



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

Application Date: 10/3/2025

HPO File#: HP2025_0254

ITEM#: B11

Applicant: Identity Architects, agent

Property: 909 Franklin Street, property is located in a 9-story commercial/residential brick building situated on a corner lot.

Significance: Contributing (includes potentially contributing), Neo-Classical building, constructed circa 1911, Main Street Market Square Historic District.

Proposal: **Alteration – Pergola & Railings:**

South Elevation

Proposing addition of Aluminum Pergola and Railing, front of building, in public sidewalk area.

- **Proposed Railing #1** of aluminum, 12 ft. 8 in. in length, 42 in. in height, geometric pattern, countertop of quartz 11 in. deep., side railing return of same design extends 7 ft. north toward façade.
- **Proposed Railing #2** of aluminum, powder coated yellow, in front of proposed pergola. Side railing return of same design extends 7 ft. north toward façade, with integrated bench.
- **Proposed detached Pergola** 12 ft. tall, 6 ft. 14 ft. wide, 8 in. deep. Supported by 6 in. x 6 in., powder coated cyan aluminum posts. Beams of 12 in. powder coated cyan aluminum. Rafters of 4 in. x 4 in. powder coated yellow aluminum tubes.
- **Signage “La Cantina”** facing street, mounted on top of pergola, laser cut aluminum

Public Comments

No Comments

Civic Association

No Comments

Recommendation: Approval

HAHC Action:

Basis for Issuance: HAHC review

Date Effective:

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.



APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA	
			S - satisfies D - does not satisfy NA - not applicable
☒	☐	☐	(1) The proposed activity must retain and preserve the historical character of the property;
☒	☐	☐	(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
☒	☐	☐	(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
☒	☐	☐	(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
☒	☐	☐	(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
☒	☐	☐	(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
☐	☐	☒	(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
☒	☐	☐	(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
☒	☐	☐	(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements and must be compatible with the size, scale, material and character of the property and the area in which it is located;
☒	☐	☐	(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
☒	☐	☐	(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.



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PROPERTY LOCATION

MAIN STREET MARKET SQUARE HISTORIC DISTRICT



Building Classification

- Contributing
- Non-Contributing
- Park



CERTIFICATE OF APPROPRIATENESS

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INVENTORY PHOTO





CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

RECENT PHOTO (2024 GOOGLE)





CERTIFICATE OF APPROPRIATENESS

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CITY OF HOUSTON SIDEWALK CAFÉ PERMIT (Supplied by Agent)



City of Houston
Department of Public Works & Engineering

Mobility Permit System

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[Home](#)

Applicant

Sidewalk Cafe Permit

Permit #: 183891
Submittal Date: 1/11/2017 3:06:25 PM
Submitted By: Ramon Soriano
Status: PAID/ISSUED

Company Information

Company Name:
La Calle LLC

City:
Houston

Zip:
77002

24-Hour Contact #:
469-648-8441

Fax #:

Street:
909 Franklin st.

State:
TX

Telephone #:
469-648-8441

Contact Name:
Ramon soriano

Email:

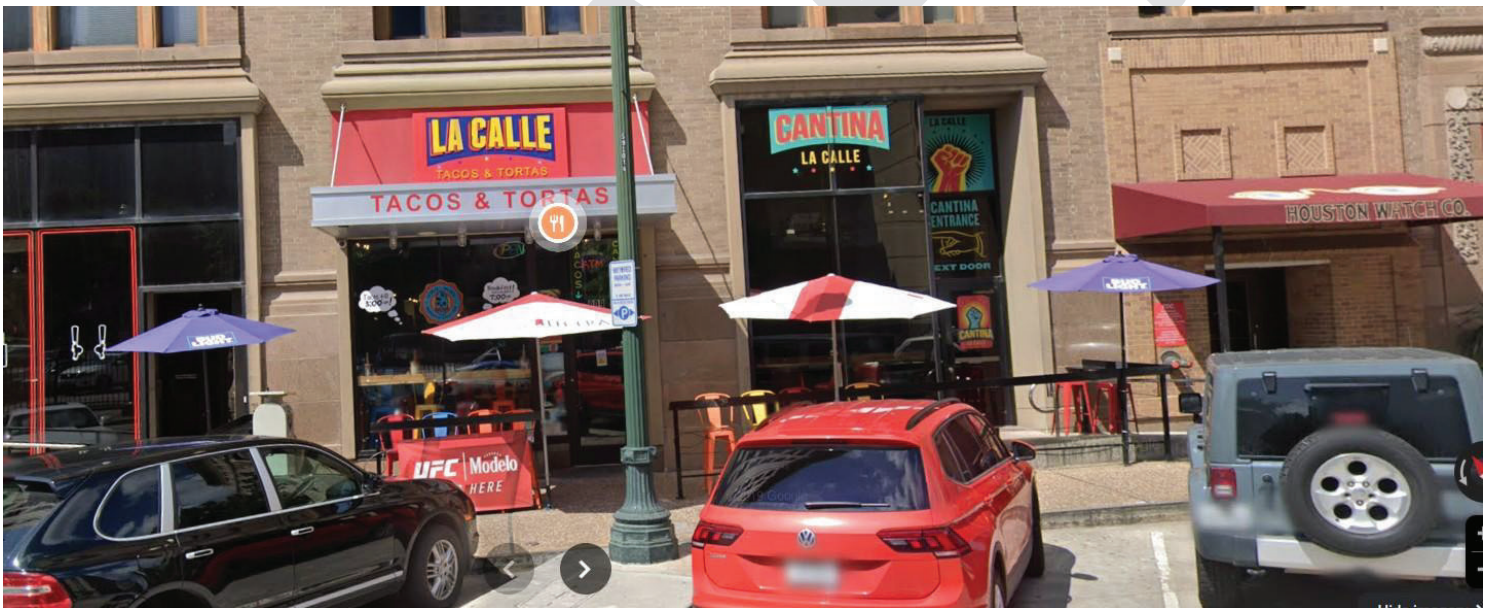
La Calle Sidewalk Cafe Application Reduced size (1).pdf V1



CERTIFICATE OF APPROPRIATENESS

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SITE PHOTOS (GOOGLE 2019)



North



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Storefront & street Improvement

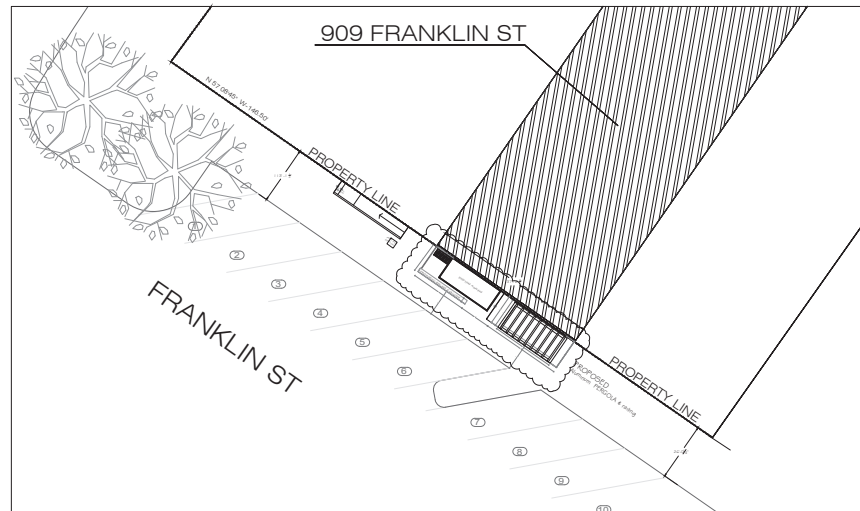
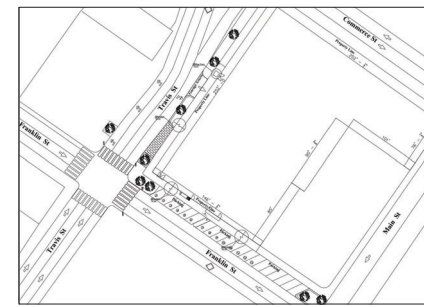
Issues and Revisions:

DESIGNED BY JUDITH ARROYO

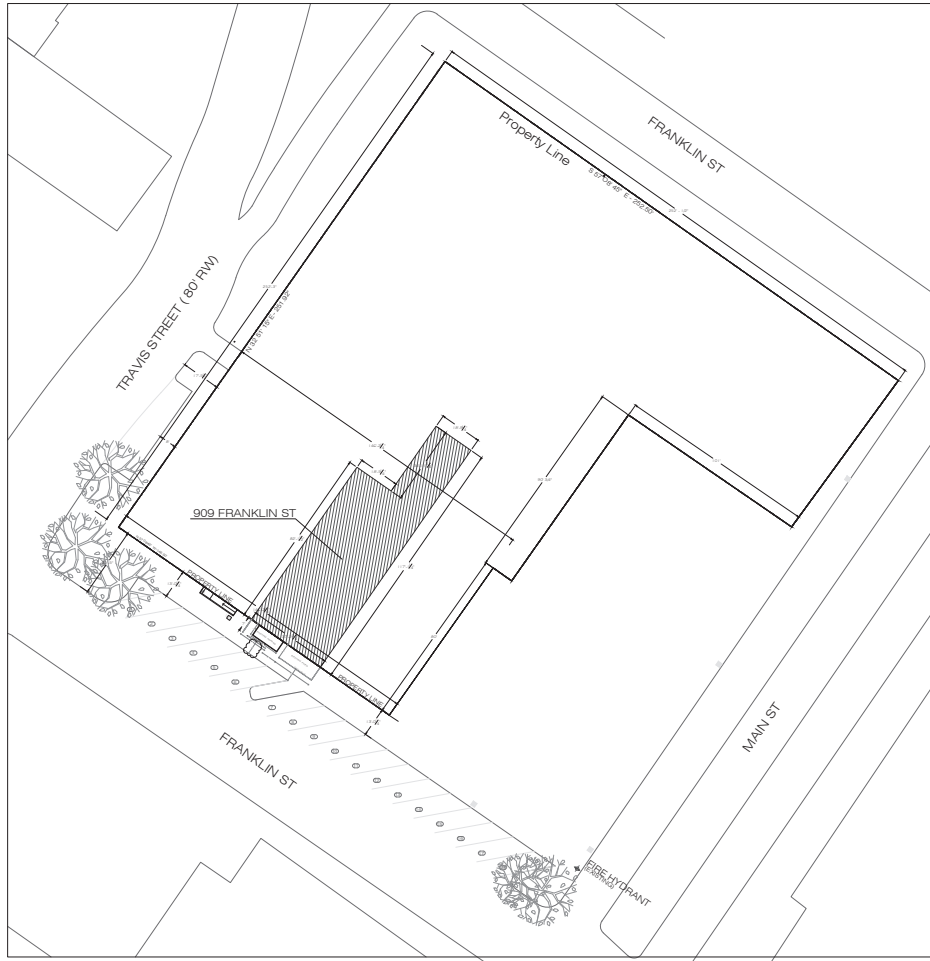
DRAWING : VM REVISED BY: JA

SCALE 1/4" = 6'-0" 24X36

SP
SITE PLAN



PROPOSED LAYOUT



EXISTING

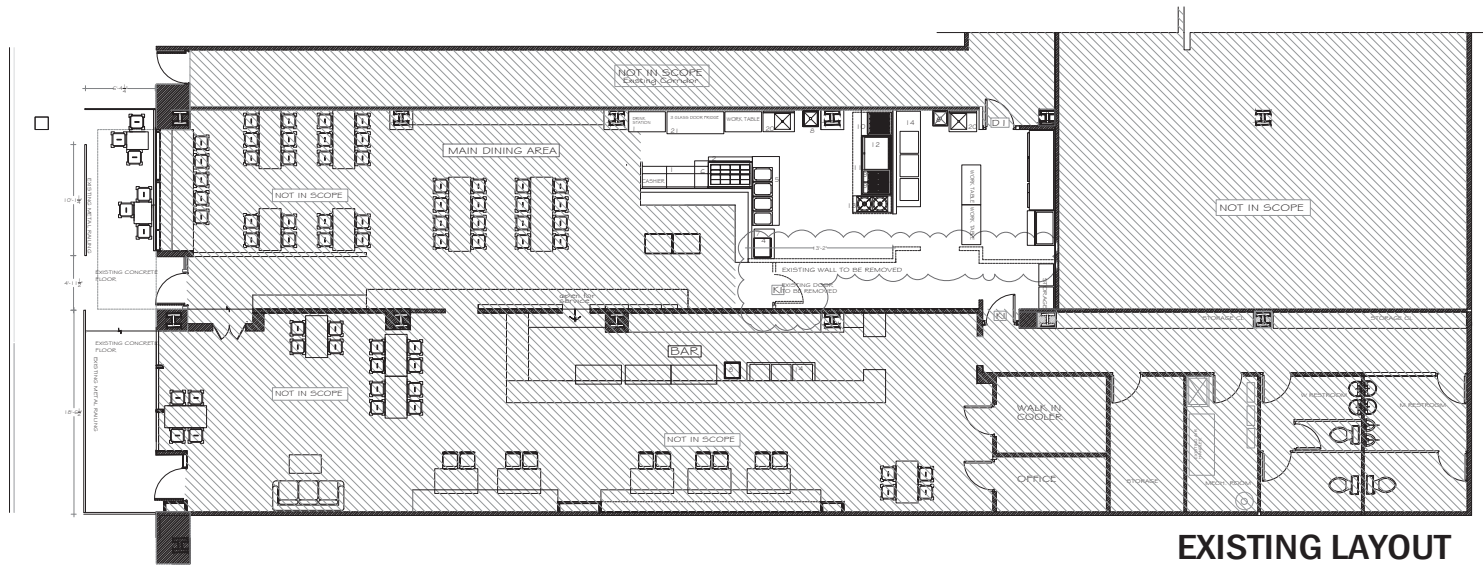


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LA CALLE LLC
909 Franklin St.
Houston, TX. 77002



EXISTING LAYOUT



EXISTING ELEVATION

KITCHEN SCHEDULE

KEY	DESCRIPTION	MANUFACTURER / SERIES
1	BEVERAGE STATION	ATOSA MSF 8306
2	4P SALAD PREP STATION	REGENCY
3	PREP TABLE	PANDELLA PB2445
4	2 SIDED GRILL	EAGLE GROUP DHT 4-240
5	STEAMER TABLE	ATOSA MFP 8403
6	TWO DOOR UNDER CABINET REFRIGERATOR	COOZAC TWC 336
7	HALF SIZE WARMING CABINET	FLKAY F55B2520C
8	HAND SINK	ATOSA ATP 12-2
9	TWO BURNER HOTPLATE	JACK TITAN KC-88
10	4P GRILL SMOKER	MOJAVE B-301
11	30" CHEFF BACK	MOJAVE B-301
12	30" FLAT GRILL	MOJAVE B-301
13	DOUBLE STOCK POT RANGE	ROYAL RSP 18 D24
14	THREE COMP SINK	EAGLE GROUP DHT-240
15	WOP SINK	REGENCY
16	PREP TABLE	REGENCY
17	3 DOOR REFRIGERATOR	ATOSA UB7 8508
18	ICE-O-MATIC ICE MACHINE W BIN	ICE ODS
20	back bar glass door fridge	Panasonic USB-72G-HC 73"
21	One Compartment Sink Drainboard	ReGENCY 36 1/2" / 16" x 20" x 12"



6/09/2025

Firm #: 21764

Structural Engineering Service Plus

Storefront
& street
Improvement

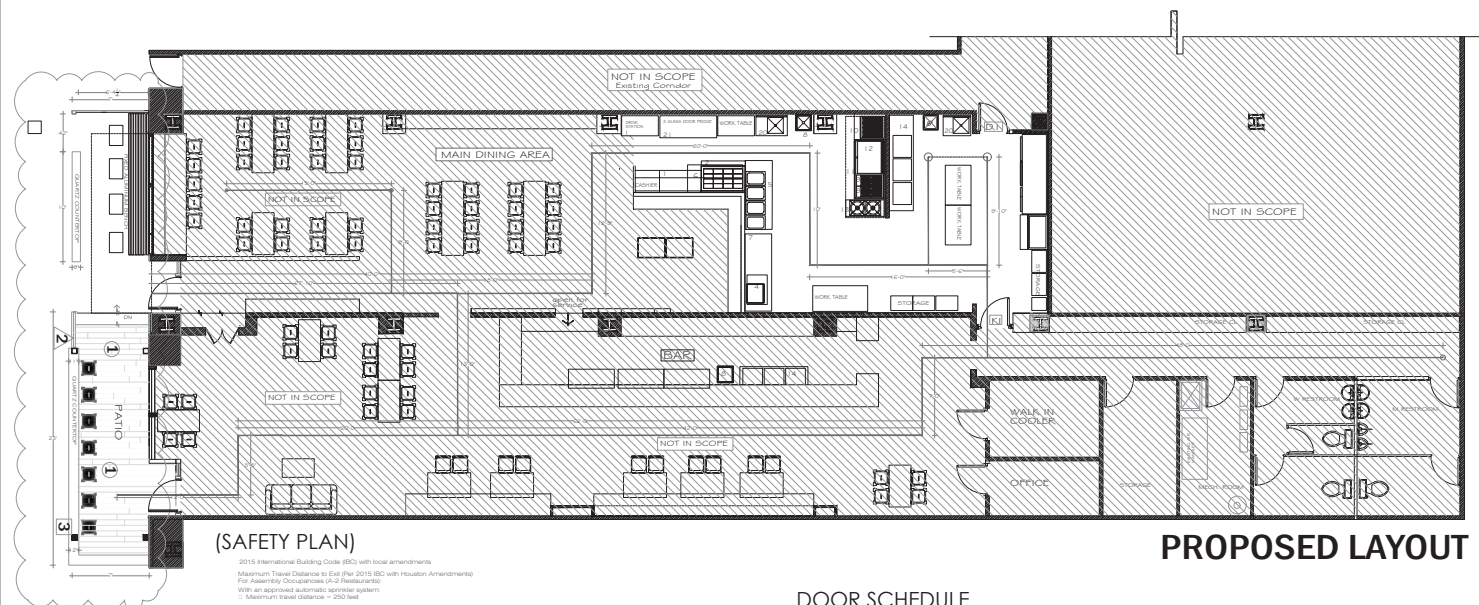
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SCALE 1/4" 3/16" = 1" 24X36

A1
EXISTING
FLOOR PLAN



PROPOSED LAYOUT

DOOR SCHEDULE

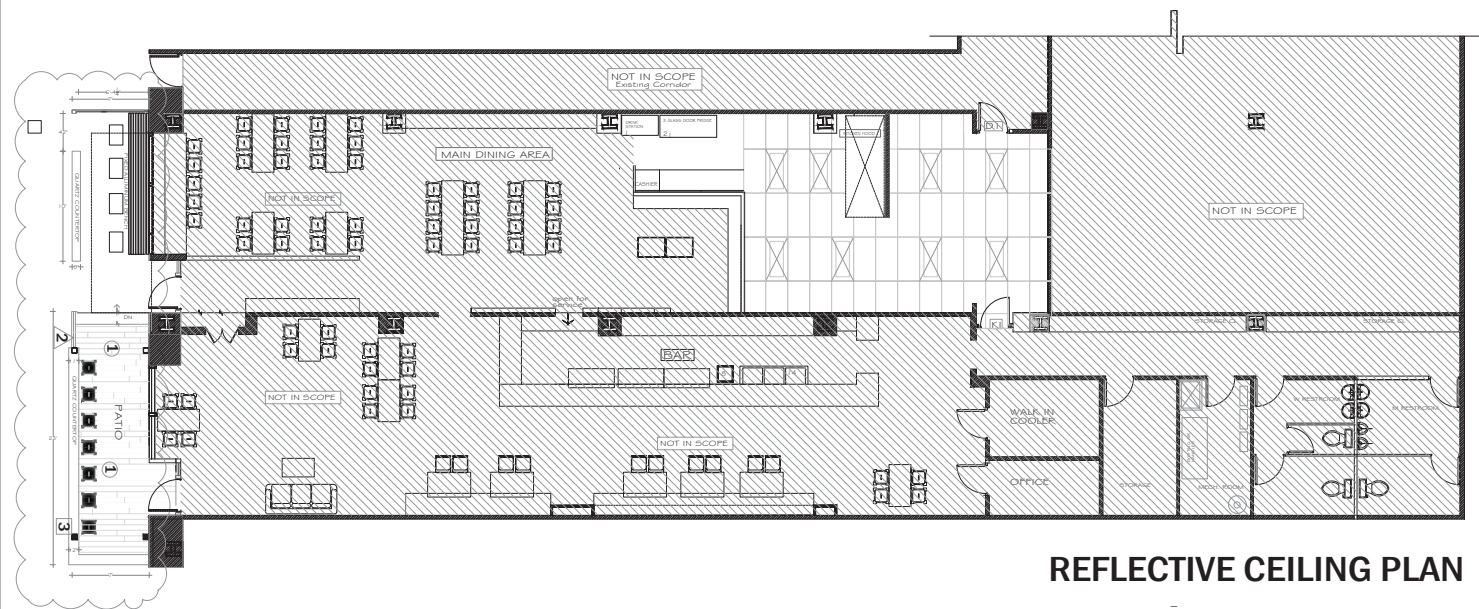
KEY	COUNT	WIDTH	HEIGHT	TYPE	NOTES
D1	1	3'-0"	7'-0"	Metallic door 3653 1 HR FIRE RATED W CLOSER	PANIC HARDWARE 1 HR FIRE RATED W CLOSER
KJ	1	36"	7'-0"	Aluminum Swinging Traffic Door with 9" x 14" Window	THIS DOOR MUST REMAIN UNLOCKED DURING BUSSINESS HOURS

KITCHEN SCHEDULE

KEY	DESCRIPTION	MANUFACTURER / SERIES
1	DISBURGE STATION	ATOSA M5F 8306
2	48" SALAD PREP STATION	REGENCY
3	PREP TABLE	PANDELLA PB2445
4	2 SINK GRILL	EAGLE GROUP DHT 4-240
5	STEAMER TABLE	ATOSA M5F 8403
6	TWO DOOR UNDER CABINET REFRIGERATOR	COOZAC HVC 332
7	HALF SIZE WARMING CABINET	ELEAY ES552520C
8	HAND SINK	ATOSA ATIP 15-2
9	300 BURNER HOTPLATE	JACK TITAN KC-48
10	48" GRILL SMOCKER	ICOLIFE IS-301
11	80" CHEFF BASE	LOLO LG 36M
12	36" FLAT GRILL	ROYAL RSE 1A D28
13	DOUBLE STOCK POT RANGE	EAGLE GROUP DHTA-240
14	THREE COMP SINK	REGENCY
15	MOP SINK	REGENCY
16	PREP TABLE	ATOSA M5F 8508
17	3 DOOR REFRIGERATOR	ICE 0605
18	ICE-O-MATIC ICE MACHINE W BIN	Avantco UBB-72G-HC 73"
19	back bar glass door fridge	Regency 36 1/2" / 16" x 20" x 12"
20	One Compartment Sink Drainboard	

FINISHES SCHEDULE

ROOM NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH
KITCHEN	QUARRY TILE	STAINLESS STEEL U.N.O	2' x 4' CEILING TILE
PREP AREA	QUARRY TILE	WHITE FIBER REINFORCED PANEL	2' x 4' CEILING TILE
PATIO "La Calle"	CONCRETE (EXISTING)		ALUMINUM AWNING (EXISTING)
PATIO "La Cantina"	Dark PVC planks TimberTech Corner Weatherstriap Trim		ALUMINUM AWNING (EXISTING)
RAILING		ALUMINUM RAILING 2X2 SQUARE TUBING	
ALUMINUM PERGOLA FRAME		CNC ALUMINUM C/NM (SEE COLOR CODES)	
ALUMINUM PERGOLA BEAMS		4X6 ALUMINUM YELLOW (SEE COLOR CODES)	



REFLECTIVE CEILING PLAN

 2' x 4' SURFACE MTD LIGHT

6/09/2025
 Firm #: 21764
 Structural Engineering Service Plus





6/09/2025
 Firm #: 21764
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LA CALLE LLC
 909 Franklin St.
 Houston, TX. 77002

Storefront & street Improvement

Issues and Revisions:

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 SCALE 1/64 3/16" = 1" 24X36

A2
PROPOSED FLOOR PLAN

PROPOSED ELEVATION

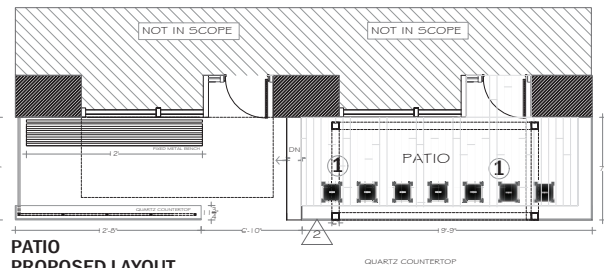


EXISTING ELEVATION

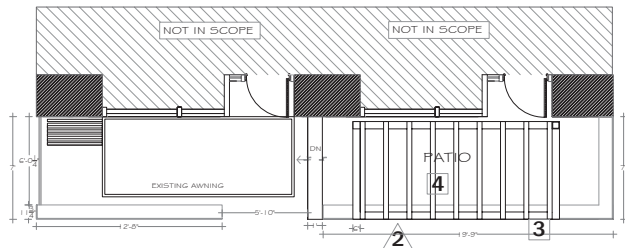


FINISHES SCHEDULE

ROOM NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH
KITCHEN	QUARRY TILE	STAINLESS STEEL U.N.O	2' X 4' CEILING TILE
PREP AREA	QUARRY TILE	WHITE FIBER REINFORCED PANEL	2' X 4' CEILING TILE
PATIO "La Calle"	CONCRETE (EXISTING)		ALUMINUM AWNING (EXISTING)
PATIO "La Cantina"	① Deck PVC planks Timbertech Color Weathered Teak		ALUMINUM AWNING (EXISTING)
RAILING		ALUMINUM RAILING 2X2 SQUARE TUBING	
ALUMINUM PERGOLA FRAME		6X6 ALUMINUM CYAN (SEE COLOR CODES)	
ALUMINUM PERGOLA BEAMS			4X4 ALUMINUM YELLOW (SEE COLOR CODES)

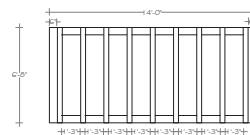


PATIO PROPOSED LAYOUT



REFLECTIVE CEILING PLAN

PROPOSED
Aluminum PERGOLA & railing
SEE A-5 DETAILS



PROPOSED
Aluminum PERGOLA & railing
SEE A-4 DETAILS



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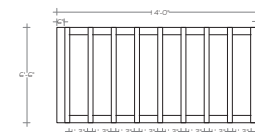
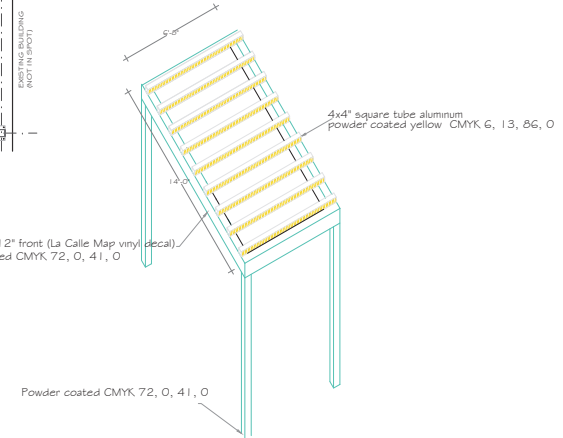
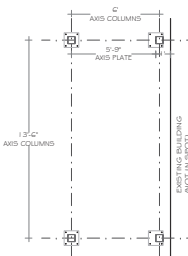
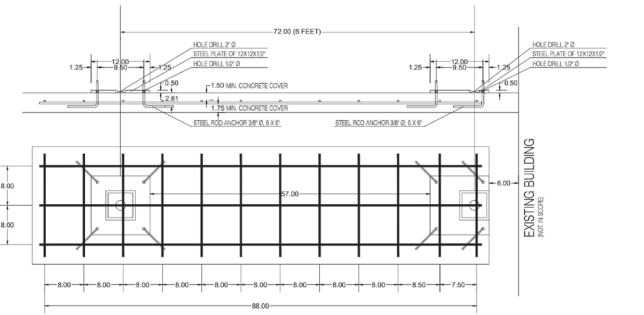
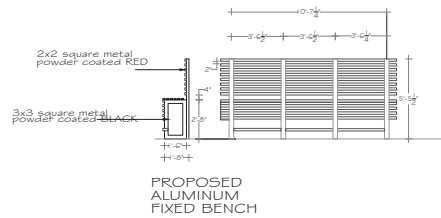
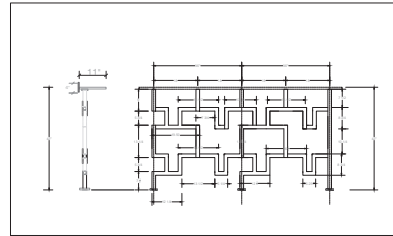
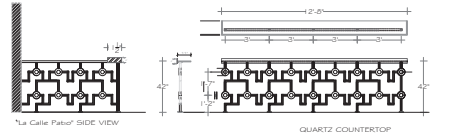
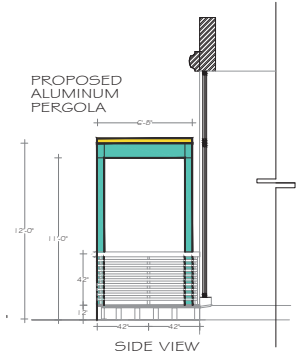
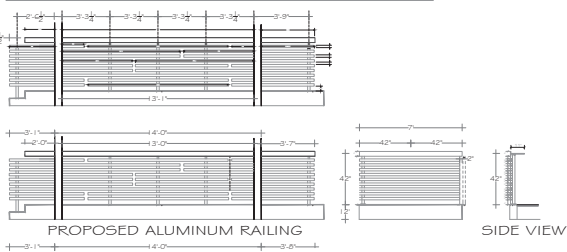
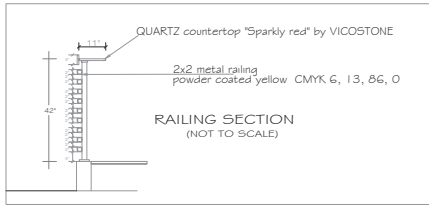
Issues and Revisions:

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SCALE 1/4" = 1'-0" 24X36

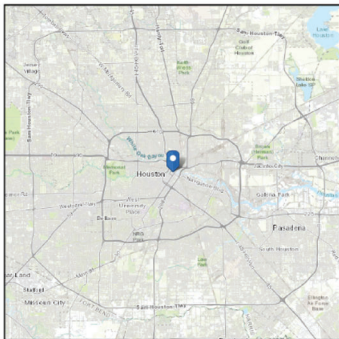
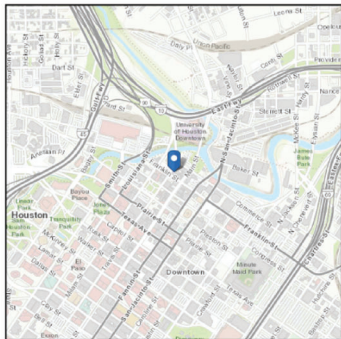
A 3
ELEVATIONS



Address:
909 Franklin St
Houston, Texas
77002

ASCE Hazards Report

Standard: ASCE/SEI 7-22
Risk Category: III
Soil Class: Default
Latitude: 29.763628
Longitude: -95.360696
Elevation: 39.20927260968356 ft (NAVD 88)



Wind Details

Wind Speed	140 Vmph
10-year MRI	77 Vmph
25-year MRI	91 Vmph
50-year MRI	104 Vmph
100-year MRI	113 Vmph
300-year MRI	126 Vmph
700-year MRI	134 Vmph
1,700-year MRI	140 Vmph
3,000-year MRI	145 Vmph
10,000-year MRI	154 Vmph
100,000-year MRI	169 Vmph
1,000,000-year MRI	180 Vmph

Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 3% probability of exceedance in 50 years (annual exceedance probability = 0.000588, MRI = 1,700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2. Glazed openings need not be protected against wind-borne debris.



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Storefront & street Improvement

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SCALE 1/4" = 1'-0" 24X36

A4

DETAILS

FINISHES SCHEDULE

ROOM NAME	FLOOR FINISH	WALL FINISH	CEILING FINISH
KITCHEN	QUARRY TILE	STAINLESS STEEL U.N.O	2' X 4' CEILING TILE
PREP AREA	QUARRY TILE	WHITE FIBER REINFORCED PANEL	2' X 4' CEILING TILE
PATIO "La Calle"	CONCRETE (EXISTING)		ALUMINUM AWNING (EXISTING)
PATIO "La Cantina"	① Deck PVC planks TimberTech Color Weathered Teak		ALUMINUM AWNING (EXISTING)
RAILING		ALUMINUM RAILING 2X2 SQUARE TUBING ②	
ALUMINUM PERGOLA FRAME		6X6 ALUMINUM CYAN (SEE COLOR CODES) ③	
ALUMINUM PERGOLA BEAMS			4X6 ALUMINUM YELLOW (SEE COLOR CODES) ④

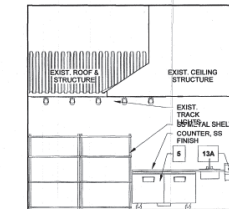
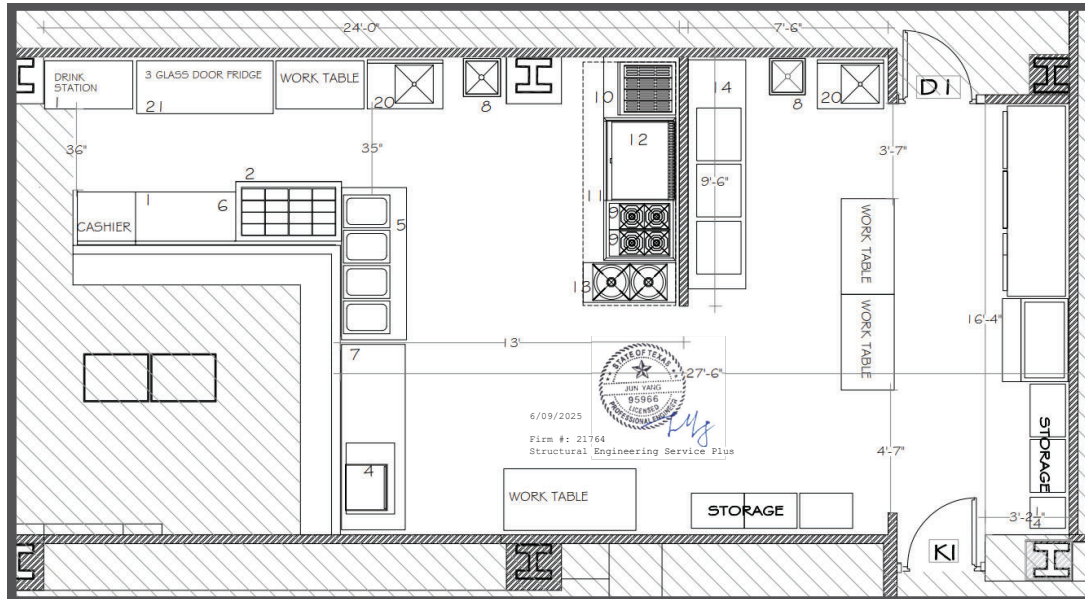
ALL FINISHES ARE DEFINED IN THE FINISH SCHEDULE UNLESS NOTED OTHERWISE

DOOR SCHEDULE

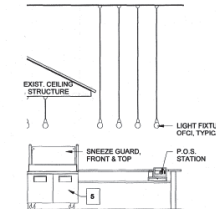
KEY	COUNT	WIDTH	HEIGHT	TYPE	NOTES
D1	1	3'-0"	7'-0"	Metallic door 3683	PANIC HARDWARE 1 HR FIRE RATED W CLOSER
K1	1	36"		Aluminum Swinging Traffic Door with 9" x 14" Window	

KITCHEN SCHEDULE

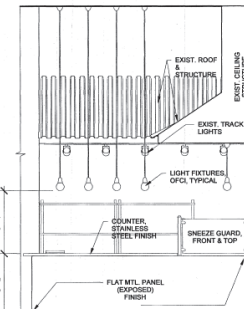
KEY	DESCRIPTION	MANUFACTURER / SERIES
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2	48" SALAD PREP STATION	REGENCY
3	PREP TABLE	PANEBELLA PB2445
4	2 SIDED GRILL	EAGLE GROUP DHT 4-240
5	STEAMER TABLE	ATOSA MSF 6403
6	TWO DOOR UNDER CABINET REFRIGERATOR	COOZAC HWC 332
7	HALF SIZE WARMING CABINET	ELKAY ES5B2520C
8	HAND SINK	ATOSA ATHP 12-2
9	TWO BURNER HOTPLATE	JADE TITAN KC-48
10	48" GRILL SMOKER	NORLAK B-301
11	96" CHEFF BASE	LOLO LG 36M
12	36" FLAT GRILL	ROYAL RSP 1.8 D24
13	DOUBLE STOCK POT RANGE	EAGLE GROUP DHT4- 240
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15	MOP SINK	REGENCY
16	PREP TABLE	ATOSA MBF 8508
17	3 DOOR REFRIGERATOR	ICE O605
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20	back bar glass door fridge	Regency 36 1/2" / 16" x 20" x 12"
21	One Compartment Sink Drainboard	Regency 36 1/2" / 16" x 20" x 12"



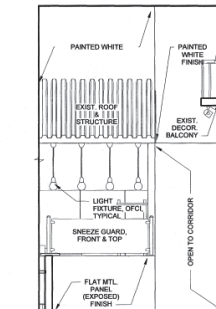
⑪ KITCHEN AREA - 5
14" = 1'-0"



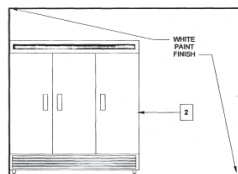
⑫ P.O.S. - 3
14" = 1'-0"



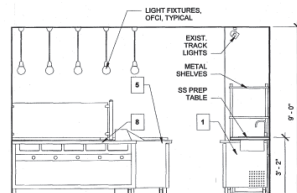
⑦ P.O.S. - 2
3/8" = 1'-0"



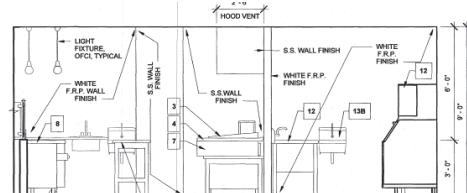
⑥ Elevation 1-b
3/8" = 1'-0"



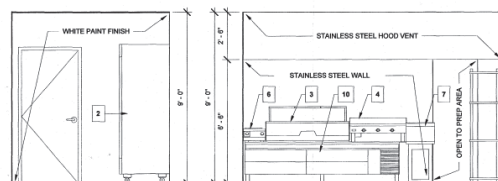
⑬ STORAGE - 1
3/8" = 1'-0"



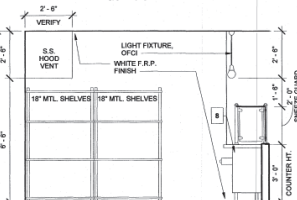
⑨ KITCHEN AREA - 4
3/8" = 1'-0"



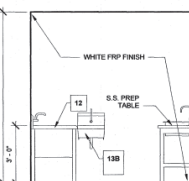
⑧ KITCHEN AREA - 3
3/8" = 1'-0"



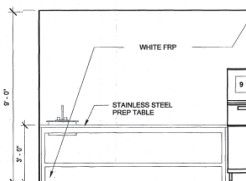
⑤ KITCHEN AREA - 2
3/8" = 1'-0"



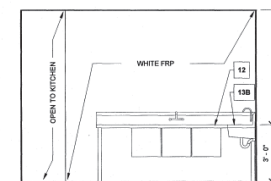
④ KITCHEN AREA - 1
3/8" = 1'-0"



③ PREP AREA - 3
3/8" = 1'-0"



② PREP AREA - 2
3/8" = 1'-0"



① PREP AREA - 1
3/8" = 1'-0"



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909 FRANKLIN ST
HOUSTON TX 77002

KITCHEN DETAILS

notes:

DESIGNED BY JUDITH ARROYO

DRAWING - VM REVISED BY: JA

SCALE: 3/8" = 1'-0" (24X36)

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