



# CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

**ITEM D01**  
HPO File #: HP2026\_0069

April 23, 2026

1246 Allston St  
Houston Heights West

**Applicant:** Randall Gay, agent for Richard Hopp, owner

**Property:** 1246 Allston Street, Lot 24, Block 185, Houston Heights. The property is a 1,1876 SF two-story, 6,600 SF (50' x 132') corner lot.

**Significance:** Contributing Classic Revival single-family residence and non-contributing detached garage located in the Houston Heights West Historic District.

**Proposal:** New Construction – Garage or Carport

The applicant proposes to construct a two-story garage apartment to replace existing 1-story garage.

- Roof:
- Eave Height: 19'-8 ½"
- Ridge Height: 26'-0"
- Windows: Wood
- All new windows need to be inset and recessed. See Attachment A for details.

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** -



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APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA S - satisfies D - does not satisfy NA - not applicable

[X] [ ] [ ] (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;

[X] [ ] [ ] (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;

[X] [ ] [ ] (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;

[X] [ ] [ ] (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

HEIGHTS DESIGN GUIDELINES

[X] [ ] [ ] In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

checkboxes

Maximum Lot Coverage (Addition and New Construction)

Table with 2 columns: LOT SIZE, MAXIMUM LOT COVERAGE. Rows include lot size ranges from <4000 to 8000+ and their corresponding coverage percentages.

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 2,157

Remaining:

checkboxes

Maximum Floor Area Ratio (Addition and New Construction)

Table with 2 columns: LOT SIZE, MAXIMUM FAR. Rows include lot size ranges from <4000 to 8000+ and their corresponding FAR values.

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR:

Remaining:



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**Side Wall Length and Insets (Addition and New Construction)**

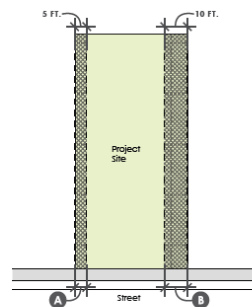
MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 32'

Inset on East side: 10'-2"

Inset on West side: 6'-9"

**Side Setbacks (Addition and New Construction)**



KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
C	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (East): 11' 6"

Proposed side setback (West): 7' 0"

Cumulative side setback: 15' 0"

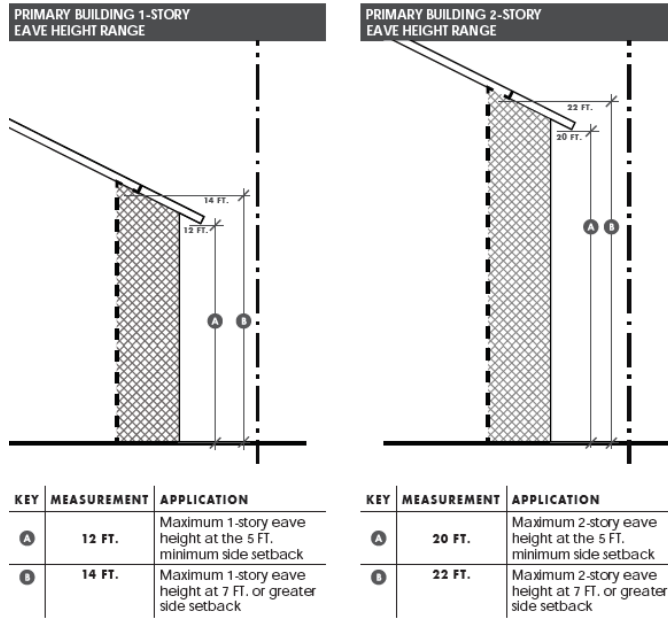


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Eave Height (Addition and New Construction)



Proposed eave height: 19'-8 1/2"

Front Wall Width and Insets (New Construction)

MEASUREMENT	APPLICATION
30 FT.	Maximum front wall width before inset
4 FT.	Minimum width of inset section of front wall
40 FT.	Maximum width of 1-story building for lots <= 50 ft wide
35 FT.	Maximum width of 2-story building for lots <= 50 ft wide
50 FT.	Maximum width of building for lots > 50 ft wide

Max front wall width: 18'

Max front wall depth: 14'

Front Porch Width and Depth (Addition and New Construction)

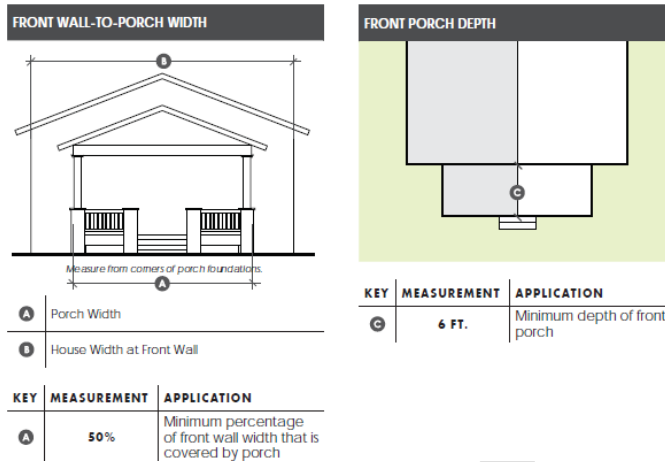
The width of a porch is measured between the corners of the porch foundation at the front of the porch. A front porch must be at least 6' deep.



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Proposed front porch width: 29'-6", Proposed front porch depth: 6'

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### Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: 11'

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### Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 33"

Proposed first floor plate height: 10'

Proposed second floor plate height: 9'



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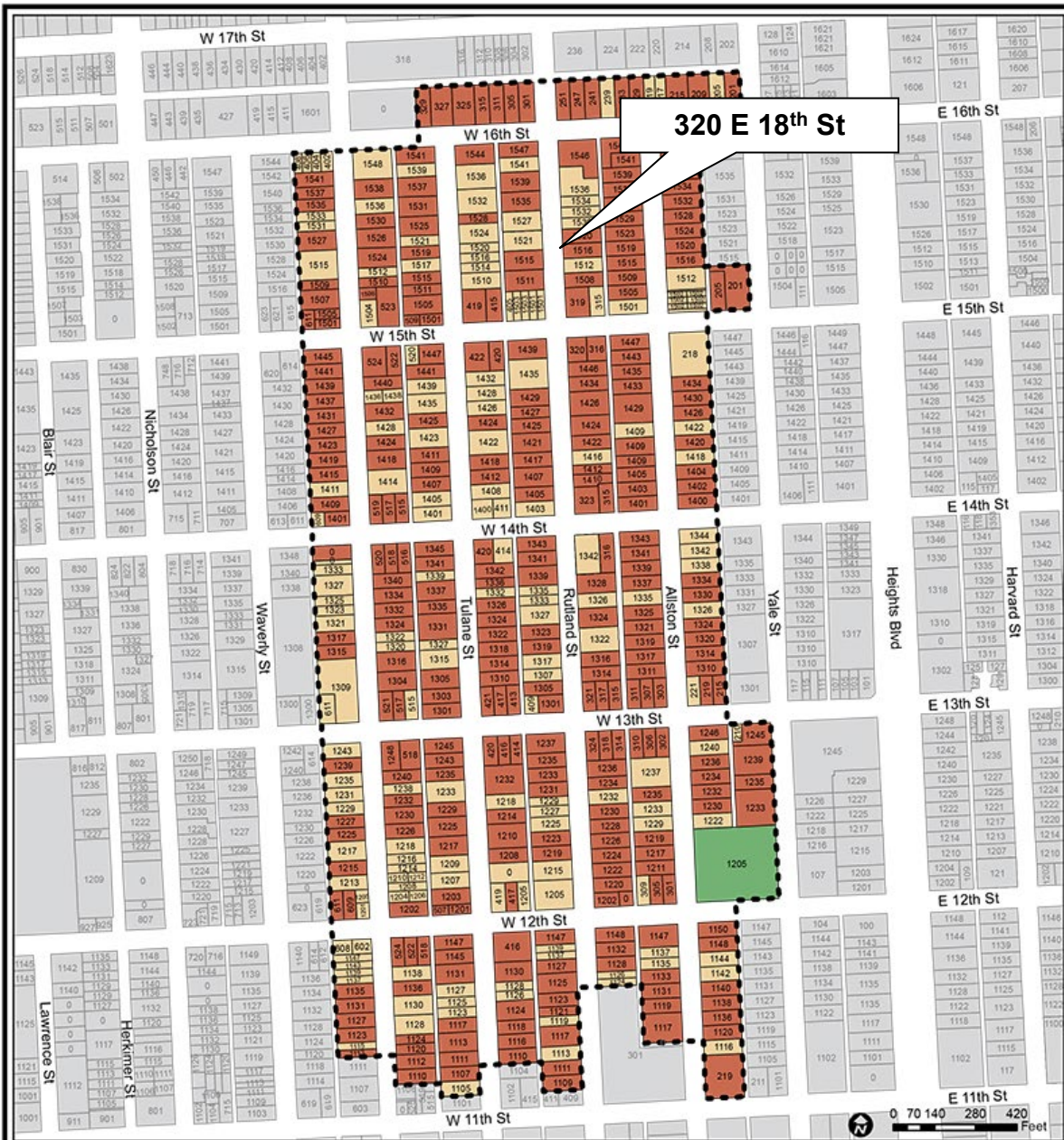
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## DISTRICT MAP



### Houston Heights West Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: December 19, 2007  
 Source: GIS Services Division  
 Date: May 1, 2013  
 Reference: pj17025\_Heights\_West

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING & DEVELOPMENT DEPARTMENT



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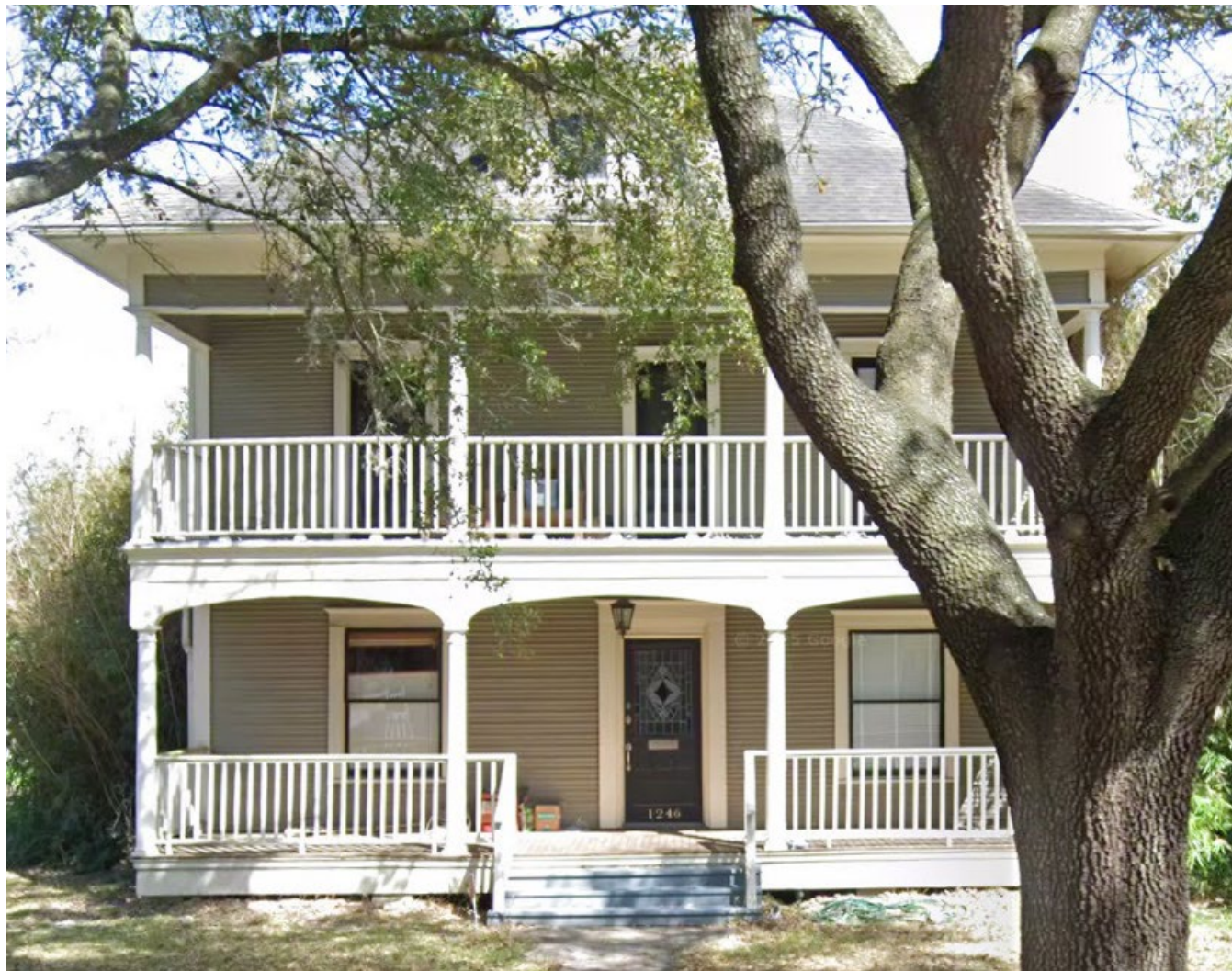
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## CURRENT PHOTO





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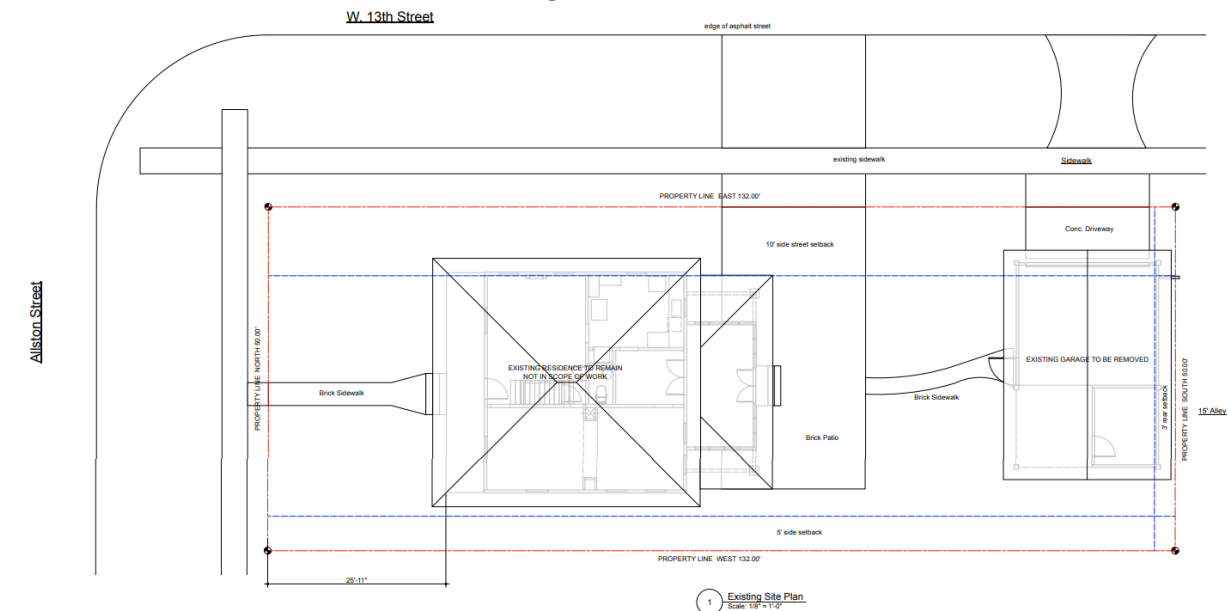
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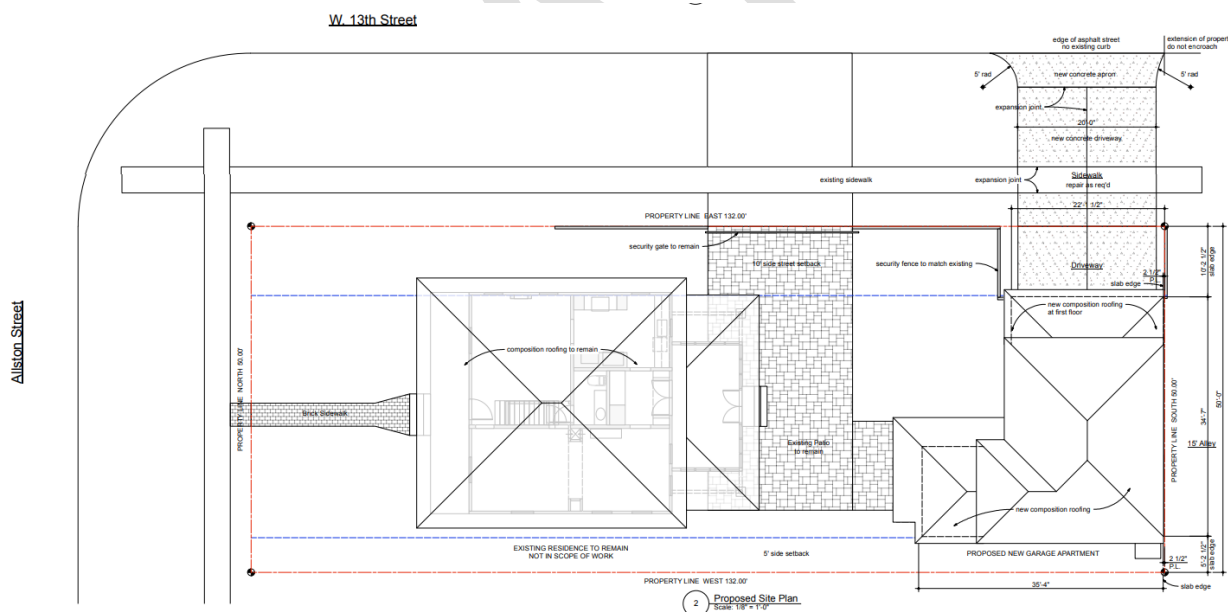
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## SITE PLAN



## EXISTING



## PROPOSED



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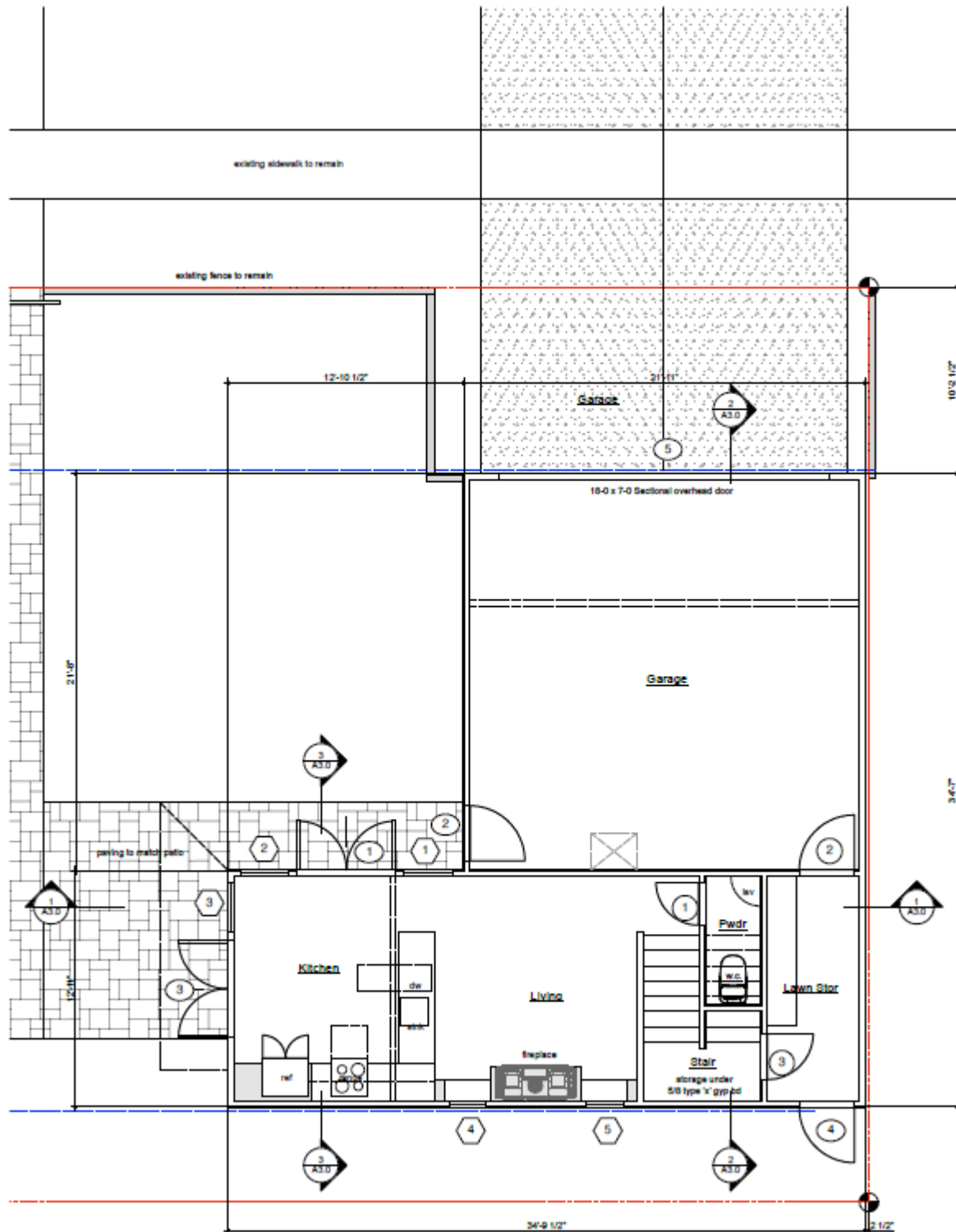
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## PROPOSED FIRST FLOOR PLAN



1 First Floor Plan - Proposed  
Scale: 1/4" = 1'-0"



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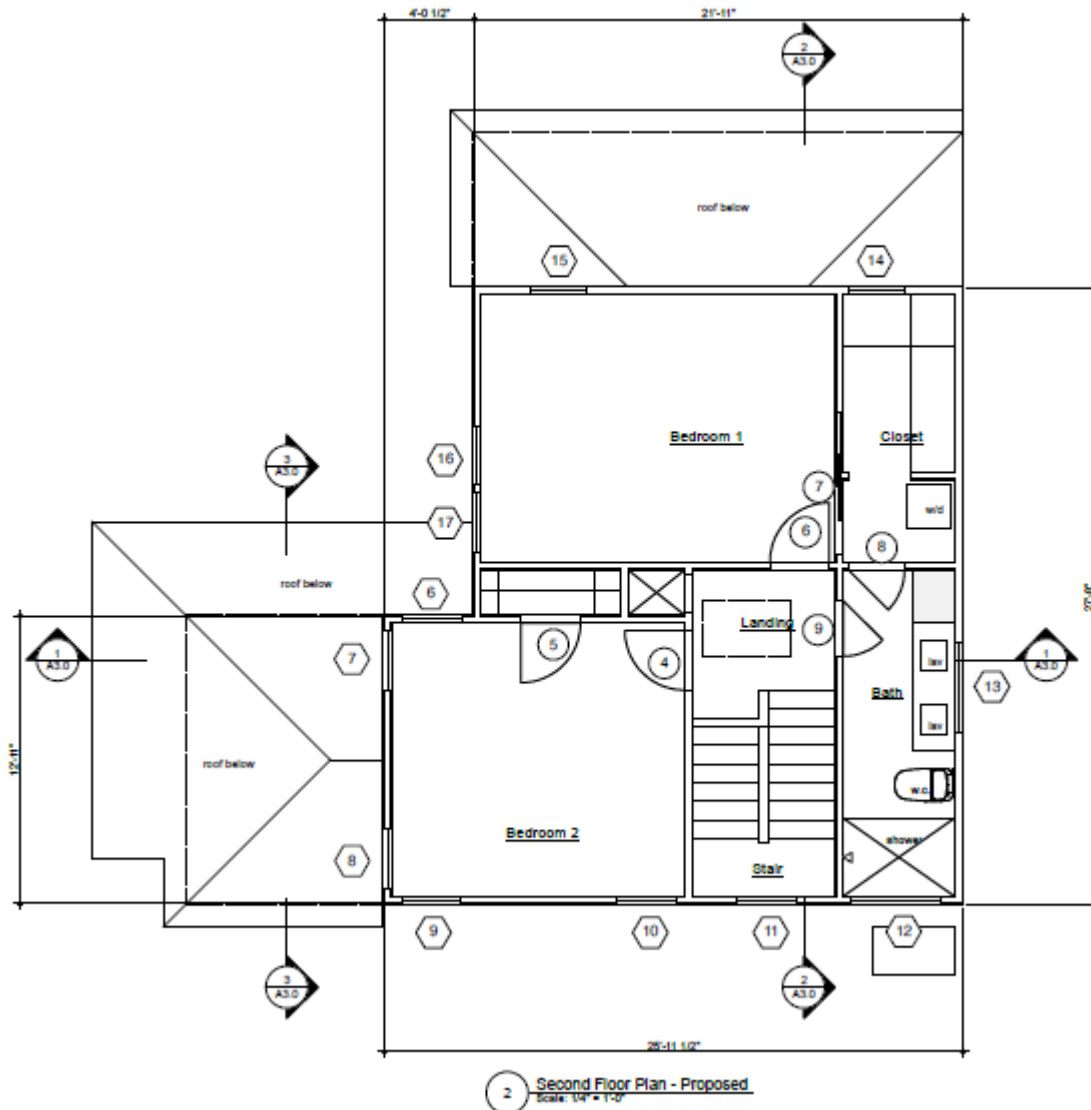
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## PROPOSED SECOND FLOOR PLAN





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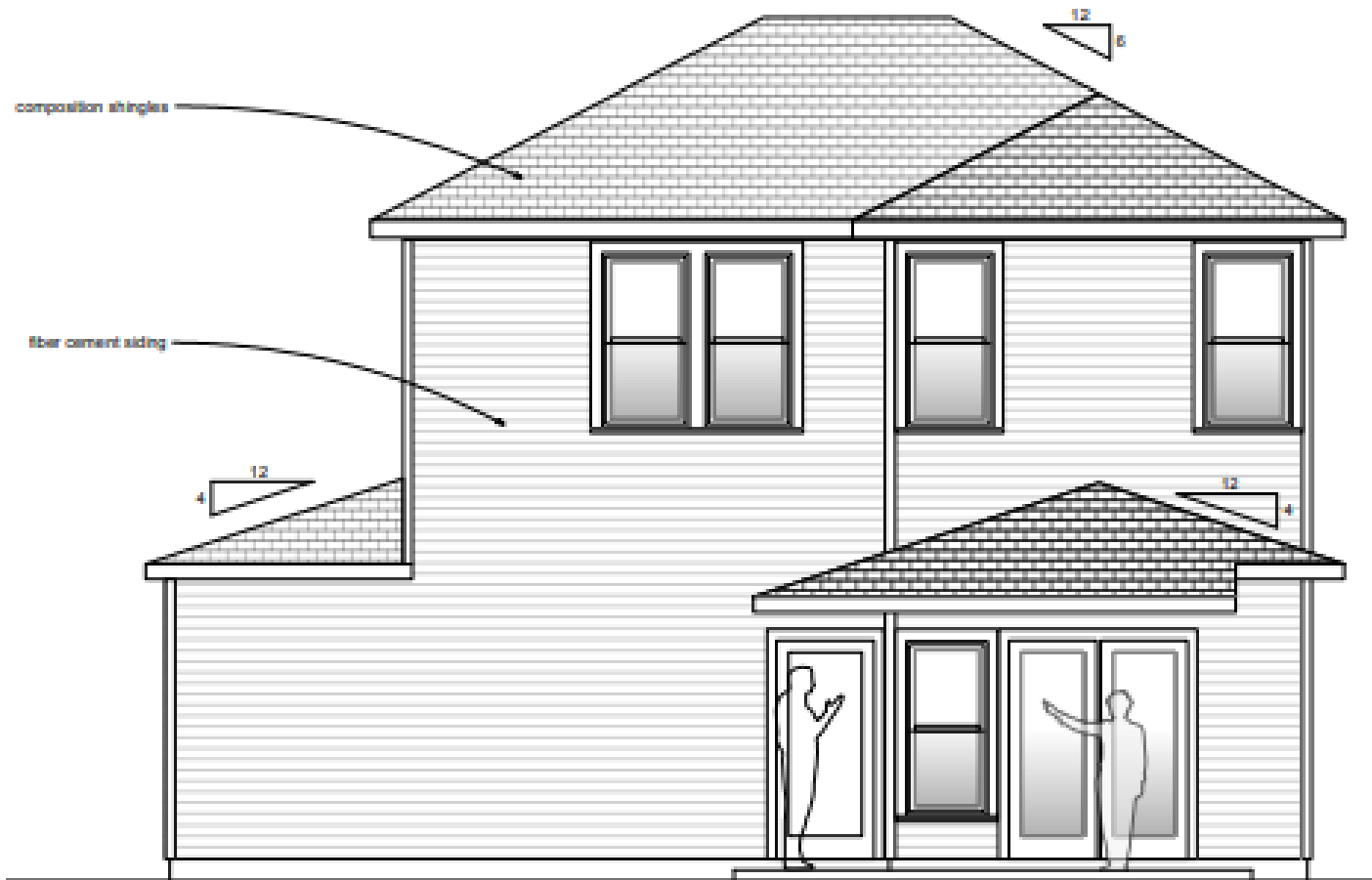
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## PROPOSED FRONT ELEVATION





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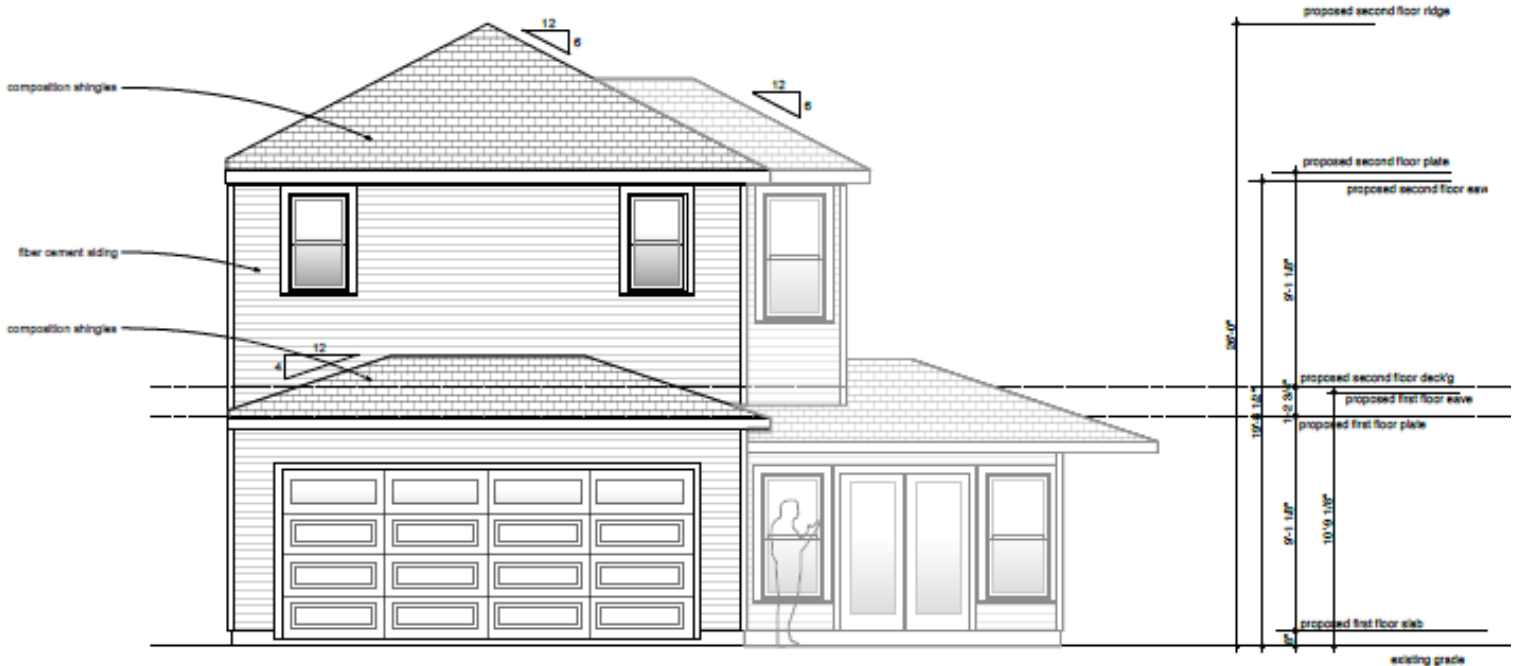
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## PROPOSED RIGHT ELEVATION



FACING SIDE ST

DRAFT



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## PROPOSED LEFT ELEVATION





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## WINDOW AND DOOR SCHEDULE

Window Schedule								
Plan Tag	Material	Location	Style	Dimensions	Details	Manufacturer	Remarks	Glazing
1	Wood	Kitchen	double hung	2-8x5-4		Jeld Wen	header ht. 82"	Type B
2		↓		↓			↓	↓
3								
4		Living		2-6x4-4				Type A
5		↓		↓				
6		Bedroom 2		2-8x5-4			header ht. 98" egress	
7		↓		↓			egress	
8							egress	
9							egress	
10							egress	
11		Stair						
12		Bath	fixed	4-0x1-6				
13		↓		↓				
14		Closet	double hung	2-6x4-0				
15		Bedroom 1						
16		↓		2-8x5-4			egress	
17		↓		↓			egress	

DRAFT



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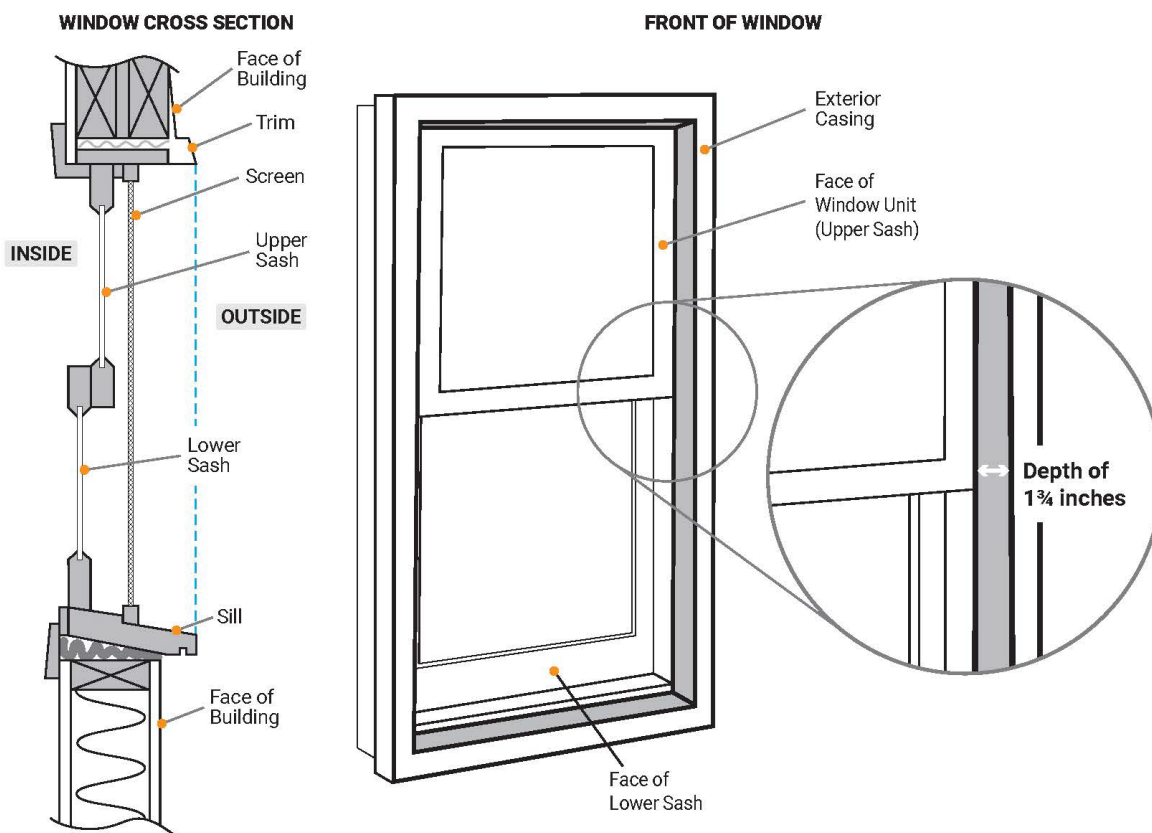
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## ATTACHMENT A



# Historic Window Standard: New Construction & Replacement



### Minimum 1<sup>3</sup>/<sub>4</sub> inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1<sup>3</sup>/<sub>4</sub> inch minimum inset for Fixed Window

**For more information contact:** Houston Office of Preservation

☎ 832-393-6556

✉ [historicpreservation@houstontx.gov](mailto:historicpreservation@houstontx.gov)