EXISTING WINDOWS

Window	Describe Damage
Ex. A1	Glass is broke, window is inoperable, rail is rotten, and frame is broken

PROPOSED WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Plygem	
A	Clad. Wood	1/1	SH	30X60	Recessed	Jedwen- Siteline	No

WINDOW DIAGRAM



NEIGHBORHOOD ASSOCIATION COMMENTS



August 16, 2025

Ben Navo
Draft House Design Studio LLC



Ben,

On August 12th, the NNA board voted to approve the plans you submitted on August 12th with Jeldwen aluminum clad wood windows either the W-5500 or Silestone windows. The Marvin Ultimate G2 or Kolbe Sterling Clad aluminum clad wood windows would also be acceptable. As another option, an all wood window would be approved.

If all windows are not replaced and the existing windows are remaining (and not a change to a different window) then you do not need to come back to the NNA for approval.

If anything changes, please be sure to resubmit any changes for approval.

Thank you,
Virginia Kelsey
NNA VP of Deed Restrictions.

