



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM D18
HPO File #: HP2026_0019

April 23, 2026

528 Columbia
Houston Heights South

Applicant: Alia DeAnda, agent / John Buganza, owner

Property: 528 Columbia Street, Lot 19, Block 286, Houston Heights Neighborhood Subdivision.
The property includes a historic 1,320 square foot, one-story wood single-family residence and detached garage situated on a 6,600 square foot (50'x132') interior lot.

Significance: Contributing Craftsman style residence, constructed circa 1915, located in the Houston Heights South Historic District.

Proposal: Demolition – Siding and Windows

During construction of the original COA (HP2023_0252) which was approved with conditions the applicant removed the following:

- The existing wood siding (only front façade remains).
- Original wood windows.
- The existing composition shingle roof.
- The front porch steps and brick pony wall.
- The existing shiplap from the contributing structure.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Denial - does not satisfy criteria

Denial of a COA for work performed without a valid COA.

Issuance of a COR to install 3/4" plywood in place of removed shiplap, install wood bevel siding, front porch steps and brick pony wall on original structure, and restore existing windows with original light pattern.

HAHC Action: -



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APPROVAL CRITERIA

DEMOLITION OF A LANDMARK, PROTECTED LANDMARK, CONTRIBUTING STRUCTURE, OR WITHIN AN ARCHAEOLOGICAL SITE

Sec. 33-247(a): The issuance of a certificate of appropriateness for the demolition of a landmark, a protected landmark, or a contributing structure, or for the demolition of a building, structure or object on or in an archaeological site shall be granted only if:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The building, structure, or object has seriously deteriorated to an unusable state and is beyond reasonable repair; and
(2) The HAHC finds, based on the preponderance of credible evidence presented subject to the establishment by the applicant, the existence of an unreasonable economic hardship under subsection (c) of this section or the establishment of an unusual and compelling circumstance pursuant to subsection (d) of this section.

(c) Determination of the existence of an unreasonable economic hardship shall be based upon the following criteria:

- (1) That the property is incapable of earning a reasonable return, regardless of whether the return is the most profitable return, including without limitation, regardless of whether the costs of maintenance or improvement of the property exceed its fair market value;
(2) That the owner has demonstrated that the property cannot be adapted for any other use, whether by the current owner, by a purchaser or by a lessee, that would result in a reasonable return;
(3) That the owner has demonstrated reasonable efforts to find a purchaser or lessee interested in acquiring the property and preserving it, and that those efforts have failed; and
(4) If the applicant is a nonprofit organization, determination of an unreasonable economic hardship shall instead be based upon whether the denial of a certificate of appropriateness financially prevents or seriously interferes with carrying out the mission, purpose, or function of the nonprofit corporation

OR

(d) Determination of the existence of an unusual and compelling circumstance shall be based upon the following criteria:

- (1) That current information does not support the historic or archaeological significance of this building, structure or object or its importance to the integrity of an historic district, if applicable;
(2) Whether there are definite plans for reuse of the property if the proposed demolition is carried out and what effect such plans have on the architectural, cultural, historical or archaeological character of the context area; and
(3) Whether reasonable measures can be taken to save the building, structure or object from further deterioration, collapse, arson, vandalism or neglect.



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

checkboxes

Maximum Lot Coverage (Addition and New Construction)

Table with 2 columns: LOT SIZE, MAXIMUM LOT COVERAGE. Rows include lot size ranges from <4000 to 8000+ with corresponding coverage percentages.

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 1,791

Remaining Amount: 849

checkboxes

Maximum Floor Area Ratio (Addition and New Construction)

Table with 2 columns: LOT SIZE, MAXIMUM FAR. Rows include lot size ranges from <4000 to 8000+ with corresponding FAR values.

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,904

Remaining Amount: 0



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Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

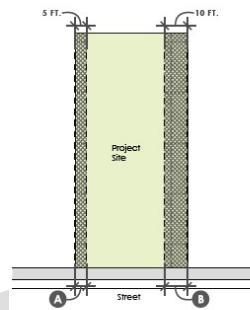
Side Wall Length: 44'-1"

Inset on East side: 11'-10 3/4"

Inset on West side: 4'-8"

Offset on South side: 8'-8" offset (original rear corner lost due to earlier alteration)

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (East): 7'-2"

Proposed side setback (West): 8'-11"

Cumulative side setback: 16'-1"



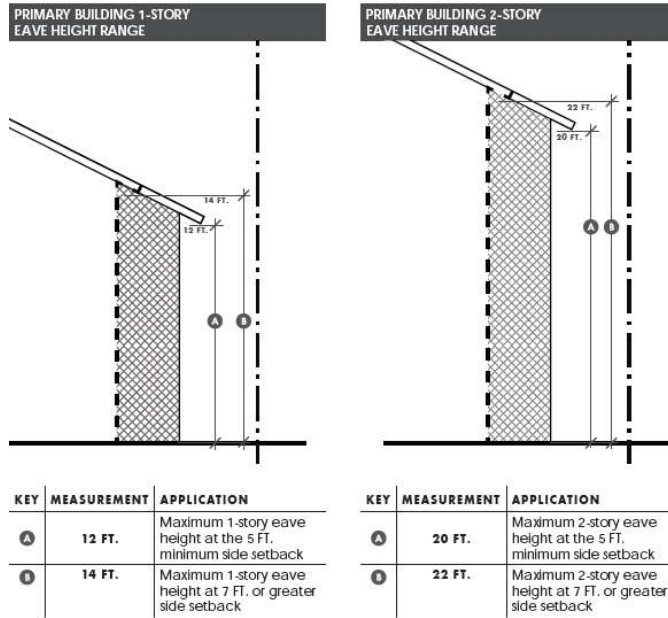
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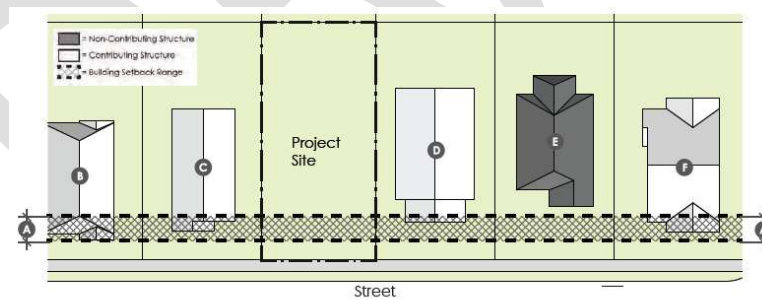
Eave Height (Addition and New Construction)



Proposed eave height: 22' at minimum 7'-2" side setback

Front Setbacks (New Construction)

The setback is the distance from the property line to the front wall, porch, or exterior feature.



If applicable:	Front Setback of Contributing Neighbors (must be in same historic district)
#1	15' (402 E 18th)
#2	10'2" (401 E 18th)
#3	17' (412 E 18th)

KEY	MEASUREMENT	APPLICATION
A	RANGE	Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area.

Proposed front setback: N/A



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Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: 10'-7"

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 3'

Proposed first floor plate height: 10'

Proposed second floor plate height: 9'



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DISTRICT MAP



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INVENTORY PHOTO

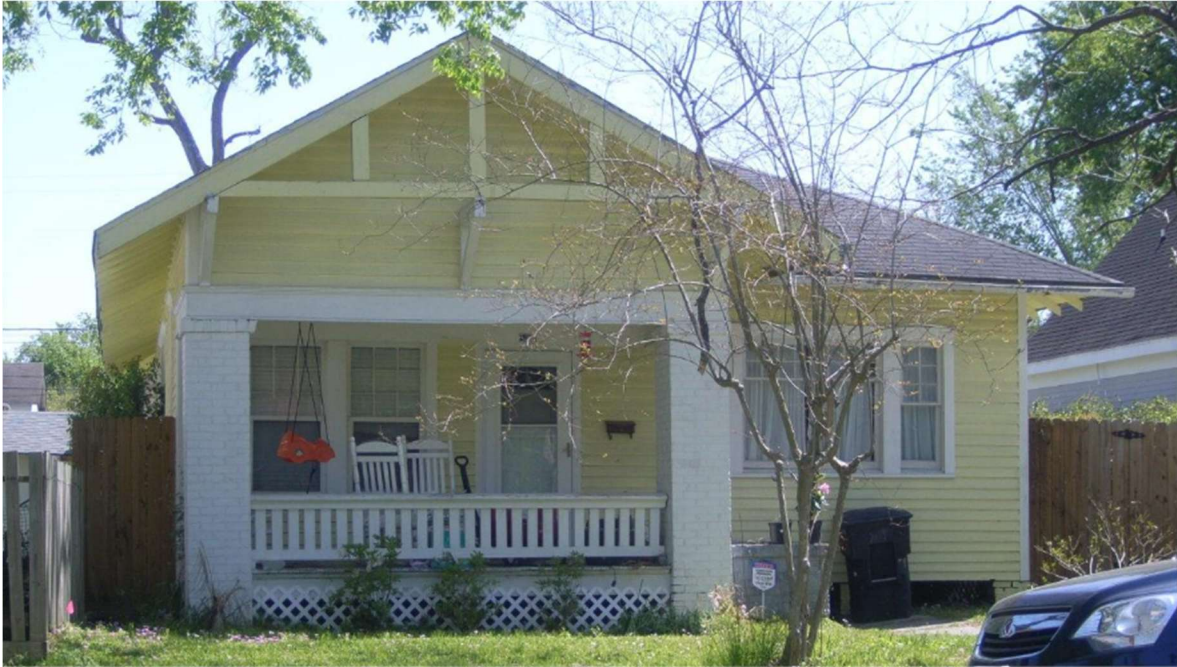


PHOTO (PRIOR TO COA)





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CURRENT PHOTO **(Violation of COA)**





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 City of Houston
Building Code Enforcement
Houston Public Works
Houston Permitting Center

DO NOT REMOVE

Address: 528 Columbia St
Project #: 2503 2706 Insp Type 133/134

Inspection reveals the following items DO NOT comply with the City of Houston Building Code.

NO PILES JUST FOOTINGS
PROVIDE A FULL SET OF PLANS STAPLED TOGETHER.
REMOVE VEGETATION UNDER FOUNDATION REMOVE A FORM SURVEY

Building 832-394-8840 Plumbing 832-394-8870
 Mechanical 832-394-8850 Occupancy 832-394-8880
 Electrical 832-394-8860 Signs 832-394-8890
 Other

INSPECTOR ID 332 INITIAL AP DATE 10.7.25



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APPROVED WITH CONDITIONS 11/9/2023

(EXPIRED AT THE TIME OF DEMOLITION)

Houston Archaeological & Historical Commission
November 9, 2023
HPO File No. 2023_0252

ITEM A3
528 Columbia St
Houston Heights South

CERTIFICATE OF APPROPRIATENESS

Application Date: Oct. 9, 2023

Applicant: Alia Anda, agent for, Albert Martinez, owner

Property: 528 Columbia Street, Lot 19, Block 286, Houston Heights Neighborhood Subdivision. The property includes a historic 1,320 square foot, one-story wood single-family residence and detached garage situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Craftsman style residence, constructed circa 1915, located in the Houston Heights South Historic District.

Proposal: Alteration: Rear Addition

- Two-story rear addition totaling 1,584 sq. ft.
 - First floor 471 sq. ft.
 - Second floor 1,123
- Max ridge height of 29' 5" with 5:12 roof pitch and composition shingles
 - Original structure ridge height at 22' 10" with 8:12 roof pitch
- Mix of fixed and SH vinyl windows, inset & recessed, and mix of single lite and 1-over-1 lite pattern
- Smooth, cementitious siding with a 4" reveal

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with conditions: Differentiate the max ridge height of original structure and the proposed addition ridge and place a fascia board over the exposed rafter tails on the front elevation of the rear addition.

HAHC Action: Approved with Conditions: Differentiate the max ridge height of original structure and the proposed addition ridge and place a fascia board over the exposed rafter tails on the front elevation of the rear addition.





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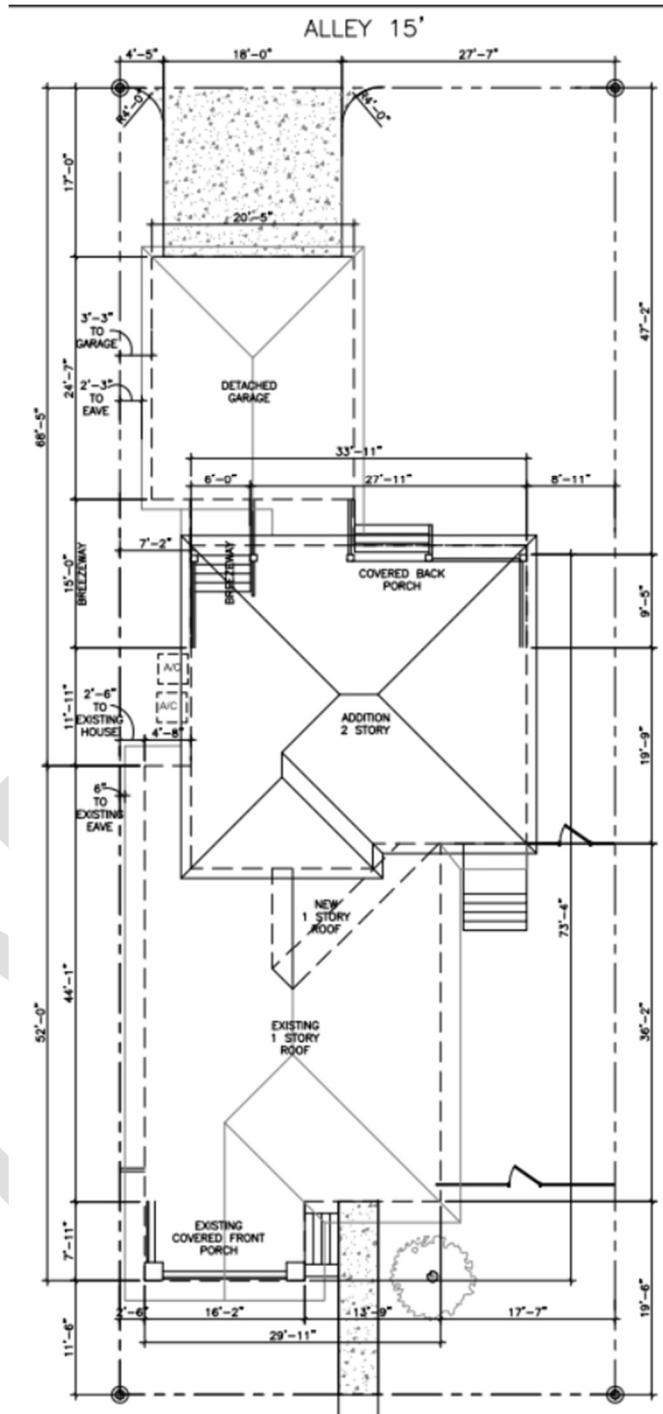
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PROPOSED SITE PLAN 11/09/2023





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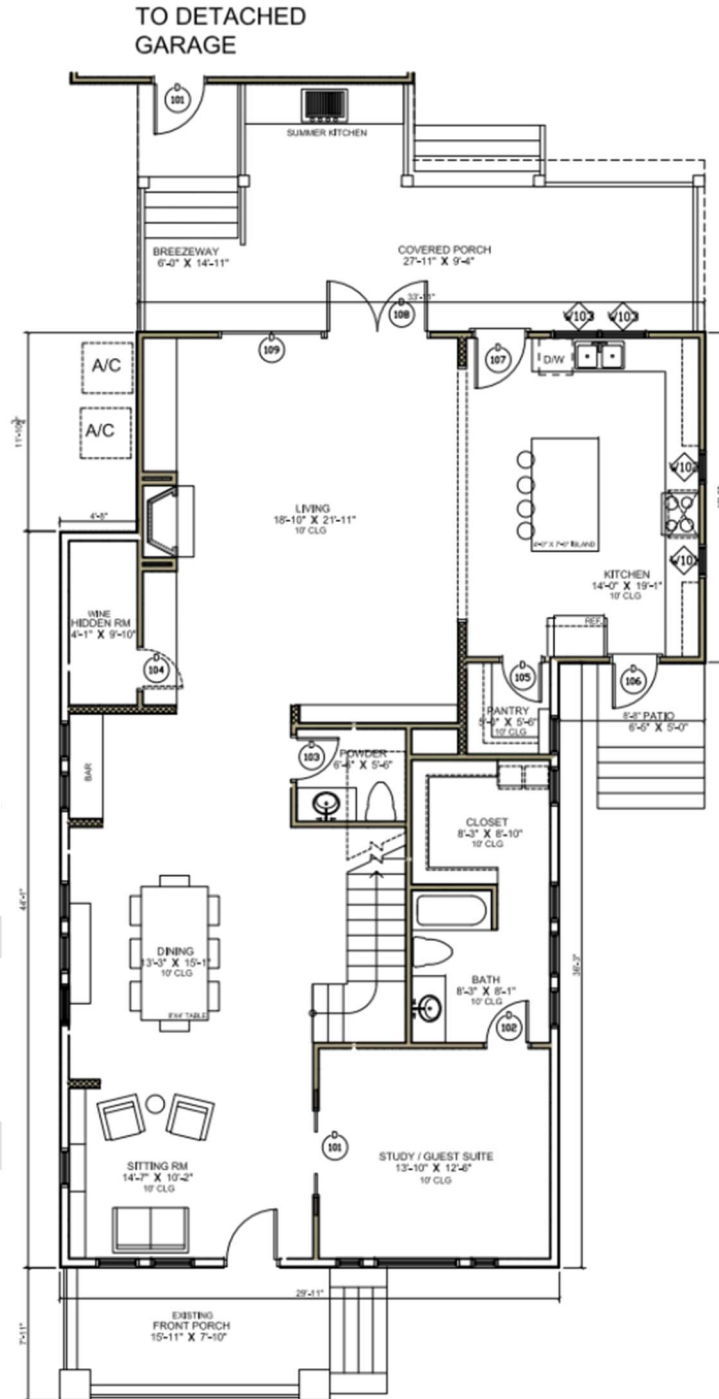
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PROPOSED FIRST FLOOR PLAN 11/09/2023





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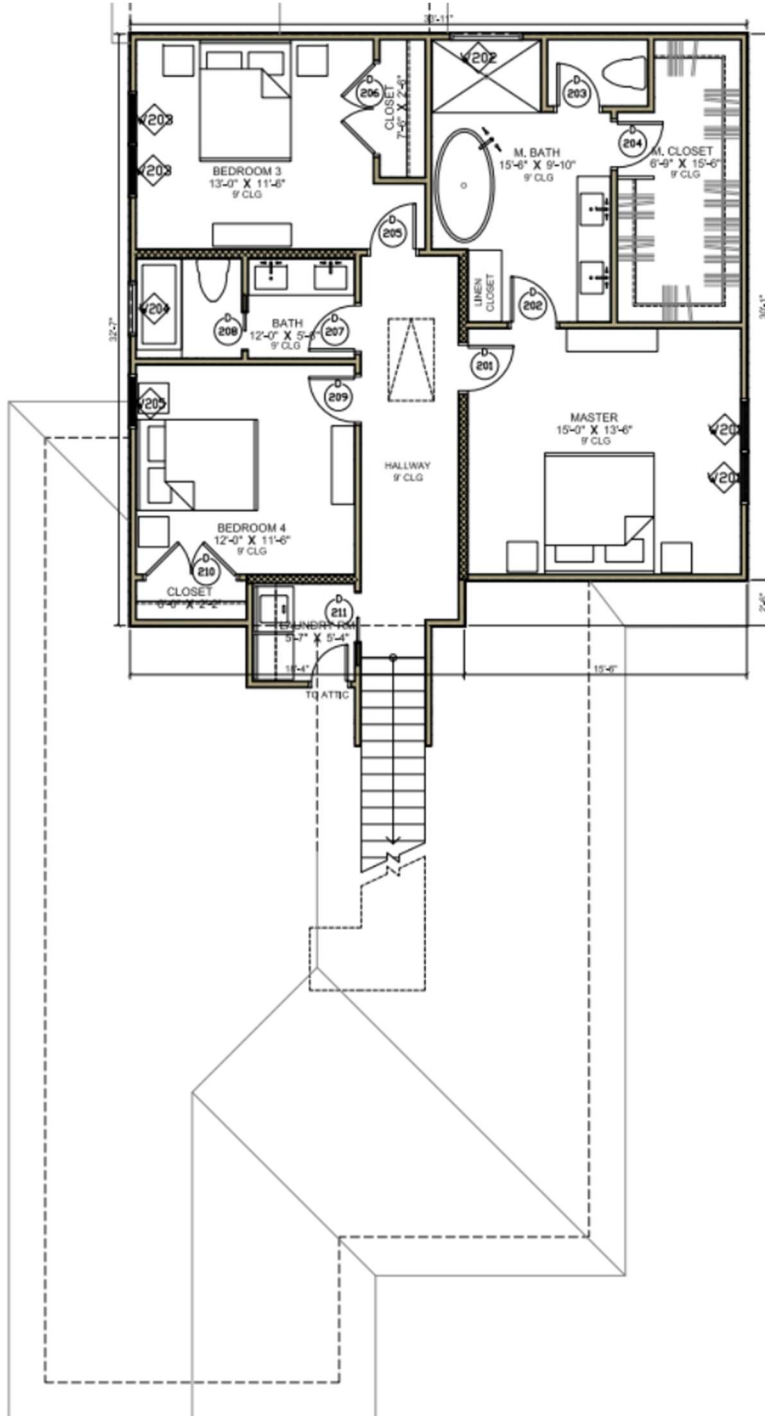
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PROPOSED SECOND FLOOR PLAN 11/09/2023





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PROPOSED FRONT ELEVATION



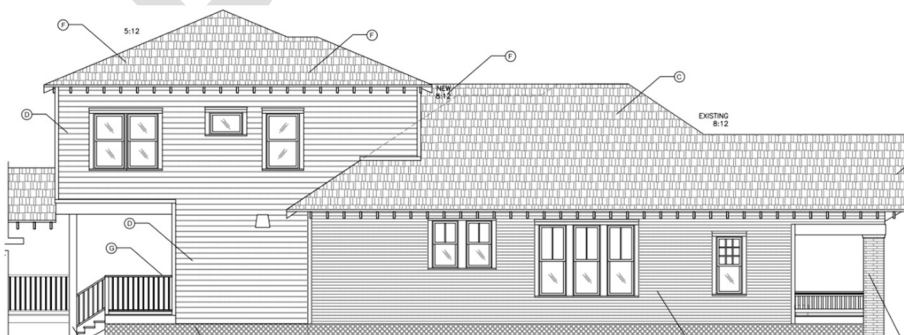
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED SIDE ELEVATION





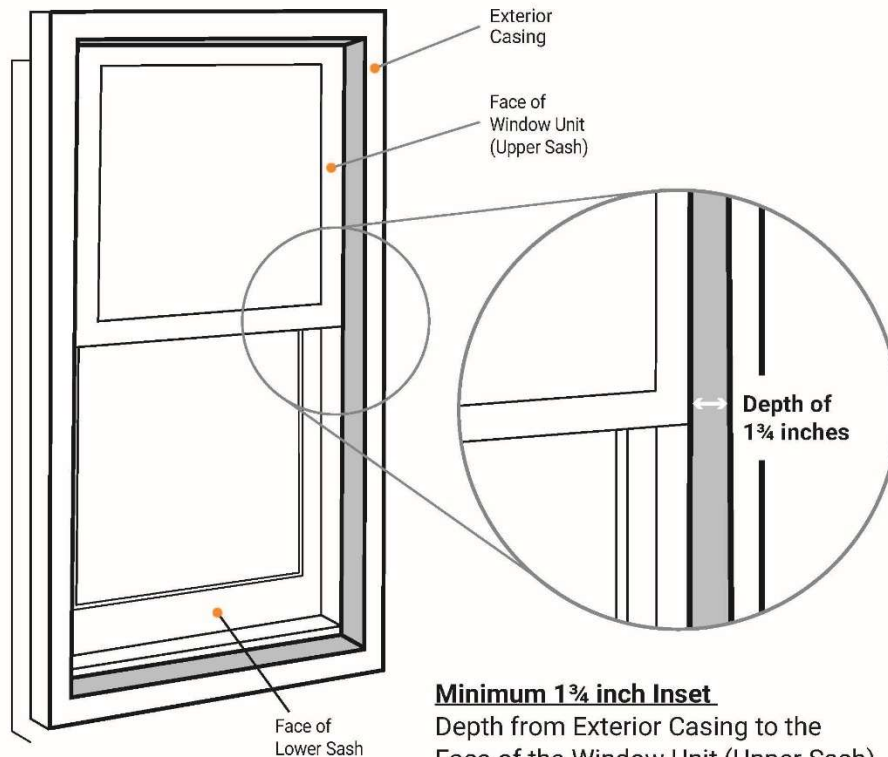
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ATTACHMENT A

Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset
Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:
Houston Office of Preservation
832-393-6556
historicpreservation@houstontx.gov