



ITEM D5
HPO File #: HP2026_0079

April 23, 2026

1521 Columbia
Houston Heights East

CERTIFICATE OF APPROPRIATENESS

Applicant: Sam Gianukos, agent for, Lisa Osborn, owner

Property: 1521 Columbia Street, Lot 7, Block 137, Houston Heights Neighborhood Subdivision. The property includes a historic 1,476 square foot, one-story wood single-family residence situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Bungalow Craftsman style residence, constructed circa 1925, located in the Houston Heights East Historic District. Harris County Building Land Assessment Survey states that the 1925 structure burned Nov. 27, 1931. BLA dated 10-2-1956, shows a side addition built on left (South) elevation.

Proposal: New Construction- Two-story Accessory Structure

- The applicant is proposing the construction of a new detached two-story garage and apartment located at the rear of the property. The property currently has no existing garage.
- The proposal includes:
 - A first-floor garage with an area of 527 square feet.
 - A second-floor apartment with an area of 527 square feet.
 - All new windows to be inset & recessed
- Building Dimensions and Roof Form:
 - The proposed roof pitch is 5:12, matching the roof pitch of the existing house.
 - The proposed maximum eave height is 19 feet 5 inches.
 - The proposed maximum ridge height is 25 feet 2 inches.
- Interior Ceiling Heights:
 - The first-floor garage level is proposed with a 9-foot ceiling height.
 - The second-floor apartment level is proposed with a 9-foot ceiling height.
- Exterior Materials:
 - The proposed exterior cladding for the new structure is 5½-inch fiber cement smooth lap siding.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -



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S D NA S - satisfies D - does not satisfy NA - not applicable

 Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 2,125

 Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,125



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Side Wall Length and Insets (Addition and New Construction)

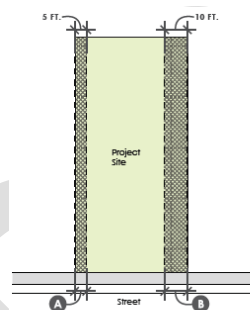
MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 42'

Inset on North side: 1'

Inset on South side: 8'

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
C	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (1): 12'

Proposed side setback (2): 5'

Cumulative side setback: 17'



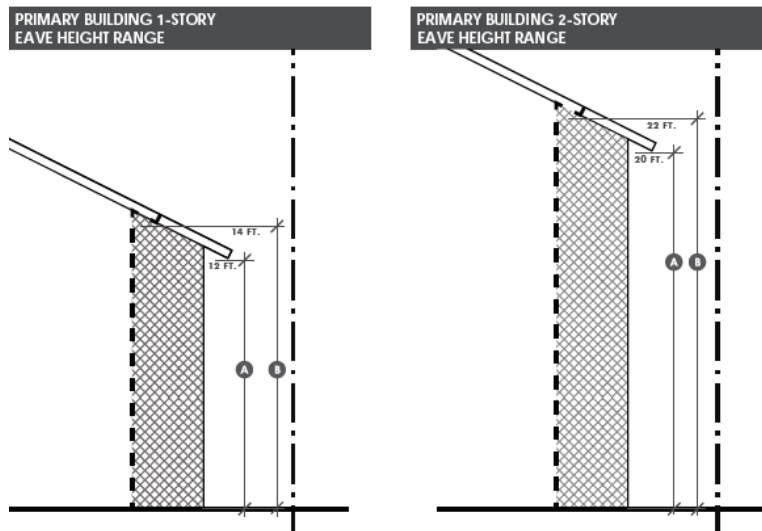
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Eave Height (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback

KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 20'

Proposed ridge height: 25'-2" (Max is 26')

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.



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Proposed rear setback: 1'-6"

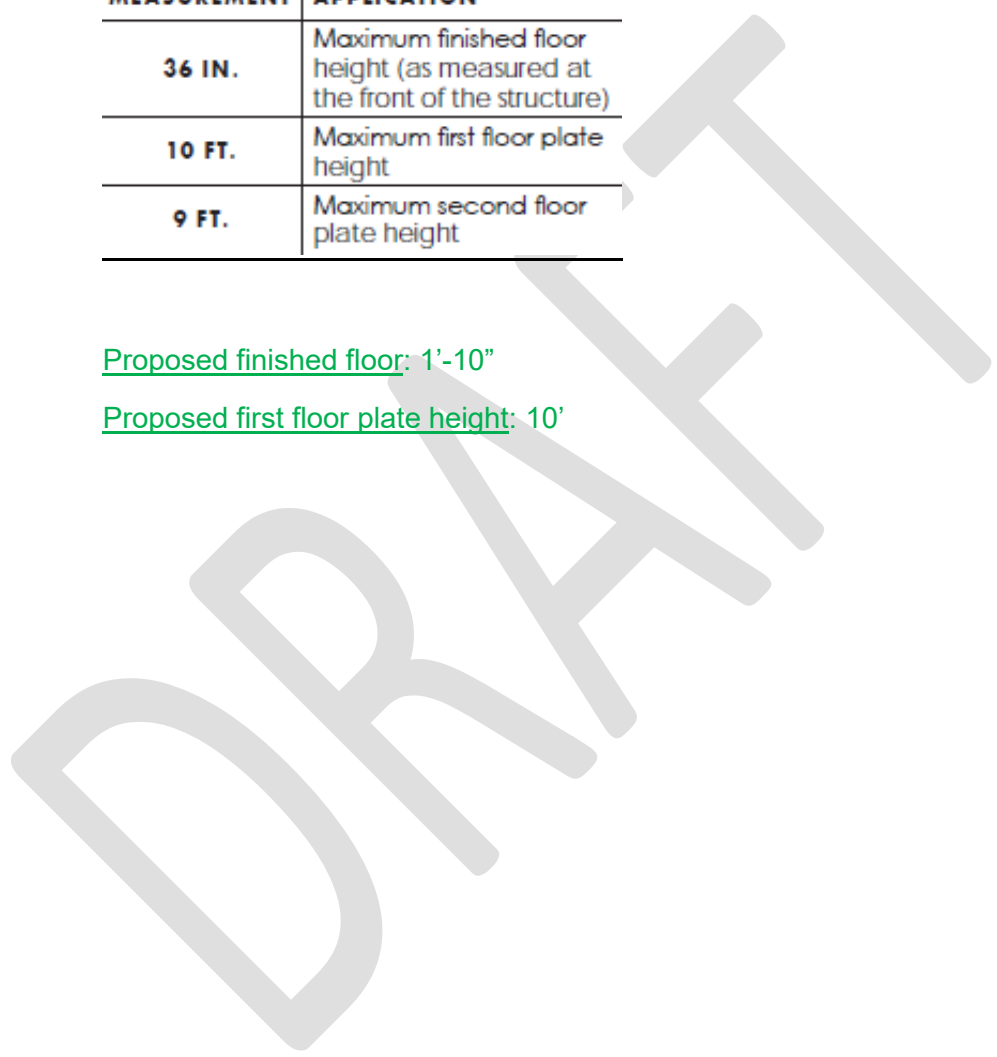
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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 1'-10"

Proposed first floor plate height: 10'





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District Map



1521
Columbia
St

Houston Heights East Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: February 20, 2008
Source: GIS Services Division
Date: May 1, 2013
Reference: pj17025_Heights_East

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING & DEVELOPMENT DEPARTMENT



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Inventory Photo



Existing Photos Provided By Applicant





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Existing Photos Provided By Applicant



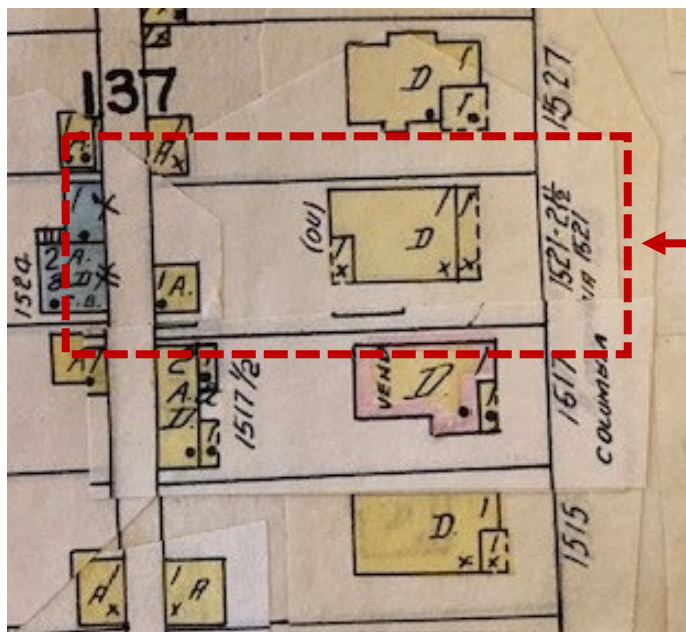


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1925 Sanborn



Harris County Building Land Assessment Survey (page 2): 4-15-1932

Page _____

4-15-1932

Benner G. M. Owner

Lot *4* Block *137*

Houston Heights Addition

REMARKS:

*Burned Nov 27, 1931
@cancel.*

1932

County Value *1931* \$ *1050*



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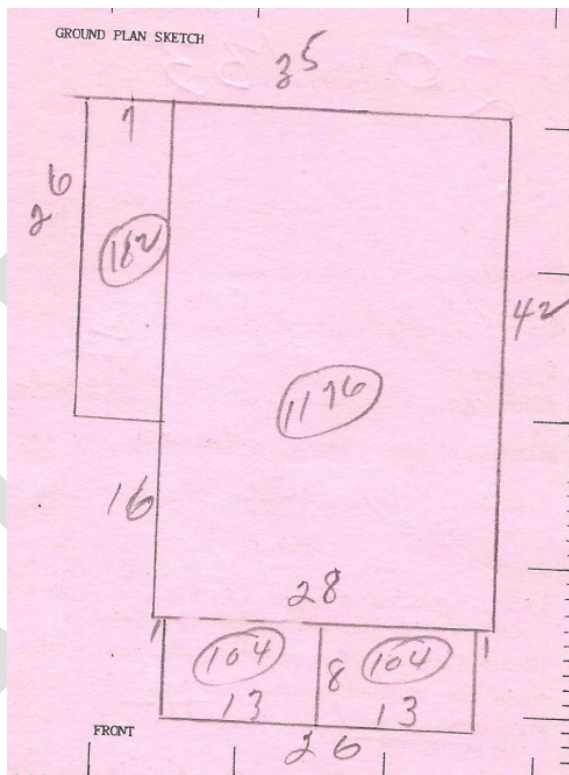
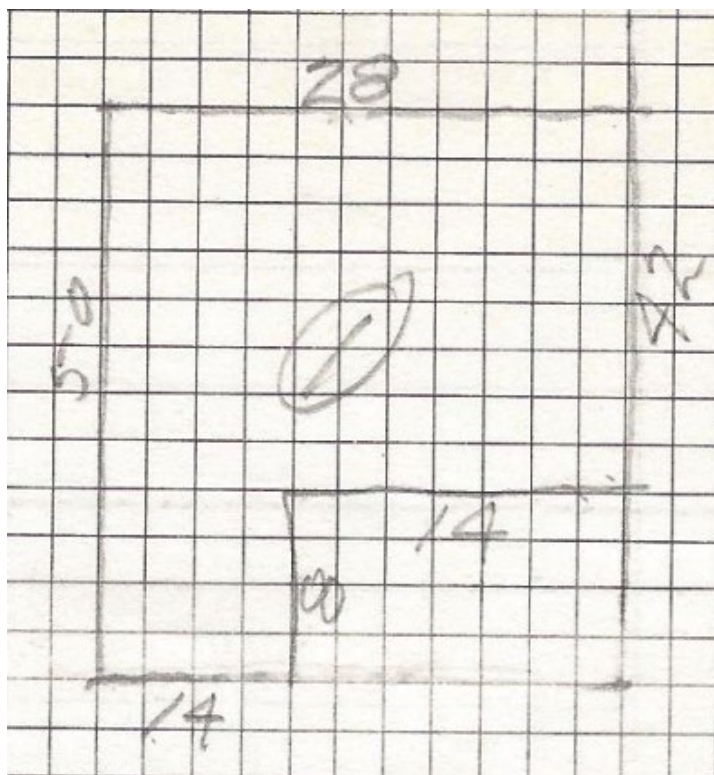
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Harris County Building Land Assessment Survey:

Post-1932

10-2-1956



Google Satellite Image: 1521 Columbia St





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3D RENDERINGS





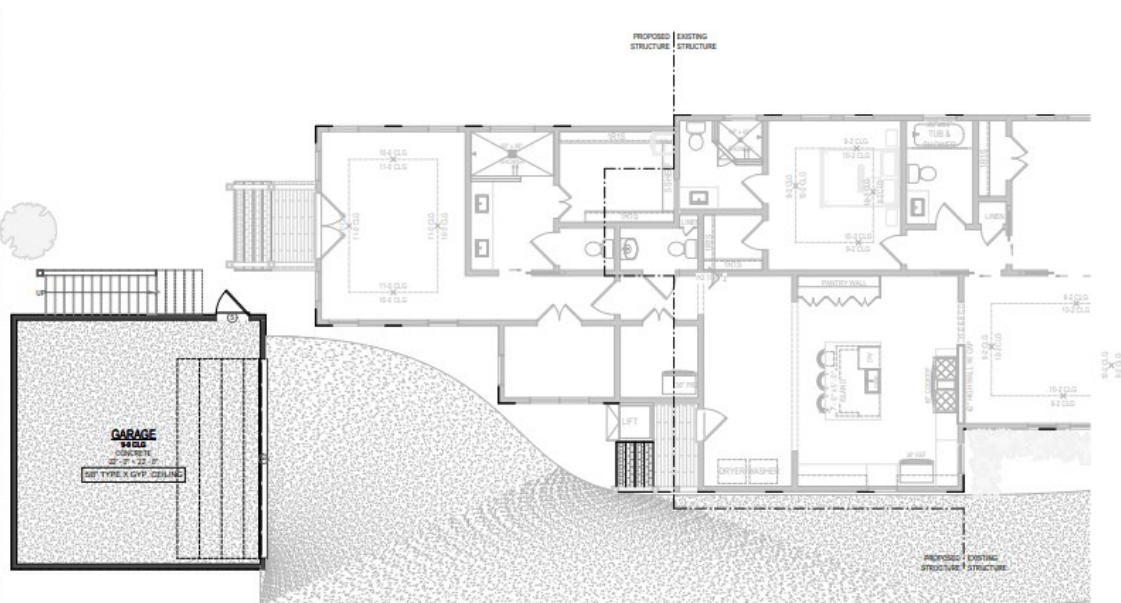
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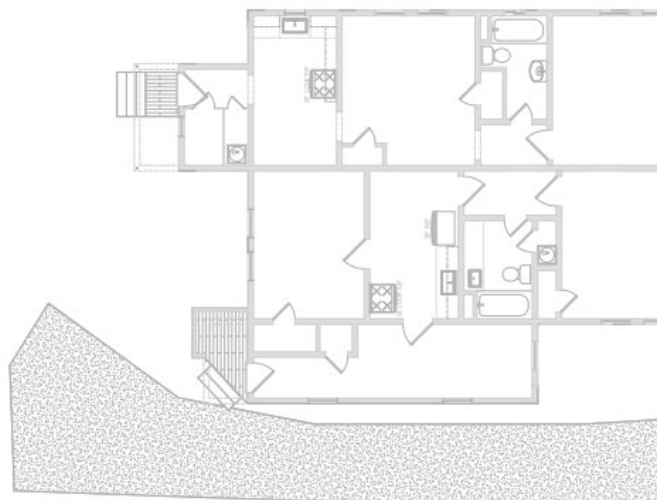
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FIRST FLOOR PLAN



LEVEL 01 - PROPOSED FLOOR PLAN
Scale: 3/16" = 1'-0"



LEVEL 01 - EXISTING FLOOR PLAN
Scale: 3/16" = 1'-0"



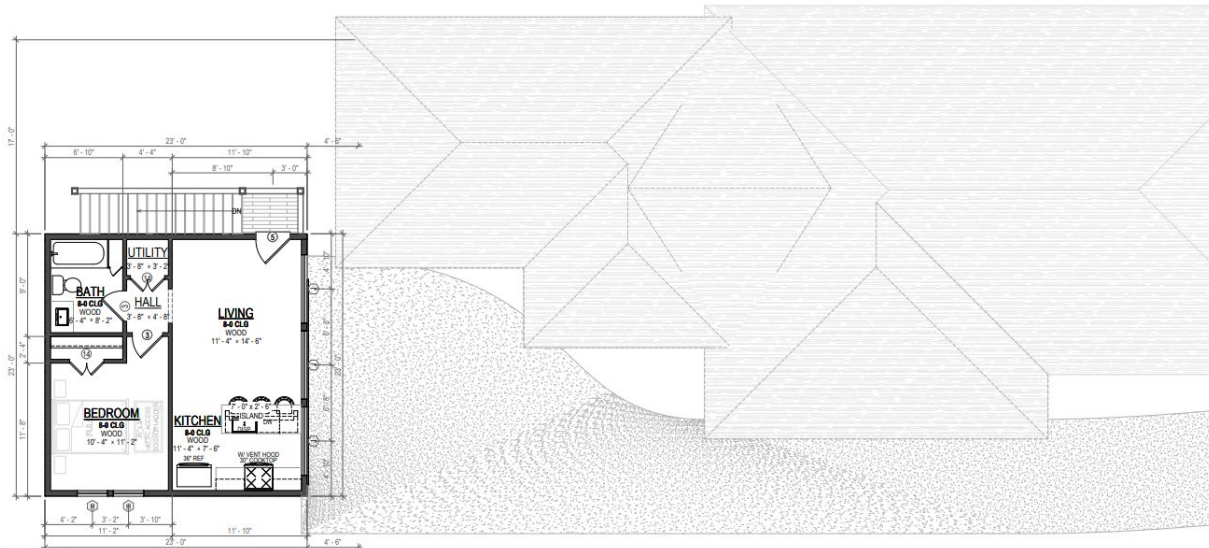
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SECOND FLOOR PLAN



LEVEL 02 - PROPOSED FLOOR PLAN
Scale: 3/16" = 1'-0"

DRAFT

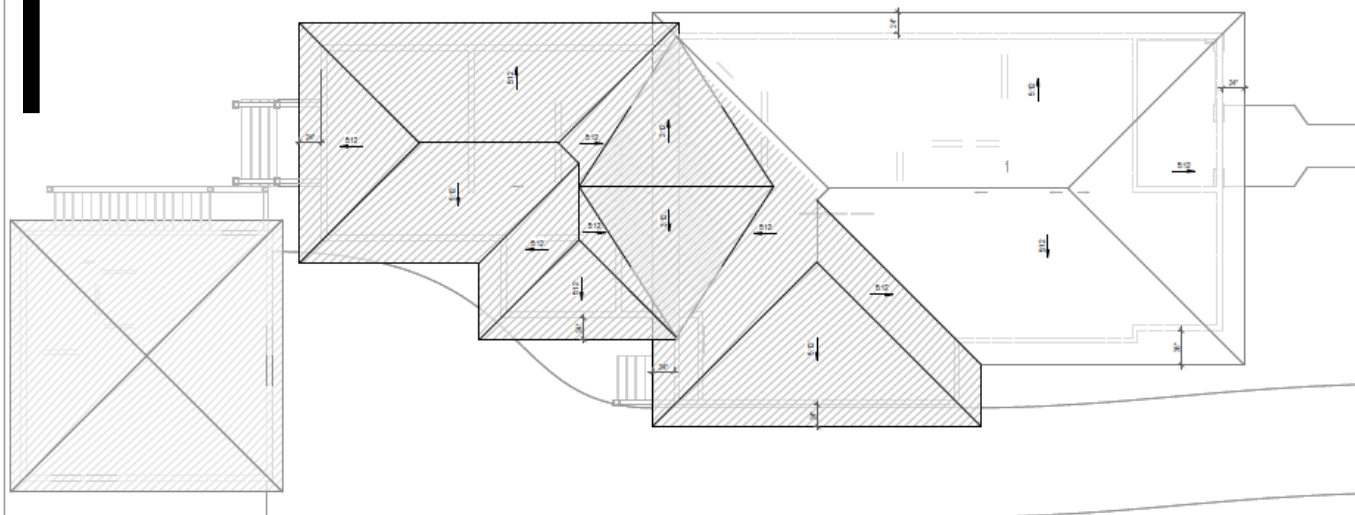



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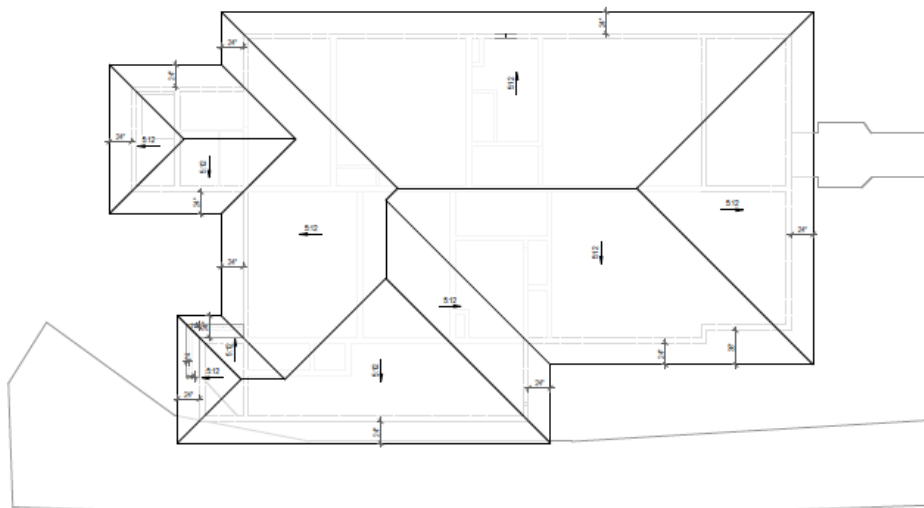
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ROOF PLAN



 **PROPOSED ROOF PLAN**
Scale: 3/16" = 1'-0"



 **EXISTING ROOF PLAN**
Scale: 3/16" = 1'-0"

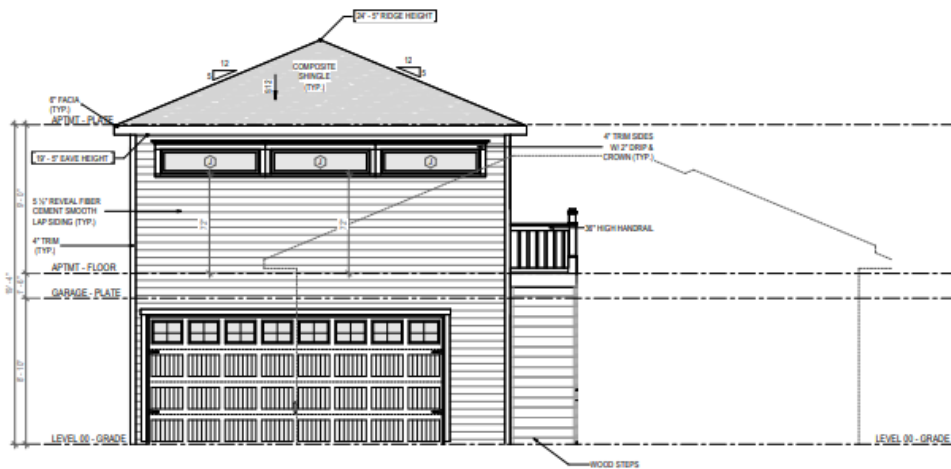


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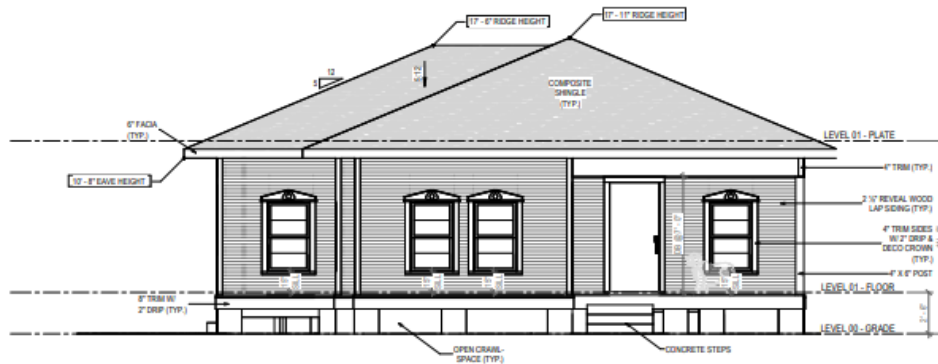
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FRONT (EAST) ELEVATION



PROPOSED EAST ELEVATION
Scale: 1/4" = 1'-0"



EXISTING EAST ELEVATION
Scale: 1/4" = 1'-0"



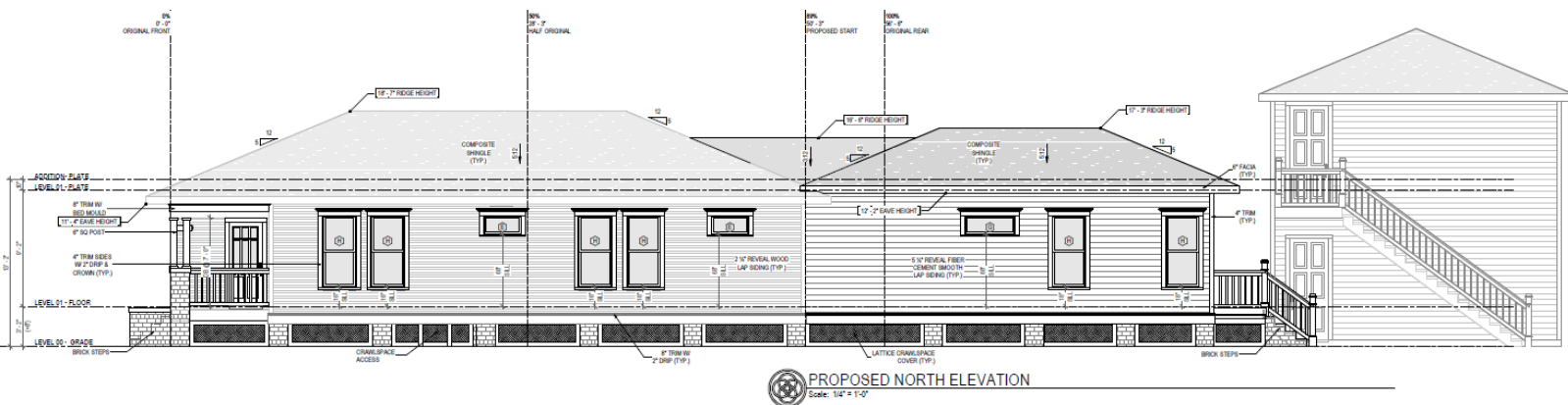
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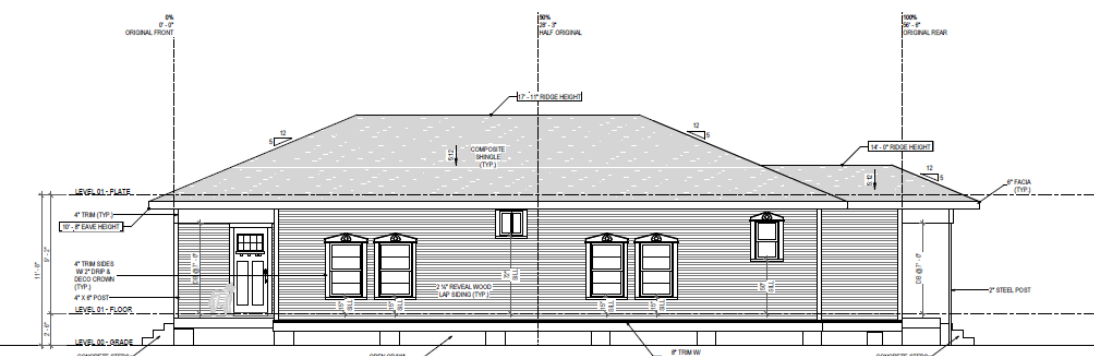
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NORTH (SIDE) ELEVATION



PROPOSED NORTH ELEVATION
Scale: 1/4" = 1'-0"

NOTE: FINISHED FLOOR INCREASE
THE FINISHED FLOOR OF THE EXISTING STRUCTURE IS TO BE LIFTED -4\"/>



EXISTING NORTH ELEVATION
Scale: 1/4" = 1'-0"



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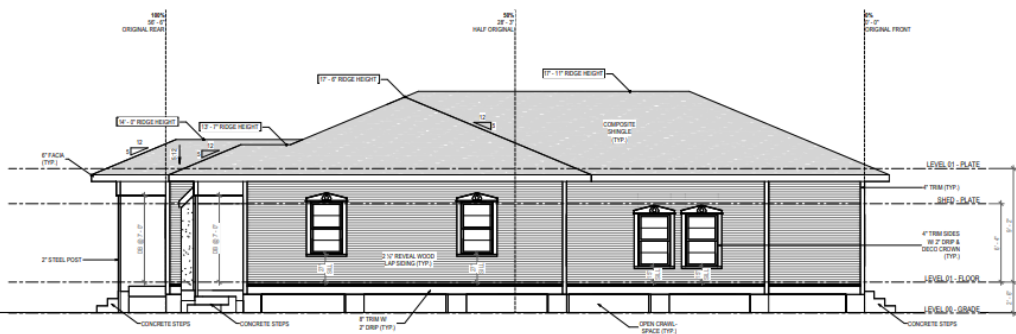
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SOUTH (SIDE) ELEVATION



PROPOSED SOUTH ELEVATION
Scale: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

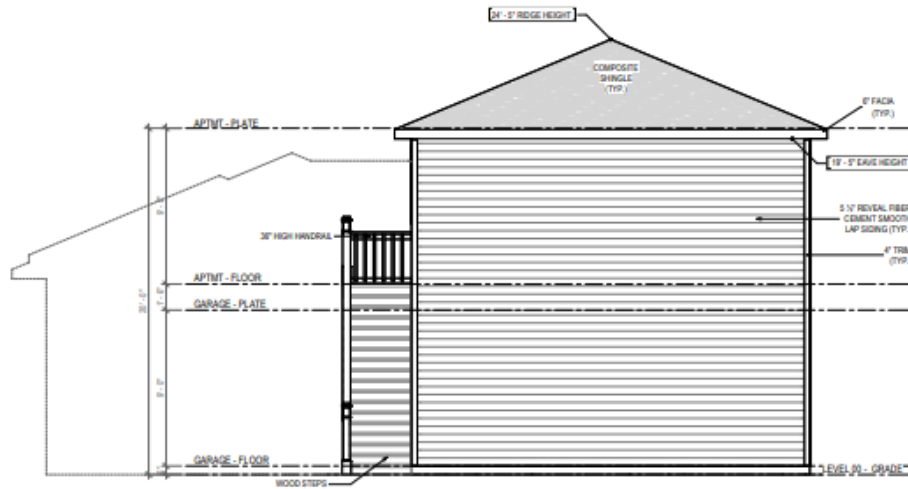


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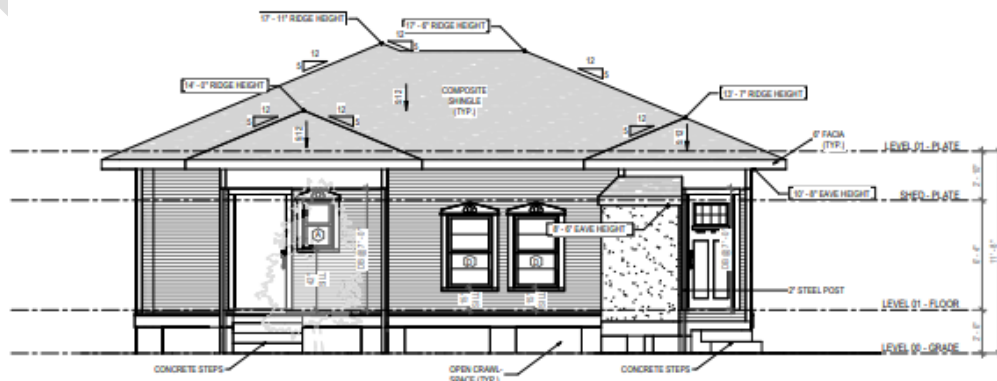
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REAR (WEST) ELEVATION



PROPOSED WEST ELEVATION
Scale: 1/4" = 1'-0"



EXISTING WEST ELEVATION
Scale: 1/4" = 1'-0"



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AREA CALCULATIONS

F.A.R RESOLUTION	
LOT AREA	6,600 S.F.
MAX ALLOWED HEATED AREA	2,904 S.F.
<i>PROPOSED HEATED - (HOUSE)</i>	2,125 S.F.
<i>PROPOSED HEATED - (GARAGE APT)</i>	484 S.F. - 484 S.F.
PROPOSED HEATED AREA	(-779sf) 2,125 S.F.
FLOOR AREA RATIO	32.20 %

PROPOSED CALCULATIONS OF IMPERVIOUS PERCENTAGE	
HOUSE	2,125 S.F.
PORCHES	64 S.F.
DRIVEWAY	1,372 S.F.
SIDEWALK	107 S.F.
GARAGE	527 S.F.
TOTAL OF IMPERVIOUS COVER	4,195 S.F.
LOT AREA	6,600 S.F.
PERCENTAGE OF IMPERVIOUS AREA	63.56 %

EXISTING CALCULATIONS OF IMPERVIOUS PERCENTAGE	
HOUSE	1,556 S.F.
PORCHES	185 S.F.
DRIVEWAY	806 S.F.
SIDEWALK	96 S.F.
GARAGE	0 S.F.
TOTAL OF IMPERVIOUS COVER	2,643 S.F.
LOT AREA	6,600 S.F.
PERCENTAGE OF IMPERVIOUS AREA	40.05 %



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Existing and Proposed Window/Door Schedule

DOOR SCHEDULE (EXISTING HISTORICAL)						
TAG	PHASE CREATED	COUNT	DOOR SIZE		SUFFIX	PHASE DEMOLISHED
			WIDTH	HEIGHT		
LEVEL 01 - FLOOR						
1	EXISTING	8	2' - 0"	6' - 8"	SP	PROPOSED
2	EXISTING	2	2' - 8"	6' - 8"		PROPOSED
3	EXISTING	5	2' - 8"	6' - 8"	SP	PROPOSED
4	EXISTING	2	3' - 0"	6' - 8"		PROPOSED

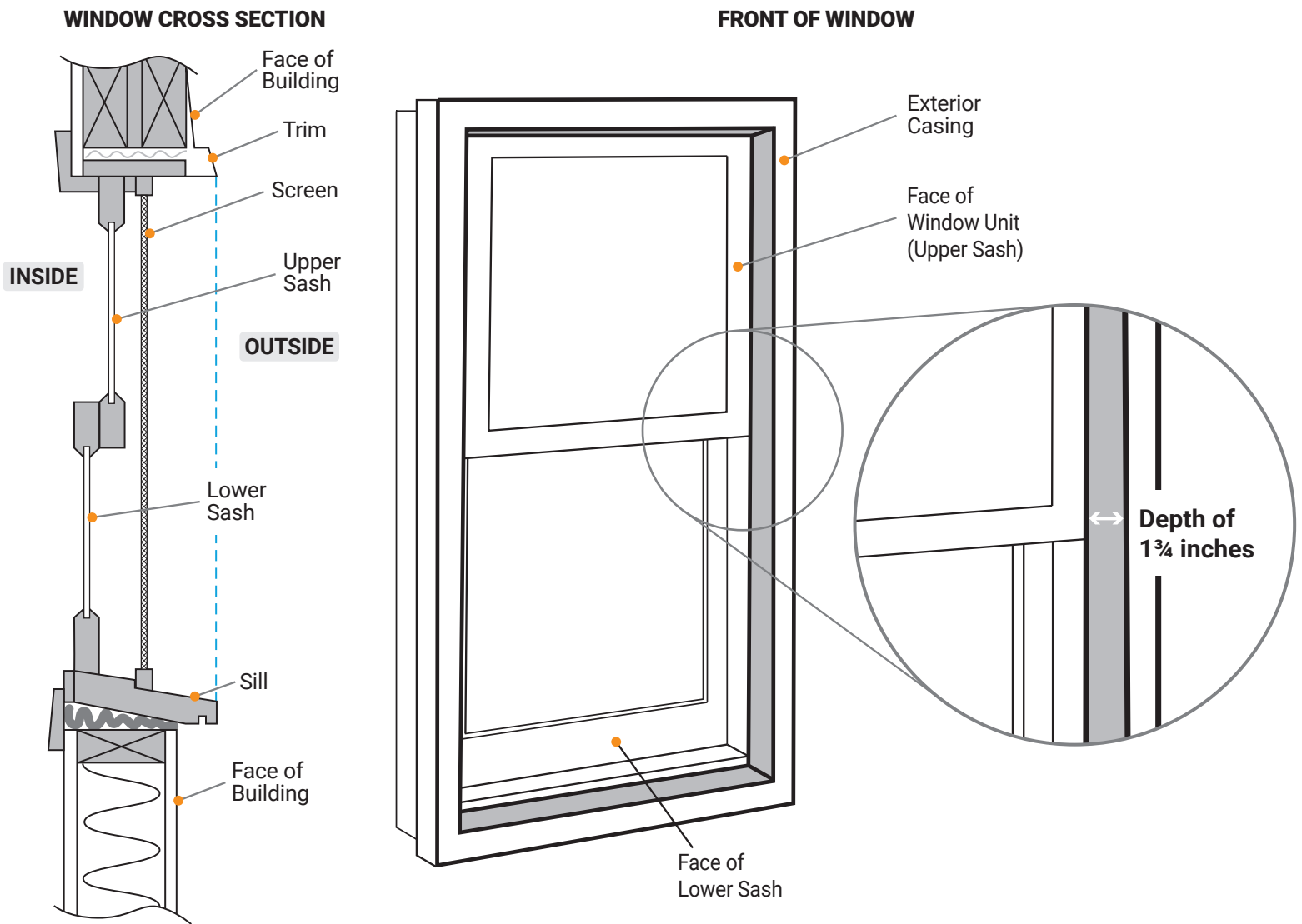
WINDOW SCHEDULE (EXISTING HISTORICAL)							
TAG	PHASE CREATED	COUNT	SIZE		SUFFIX	HEAD HEIGHT	PHASE DEMOLISHED
			WIDTH	HEIGHT			
LEVEL 01 - FLOOR							
A	EXISTING	1	21"	34"	SH	6' - 4"	PROPOSED
B	EXISTING	1	22"	24"	SL	8' - 0"	PROPOSED
C	EXISTING	1	22"	36"	SH	7' - 2"	PROPOSED
D	EXISTING	14	31"	51"	SH	<varies >	PROPOSED

DOOR SCHEDULE (PROPOSED HISTORICAL)						
TAG	PHASE CREATED	COUNT	DOOR SIZE		SUFFIX	COMMENTS
			WIDTH	HEIGHT		
GARAGE - FLOOR						
5	PROPOSED	1	3' - 0"	8' - 0"		
6	PROPOSED	1	18' - 0"	8' - 0"	GARAGE DOOR	
LEVEL 01 - FLOOR						
1	PROPOSED	1	2' - 0"	6' - 8"	SP	
2	PROPOSED	1	2' - 8"	6' - 8"		
7	PROPOSED	1	2' - 8"	6' - 8"	PD	
3	PROPOSED	4	2' - 8"	6' - 8"	SP	
4	PROPOSED	1	3' - 0"	6' - 8"		
8	PROPOSED	2	3' - 0"	6' - 8"	DD	
4	PROPOSED	1	3' - 0"	6' - 8"	DTC	
9	PROPOSED	2	3' - 0"	6' - 8"	PD	
10	PROPOSED	3	3' - 0"	6' - 8"	SP	
11	PROPOSED	2	4' - 0"	6' - 8"	DD	
12	PROPOSED	1	5' - 0"	6' - 8"	PD	
13	PROPOSED	1	6' - 0"	6' - 8"	FR DR	
LEVEL 02 - FLOOR						
14	PROPOSED	1	3' - 0"	6' - 8"	DD	
APTMT - FLOOR						
3	PROPOSED	2	2' - 8"	6' - 8"	SP	
14	PROPOSED	1	3' - 0"	6' - 8"	DD	
5	PROPOSED	1	3' - 0"	8' - 0"		

WINDOW SCHEDULE (PROPOSED HISTORICAL)							
TAG	PHASE CREATED	COUNT	SIZE		SUFFIX	HEAD HEIGHT	COMMENTS
			WIDTH	HEIGHT			
LEVEL 01 - FLOOR							
E	PROPOSED	2	36"	18"	FX	7' - 2"	
F	PROPOSED	2	32"	42"	SH	7' - 2"	
G	PROPOSED	1	48"	18"	FX	7' - 2"	
H	PROPOSED	18	32"	68"	SH	7' - 2"	
APTMT - FLOOR							
H	PROPOSED	2	32"	68"	SH	7' - 8"	
J	PROPOSED	3	72"	18"	FX	7' - 6"	



Historic Window Standard: New Construction & Replacement



Minimum 1¾ inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1¾ inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov