



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

CERTIFICATE OF APPROPRIATENESS

Applicant: Sam Gianukos, agent for, Lisa Osborn, owner

Property: 1521 Columbia Street, Lot 7, Block 137, Houston Heights Neighborhood Subdivision. The property includes a historic 1,476 square foot, one-story wood single-family residence situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Bungalow Craftsman style residence, constructed circa 1925, located in the Houston Heights East Historic District. Harris County Building Land Assessment Survey states that the 1925 structure burned Nov. 27, 1931. BLA dated 10-2-1956, shows a side addition built on left (South) elevation.

Proposal: Alteration: One-Story Addition

The applicant is proposing the following:

- Construction of a 569 sq. ft. first-level rear addition to the existing 1,556 sq. ft. house.
- The applicant shall add skirting at the foundation to be compatible with historic structures in the district.
- Removal of the non-original porch columns and replacement with porch supports consisting of brick piers with double wood columns.
- Maintain the existing 5:12 roof pitch for the new addition.
- Replacement of the non-original aluminum windows with **inset and recessed Wood Jeld-Wen windows.**
- Existing first-level ceiling height: 9'-2".
- Proposed ceiling height in addition: 10'-0".
- Existing siding: 2 1/2" wood lap siding.
- Proposed siding on addition: 5 1/2" smooth fiber-cement lap siding.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with conditions: the front (east) elevation to feature a single tapered column at the porch rather than the proposed double-column configuration

HAHC Action: -



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | |
|-------------------------------------|--------------------------|--------------------------|---|
| | | | S - satisfies |
| | | | D - does not satisfy |
| | | | NA - not applicable |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |

HEIGHTS DESIGN GUIDELINES

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines. |
|-------------------------------------|--------------------------|--------------------------|---|



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

S D NA S - satisfies D - does not satisfy NA - not applicable

 Maximum Lot Coverage (Addition and New Construction)

| LOT SIZE | MAXIMUM LOT COVERAGE |
|------------------|----------------------|
| <4000 | .44 (44%) |
| 4000-4999 | .44 (44%) |
| 5000-5999 | .42 (42%) |
| 6000-6999 | .40 (40%) |
| 7000-7999 | .38 (38%) |
| 8000+ | .38 (38%) |

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 2,125

 Maximum Floor Area Ratio (Addition and New Construction)

| LOT SIZE | MAXIMUM FAR |
|------------------|-------------|
| <4000 | .48 |
| 4000-4999 | .48 |
| 5000-5999 | .46 |
| 6000-6999 | .44 |
| 7000-7999 | .42 |
| 8000+ | .40 |

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,125



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

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Side Wall Length and Insets (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|---|
| 50 FT. | Maximum side wall length without inset (1-story) |
| 40 FT. | Maximum side wall length without inset (2-story) |
| 1 FT. | Minimum depth of inset section of side wall (1-story) |
| 2 FT. | Minimum depth of inset section of side wall (2-story) |
| 6 FT. | Minimum length of inset section of side wall |

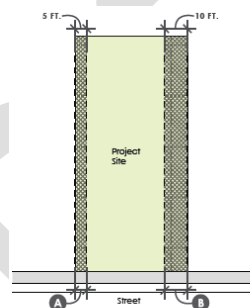
Side Wall Length: 42'

Inset on North side: 1'

Inset on South side: 8'

-

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|--|
| A | 3 FT. | Minimum distance between side wall and the property line for lots less than 35 feet wide |
| B | 5 FT. | Minimum distance between the side wall and the property line |
| B | REMAINING | Difference between minimum side setback of 5 feet and minimum cumulative side setback |
| C | 6 FT. | Minimum cumulative side setback for lots less than 35 feet wide |
| C | 10 FT. | Minimum cumulative side setback for a one-story house |
| C | 15 FT. | Minimum cumulative side setback for a two-story house |

Proposed side setback (1): 12'

Proposed side setback (2): 5'

Cumulative side setback: 17'

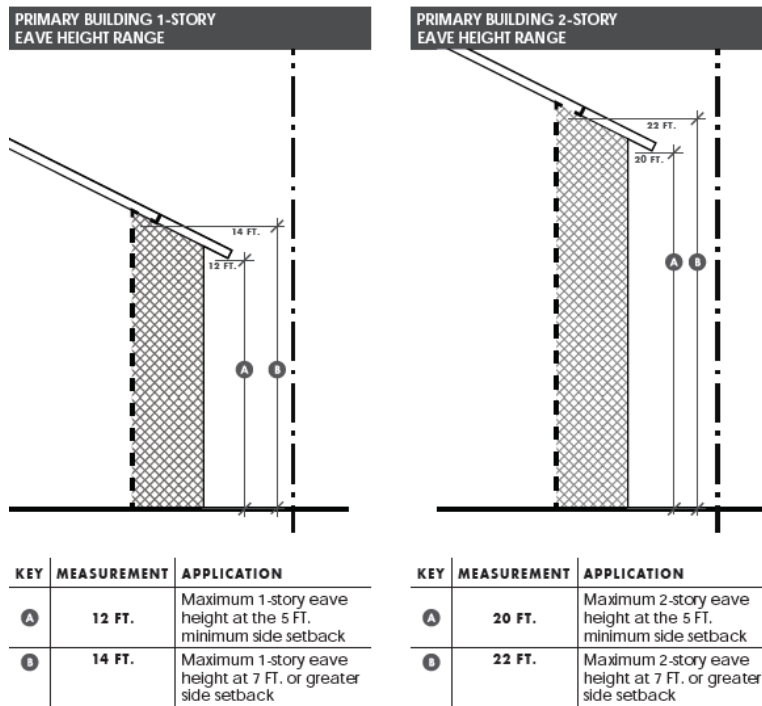


ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

Eave Height (Addition and New Construction)



Proposed eave height: 12' 2"

Proposed ridge height: 18' 7"

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

Proposed rear setback: 1'-6"

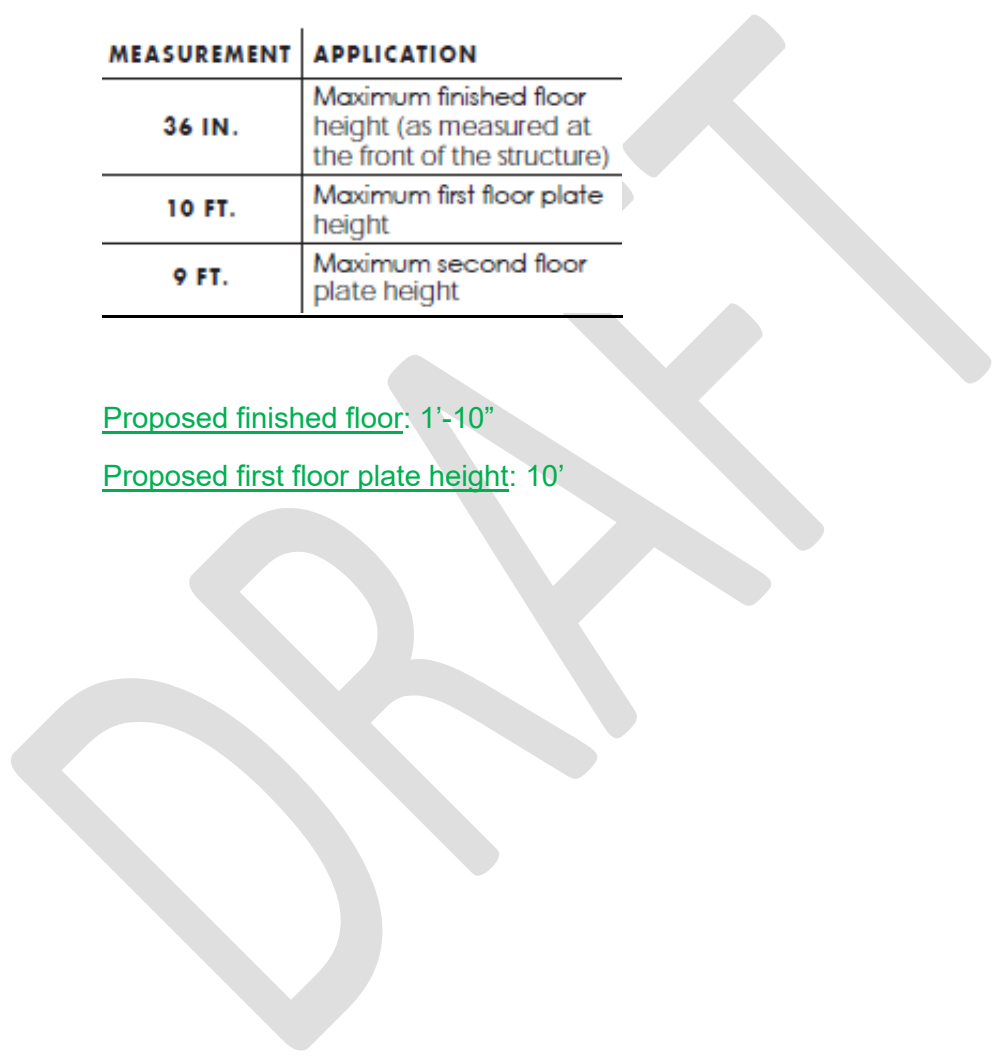
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Building Wall (Plate) Height (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|---|
| 36 IN. | Maximum finished floor height (as measured at the front of the structure) |
| 10 FT. | Maximum first floor plate height |
| 9 FT. | Maximum second floor plate height |

Proposed finished floor: 1'-10"

Proposed first floor plate height: 10'





ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

District Map



1521
Columbia
St

Houston Heights East Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: February 20, 2008
Source: GIS Services Division
Date: May 1, 2013
Reference: pj17025_Heights_East

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING & DEVELOPMENT DEPARTMENT



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

Inventory Photo



Existing Photos Provided By Applicant





ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

Existing Photos Provided By Applicant



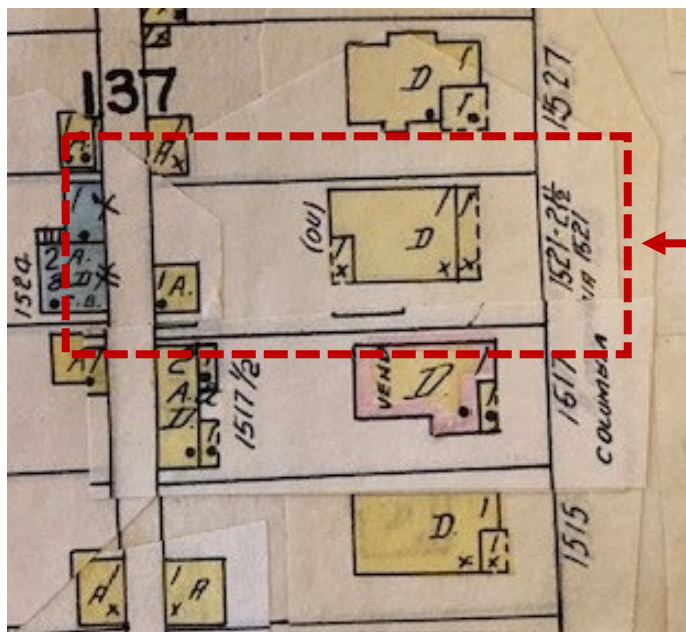


ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

1925 Sanborn



Harris County Building Land Assessment Survey (page 2): 4-15-1932

Page _____

4-15-1932

Renner G. M. Owner

Lot *4* Block *137*

Houston Heights Addition

REMARKS:
Burned Nov 27, 1931
Cancel.
1932

County Value *1931* \$ *1050*



ITEM D4
HPO File #: HP2026_0078

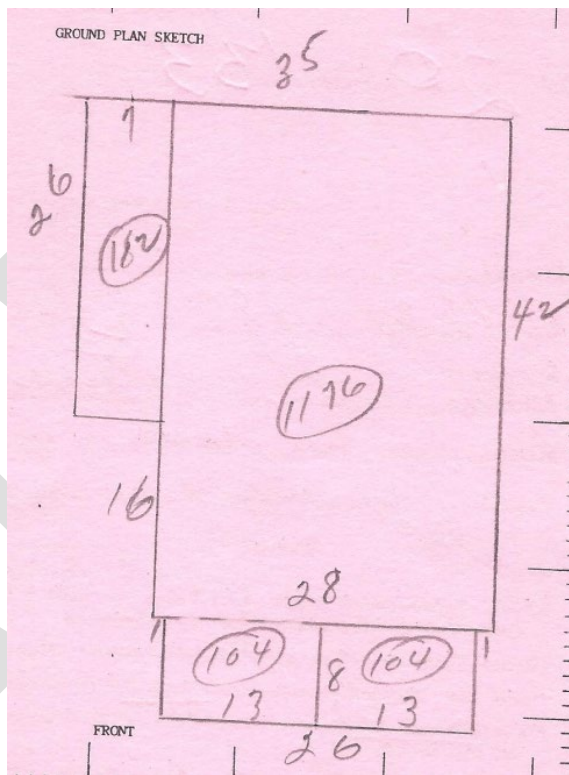
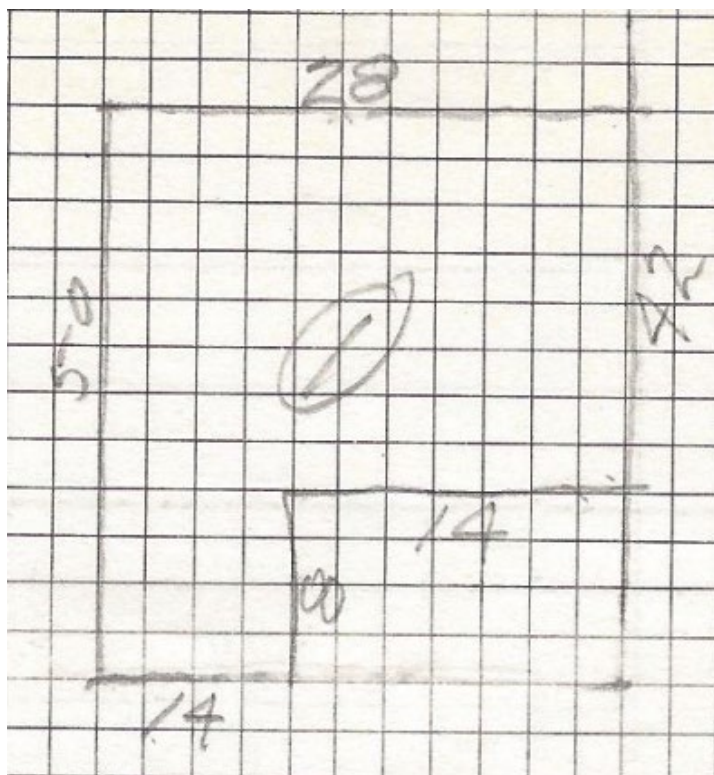
April 23, 2026

1521 Columbia
Houston Heights East

Harris County Building Land Assessment Survey:

Post-1932

10-2-1956



Google Satellite Image: 1521 Columbia St





ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

3D RENDERINGS





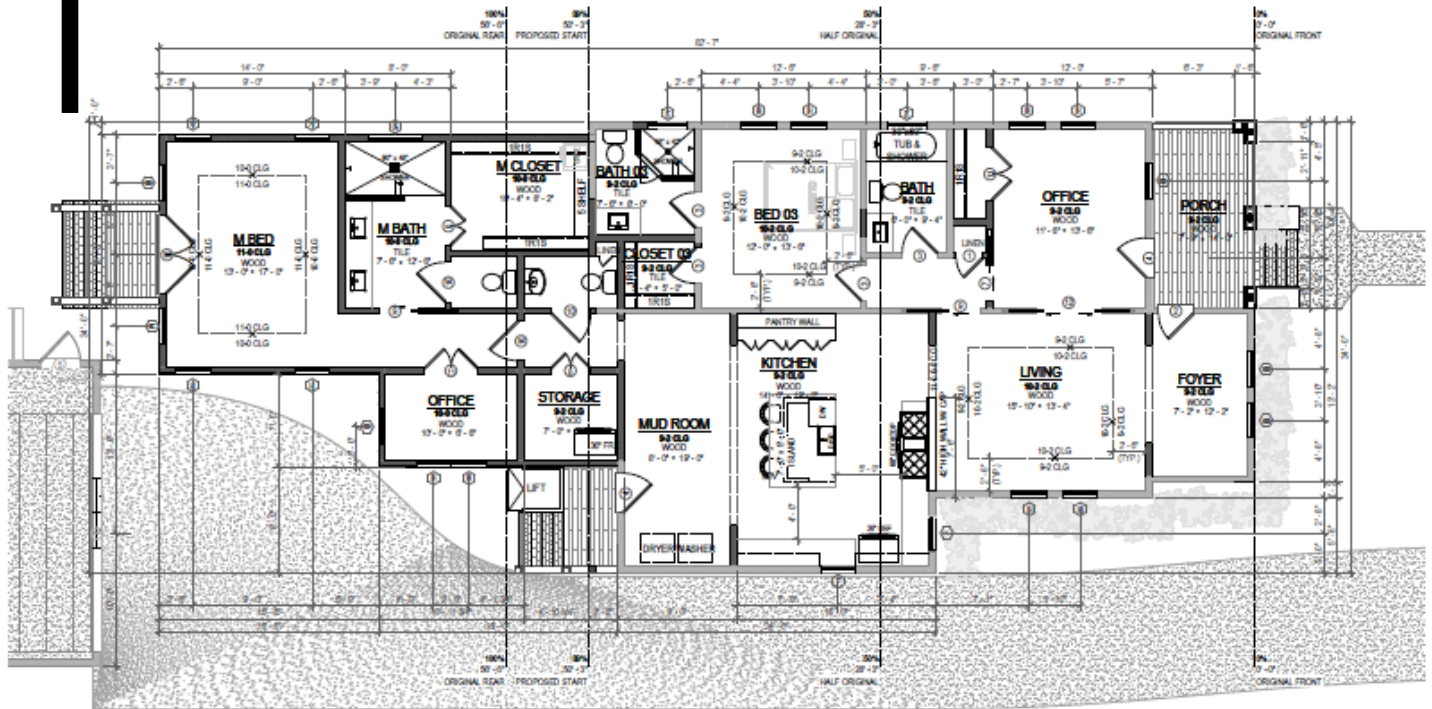
ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

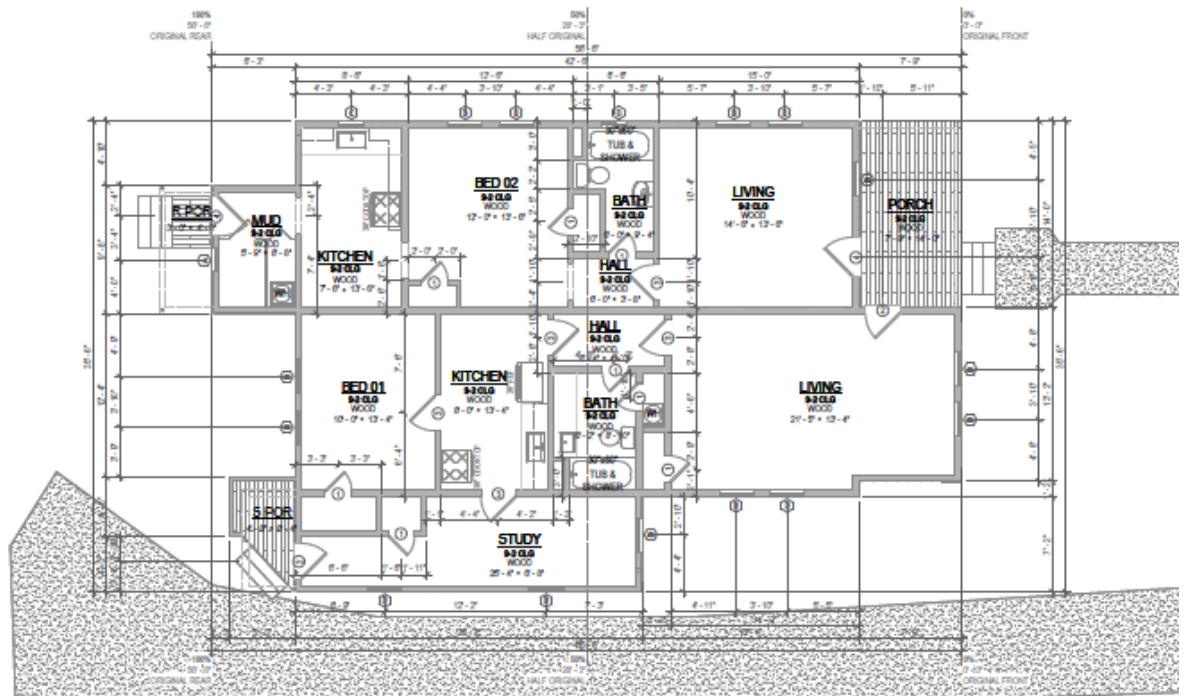
N

FIRST FLOOR PLAN



LEVEL 01 - PROPOSED FLOOR PLAN

Scale: 3/16" = 1'-0"



LEVEL 01 - EXISTING FLOOR PLAN

Scale: 3/16" = 1'-0"

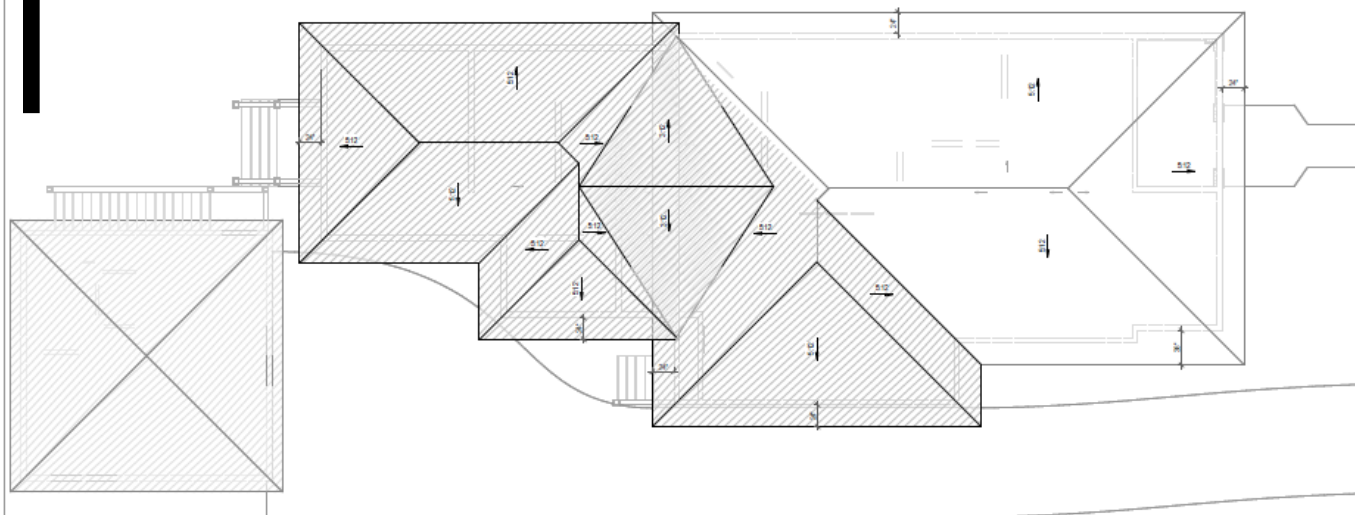



ITEM D4
HPO File #: HP2026_0078

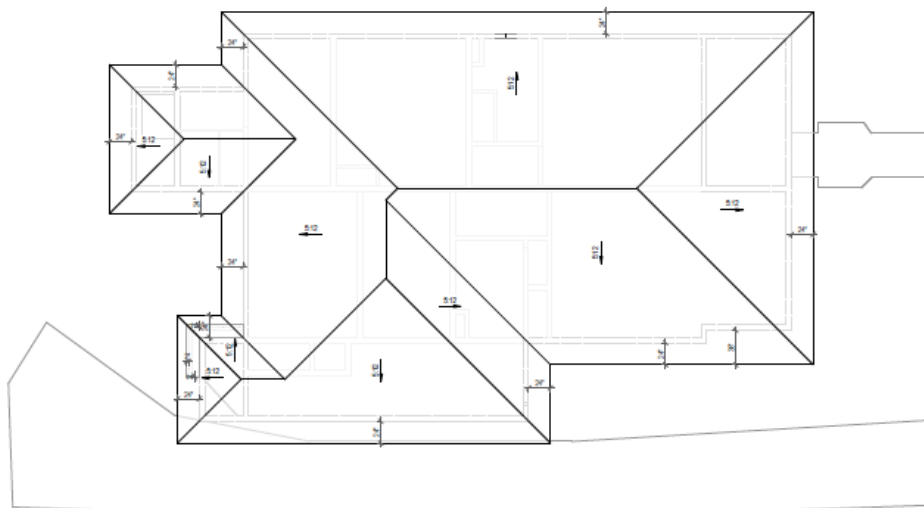
April 23, 2026


1521 Columbia
Houston Heights East

ROOF PLAN



 **PROPOSED ROOF PLAN**
Scale: 3/16" = 1'-0"



 **EXISTING ROOF PLAN**
Scale: 3/16" = 1'-0"

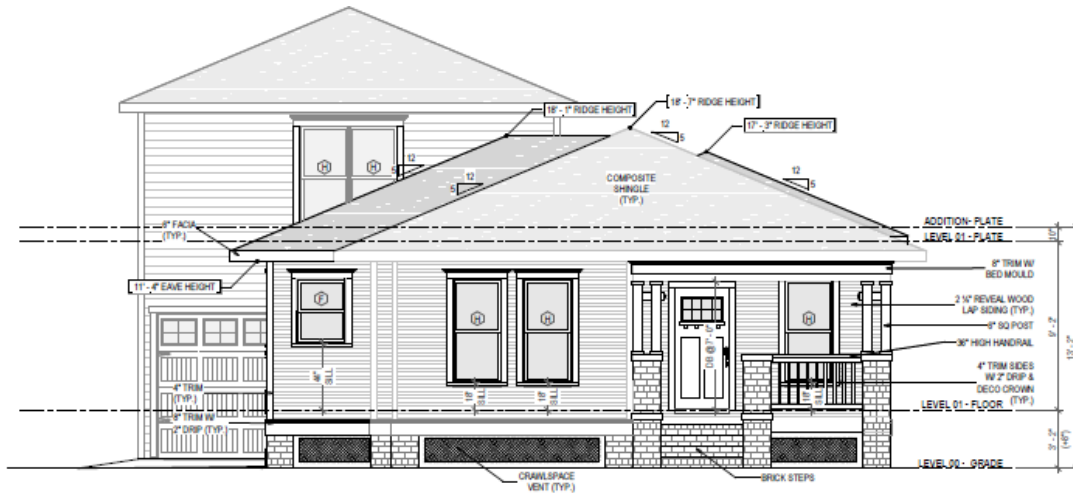


ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

FRONT (EAST) ELEVATION

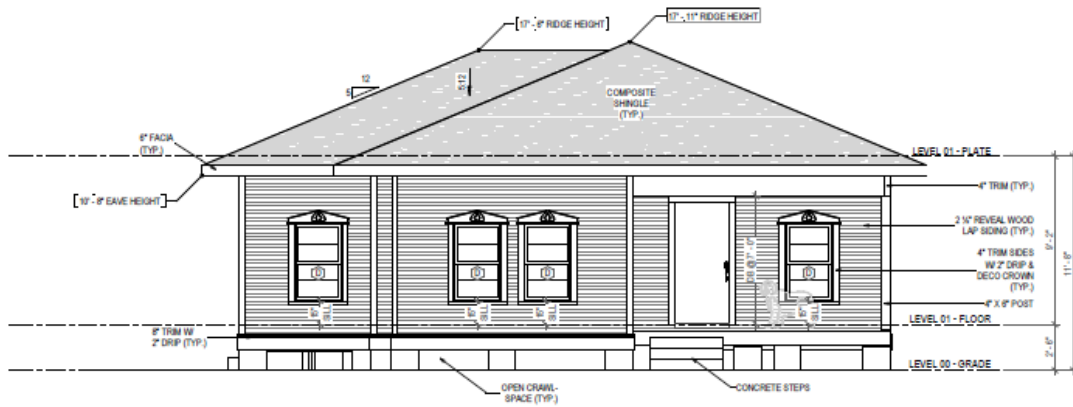


PROPOSED EAST ELEVATION

Scale: 1/4" = 1'-0"

NOTE: FINISHED FLOOR INCREASE

THE FINISHED FLOOR OF THE EXISTING STRUCTURE IS TO BE LIFTED (+8") SO THAT THE FINISHED FLOOR IS AT 3'-2" FROM GRADE



EXISTING EAST ELEVATION

Scale: 1/4" = 1'-0"

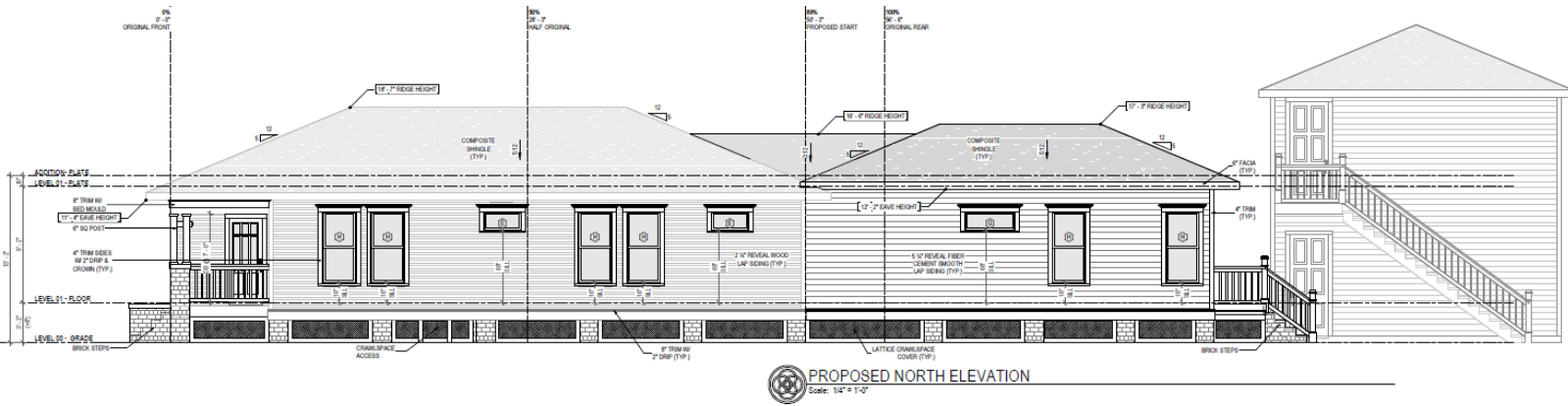


ITEM D4
HPO File #: HP2026_0078

April 23, 2026

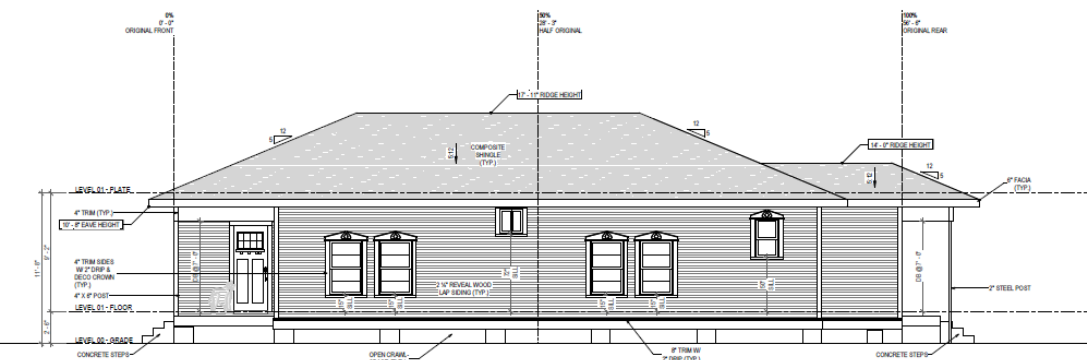
1521 Columbia
Houston Heights East

NORTH (SIDE) ELEVATION



PROPOSED NORTH ELEVATION
Scale: 1/4" = 1'-0"

NOTE: FINISHED FLOOR INCREASE
THE FINISHED FLOOR OF THE EXISTING STRUCTURE IS TO BE LIFTED -4" SO THAT THE FINISHED FLOOR IS AT 1'-2" FROM GRADE



EXISTING NORTH ELEVATION
Scale: 1/4" = 1'-0"

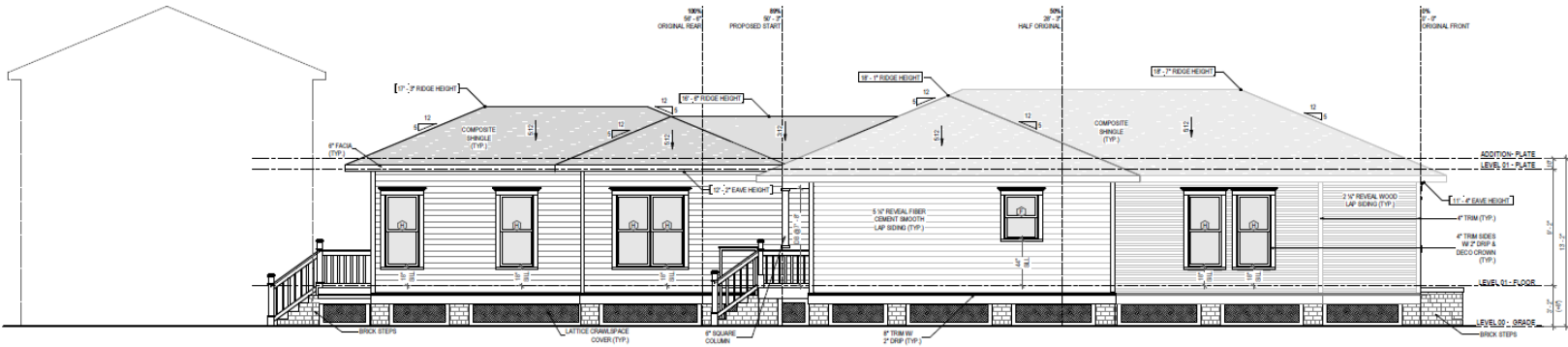


ITEM D4
HPO File #: HP2026_0078

April 23, 2026

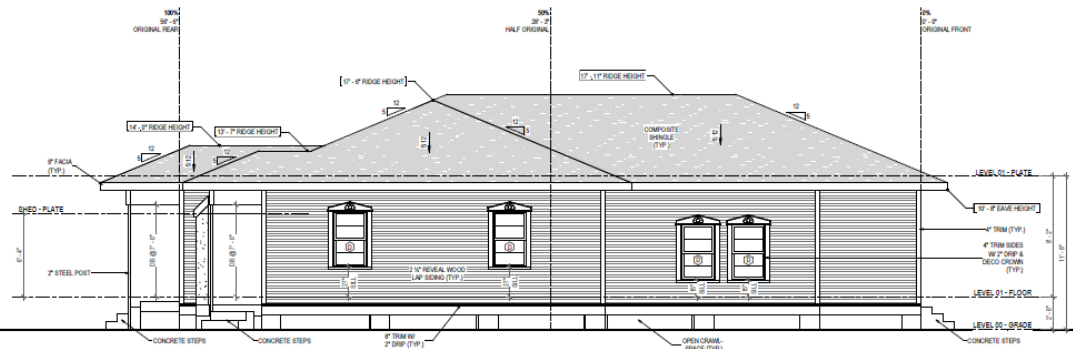
1521 Columbia
Houston Heights East

SOUTH (SIDE) ELEVATION



PROPOSED SOUTH ELEVATION
Scale: 1/4" = 1'-0"

NOTE: FINISHED FLOOR INCREASE
THE FINISHED FLOOR OF THE EXISTING STRUCTURE IS TO BE LIFTED 4\"/>



EXISTING SOUTH ELEVATION
Scale: 1/4" = 1'-0"



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

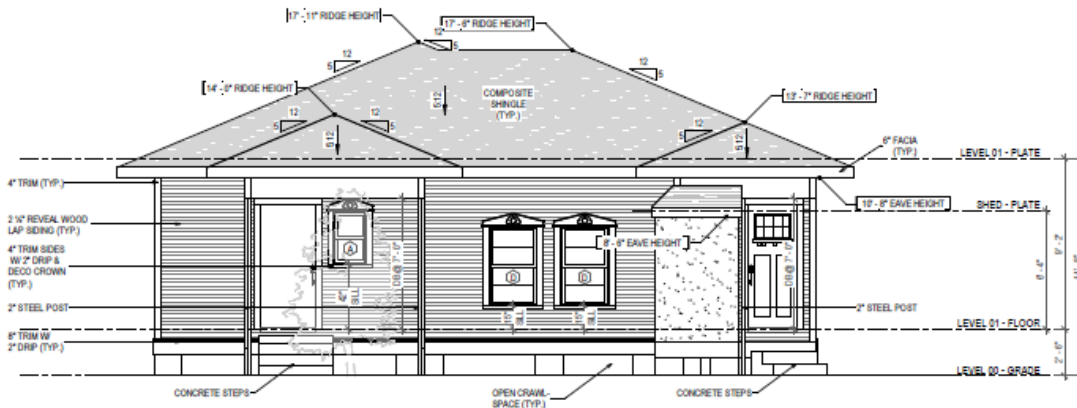
REAR (WEST) ELEVATION



PROPOSED WEST ELEVATION

Scale: 1/4" = 1'-0"

NOTE: FINISHED FLOOR INCREASE
THE FINISHED FLOOR OF THE EXISTING STRUCTURE IS TO BE LIFTED (+8") SO THAT THE FINISHED FLOOR IS AT 3'-2" FROM GRADE



EXISTING WEST ELEVATION

Scale: 1/4" = 1'-0"



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

AREA CALCULATIONS

| F.A.R RESOLUTION | |
|---------------------------------------|---------------------|
| LOT AREA | 6,600 S.F. |
| MAX ALLOWED HEATED AREA | 2,904 S.F. |
| <i>PROPOSED HEATED - (HOUSE)</i> | 2,125 S.F. |
| <i>PROPOSED HEATED - (GARAGE APT)</i> | 484 S.F. - 484 S.F. |
| PROPOSED HEATED AREA | (-779sf) 2,125 S.F. |
| FLOOR AREA RATIO | 32.20 % |

| PROPOSED CALCULATIONS OF IMPERVIOUS PERCENTAGE | |
|---|------------|
| HOUSE | 2,125 S.F. |
| PORCHES | 64 S.F. |
| DRIVEWAY | 1,372 S.F. |
| SIDEWALK | 107 S.F. |
| GARAGE | 527 S.F. |
| TOTAL OF IMPERVIOUS COVER | 4,195 S.F. |
| LOT AREA | 6,600 S.F. |
| PERCENTAGE OF IMPERVIOUS AREA | 63.56 % |

| EXISTING CALCULATIONS OF IMPERVIOUS PERCENTAGE | |
|---|------------|
| HOUSE | 1,556 S.F. |
| PORCHES | 185 S.F. |
| DRIVEWAY | 806 S.F. |
| SIDEWALK | 96 S.F. |
| GARAGE | 0 S.F. |
| TOTAL OF IMPERVIOUS COVER | 2,643 S.F. |
| LOT AREA | 6,600 S.F. |
| PERCENTAGE OF IMPERVIOUS AREA | 40.05 % |



ITEM D4
HPO File #: HP2026_0078

April 23, 2026

1521 Columbia
Houston Heights East

Existing and Proposed Window/Door Schedule

| DOOR SCHEDULE (EXISTING HISTORICAL) | | | | | | |
|-------------------------------------|---------------|-------|-----------|---------|--------|------------------|
| TAG | PHASE CREATED | COUNT | DOOR SIZE | | SUFFIX | PHASE DEMOLISHED |
| | | | WIDTH | HEIGHT | | |
| LEVEL 01 - FLOOR | | | | | | |
| 1 | EXISTING | 8 | 2' - 0" | 6' - 8" | SP | PROPOSED |
| 2 | EXISTING | 2 | 2' - 8" | 6' - 8" | | PROPOSED |
| 3 | EXISTING | 5 | 2' - 8" | 6' - 8" | SP | PROPOSED |
| 4 | EXISTING | 2 | 3' - 0" | 6' - 8" | | PROPOSED |

| WINDOW SCHEDULE (EXISTING HISTORICAL) | | | | | | | |
|---------------------------------------|---------------|-------|-------|--------|--------|-------------|------------------|
| TAG | PHASE CREATED | COUNT | SIZE | | SUFFIX | HEAD HEIGHT | PHASE DEMOLISHED |
| | | | WIDTH | HEIGHT | | | |
| LEVEL 01 - FLOOR | | | | | | | |
| A | EXISTING | 1 | 21" | 34" | SH | 6' - 4" | PROPOSED |
| B | EXISTING | 1 | 22" | 24" | SL | 8' - 0" | PROPOSED |
| C | EXISTING | 1 | 22" | 36" | SH | 7' - 2" | PROPOSED |
| D | EXISTING | 14 | 31" | 51" | SH | <varies > | PROPOSED |

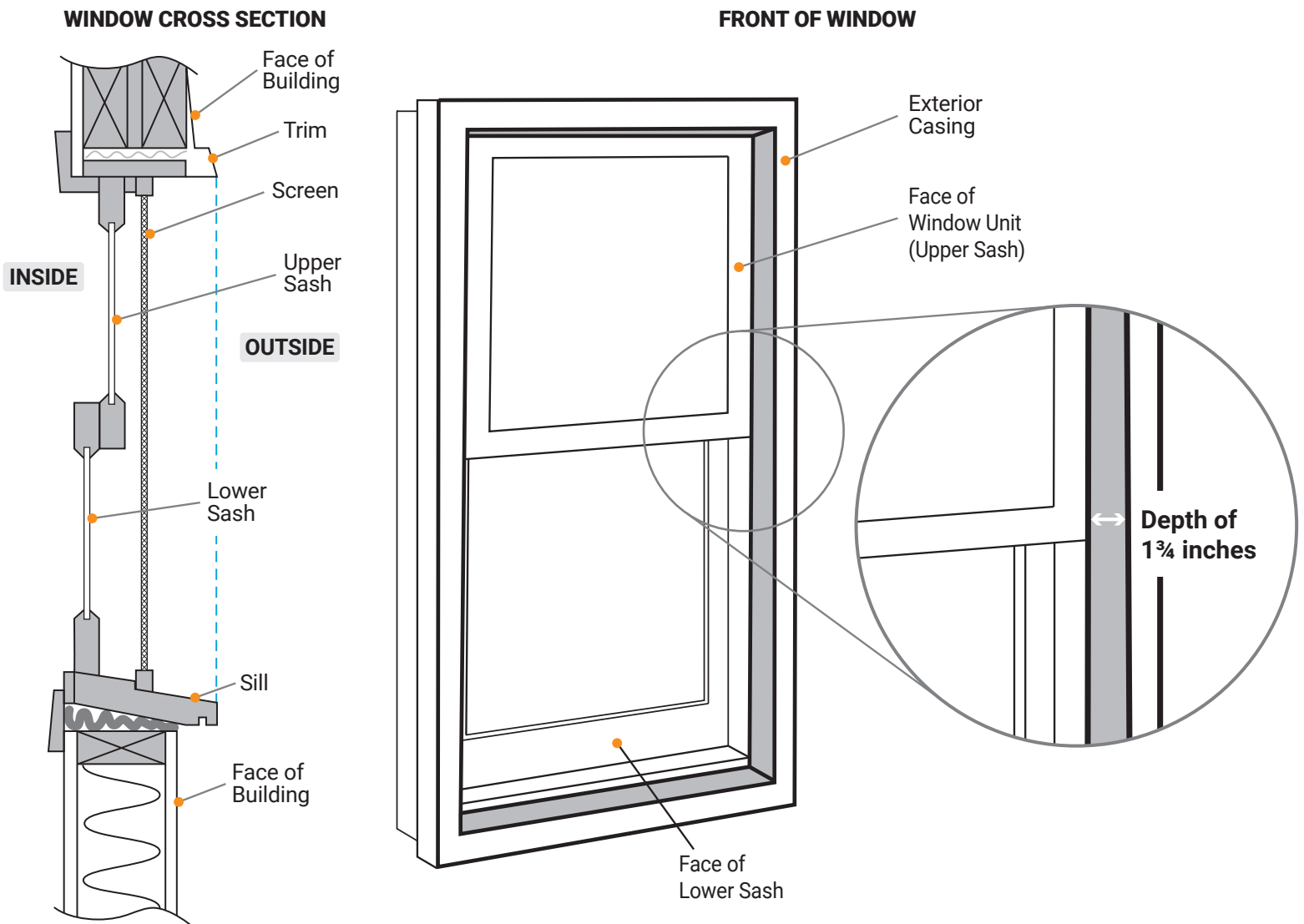


| DOOR SCHEDULE (PROPOSED HISTORICAL) | | | | | | |
|-------------------------------------|---------------|-------|-----------|---------|-------------|----------|
| TAG | PHASE CREATED | COUNT | DOOR SIZE | | SUFFIX | COMMENTS |
| | | | WIDTH | HEIGHT | | |
| GARAGE - FLOOR | | | | | | |
| 5 | PROPOSED | 1 | 3' - 0" | 8' - 0" | | |
| 6 | PROPOSED | 1 | 18' - 0" | 8' - 0" | GARAGE DOOR | |
| LEVEL 01 - FLOOR | | | | | | |
| 1 | PROPOSED | 1 | 2' - 0" | 6' - 8" | SP | |
| 2 | PROPOSED | 1 | 2' - 8" | 6' - 8" | | |
| 7 | PROPOSED | 1 | 2' - 8" | 6' - 8" | PD | |
| 3 | PROPOSED | 4 | 2' - 8" | 6' - 8" | SP | |
| 4 | PROPOSED | 1 | 3' - 0" | 6' - 8" | | |
| 8 | PROPOSED | 2 | 3' - 0" | 6' - 8" | DD | |
| 4 | PROPOSED | 1 | 3' - 0" | 6' - 8" | DTC | |
| 9 | PROPOSED | 2 | 3' - 0" | 6' - 8" | PD | |
| 10 | PROPOSED | 3 | 3' - 0" | 6' - 8" | SP | |
| 11 | PROPOSED | 2 | 4' - 0" | 6' - 8" | DD | |
| 12 | PROPOSED | 1 | 5' - 0" | 6' - 8" | PD | |
| 13 | PROPOSED | 1 | 6' - 0" | 6' - 8" | FR DR | |
| LEVEL 02 - FLOOR | | | | | | |
| 14 | PROPOSED | 1 | 3' - 0" | 6' - 8" | DD | |
| APTMT - FLOOR | | | | | | |
| 3 | PROPOSED | 2 | 2' - 8" | 6' - 8" | SP | |
| 14 | PROPOSED | 1 | 3' - 0" | 6' - 8" | DD | |
| 5 | PROPOSED | 1 | 3' - 0" | 8' - 0" | | |

| WINDOW SCHEDULE (PROPOSED HISTORICAL) | | | | | | | |
|---------------------------------------|---------------|-------|-------|--------|--------|-------------|----------|
| TAG | PHASE CREATED | COUNT | SIZE | | SUFFIX | HEAD HEIGHT | COMMENTS |
| | | | WIDTH | HEIGHT | | | |
| LEVEL 01 - FLOOR | | | | | | | |
| E | PROPOSED | 2 | 36" | 18" | FX | 7' - 2" | |
| F | PROPOSED | 2 | 32" | 42" | SH | 7' - 2" | |
| G | PROPOSED | 1 | 48" | 18" | FX | 7' - 2" | |
| H | PROPOSED | 18 | 32" | 68" | SH | 7' - 2" | |
| APTMT - FLOOR | | | | | | | |
| H | PROPOSED | 4 | 32" | 68" | SH | 7' - 8" | |



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov