



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

Application Date: 04/23/2026

HPO File#: HP2026_0001

ITEM#: D27

Applicant: Judith Arroyo Arrazola, agent, Dan Meyer, owner

Property: 300 Main Street, Lot 5 & Track 4A, Block 33, Main Street Market Square, commercial building.

Significance: Contributing (includes potentially contributing), commercial building, Main Street Market Sq., circa 1914–1916.

Proposal: Alteration:

This project proposes exterior alterations to the ground-floor commercial space occupied by La Diabla Retro Bar within the historic Sterne Building (1914–1916), a contributing structure located in the Main Street/Market Square Historic District.

The scope of work includes the introduction of a corner patio wrapping the Main Street and Congress Street frontages,

- Moving location of doors – see plans.
- Enclosing current entry landing at corner of building.
- Swing out windows – see plans.
- Architectural railings
- Integrated lighting
- A fully ADA-compliant ramp
- Plus related site elements designed to enhance pedestrian engagement while preserving the historic character of the building.
- Water/ Fire Feature on pedestal
- Signage – with appropriate lighting

All proposed interventions are designed to be visually compatible with the historic context, subordinate to the primary structure, and reversible in nature. Materials such as painted iron railings, tempered glass panels, and discreet lighting fixtures are selected to complement the existing architecture without obscuring or permanently altering historic fabric.

The project improves accessibility, safety, and street-level activation along Main Street and Congress Street while respecting the scale, rhythm, and architectural integrity of the Sterne Building and the surrounding historic district.

Public Comments

-	- No Comments
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Civic Association

-	- No Comments
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Recommendation: Approval

HAHC Action:

Basis for Issuance: HAHC Review



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Date Effective:

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torquing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

DRAFT



CERTIFICATE OF APPROPRIATENESS

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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | |
|-------------------------------------|--------------------------|--------------------------|---|
| | | | S - satisfies D - does not satisfy NA - not applicable |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |

ARCHIVAL REFERENCE PHOTO (C. 1980S)

Historic Photo Reference (c. 1980s): Archival image showing original ground-floor condition without storefront glazing.



Texas Historical Commission. [Stuart Building, Sterne Building (l to r)], photograph, November 1, 1982; University of North Texas Libraries,



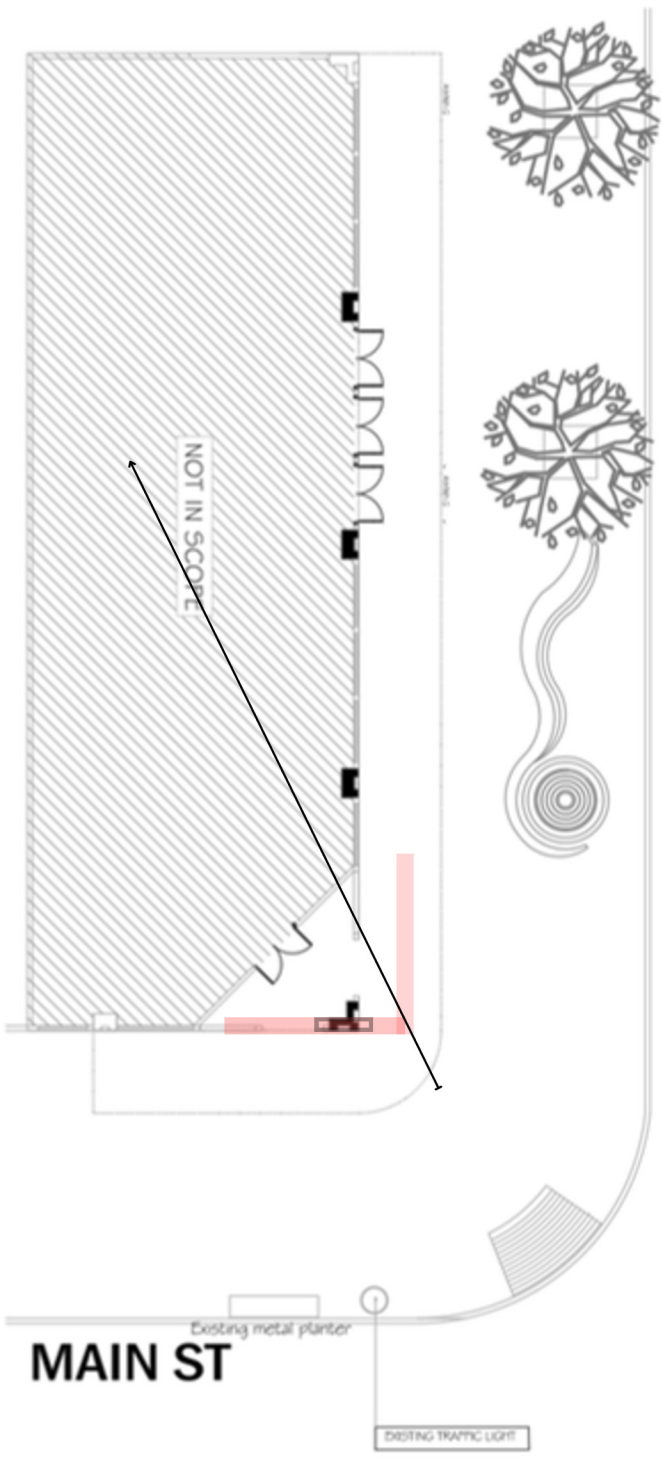
AERIAL VIEW OF PROPERTY



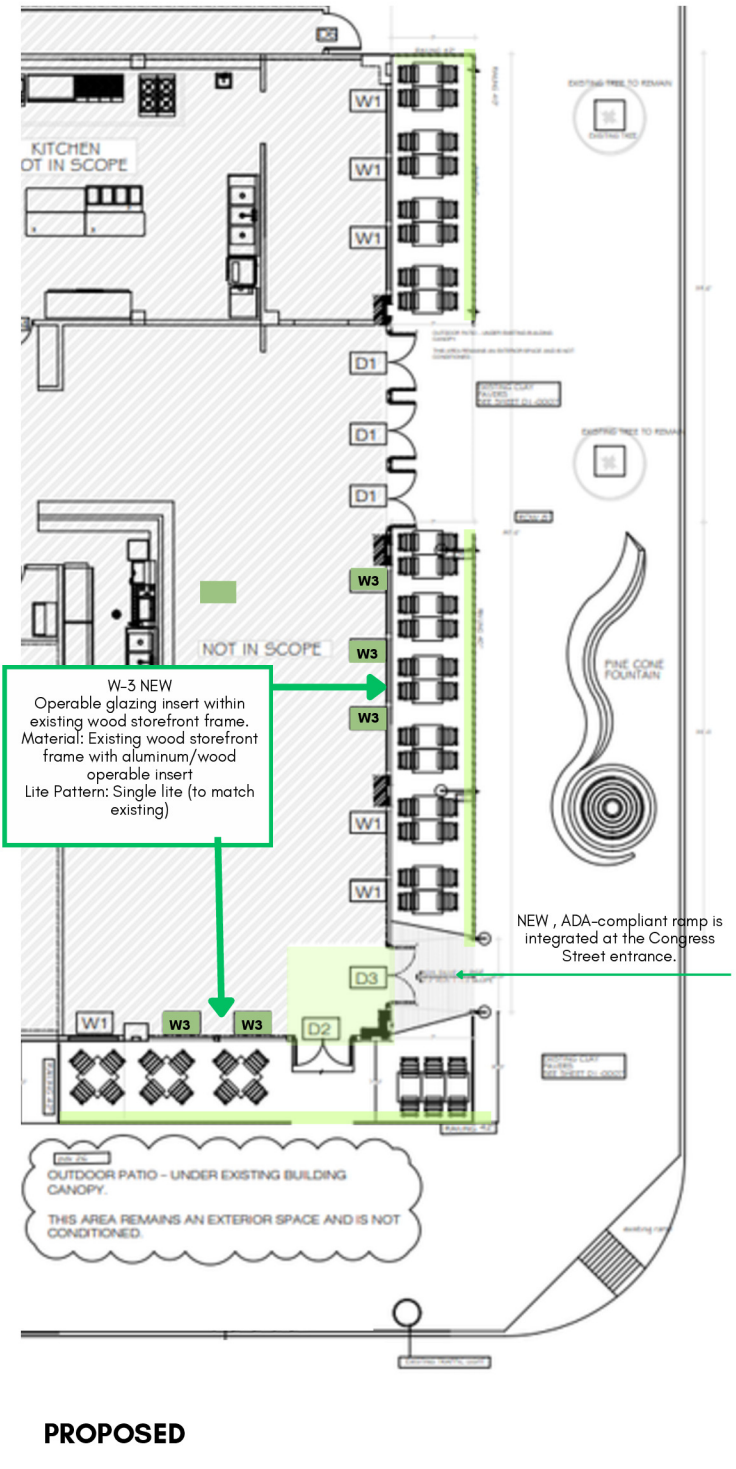
**CURRENT PHOTO
FRONT (EAST) ELEVATION**



FLOOR PLAN



EXISTING

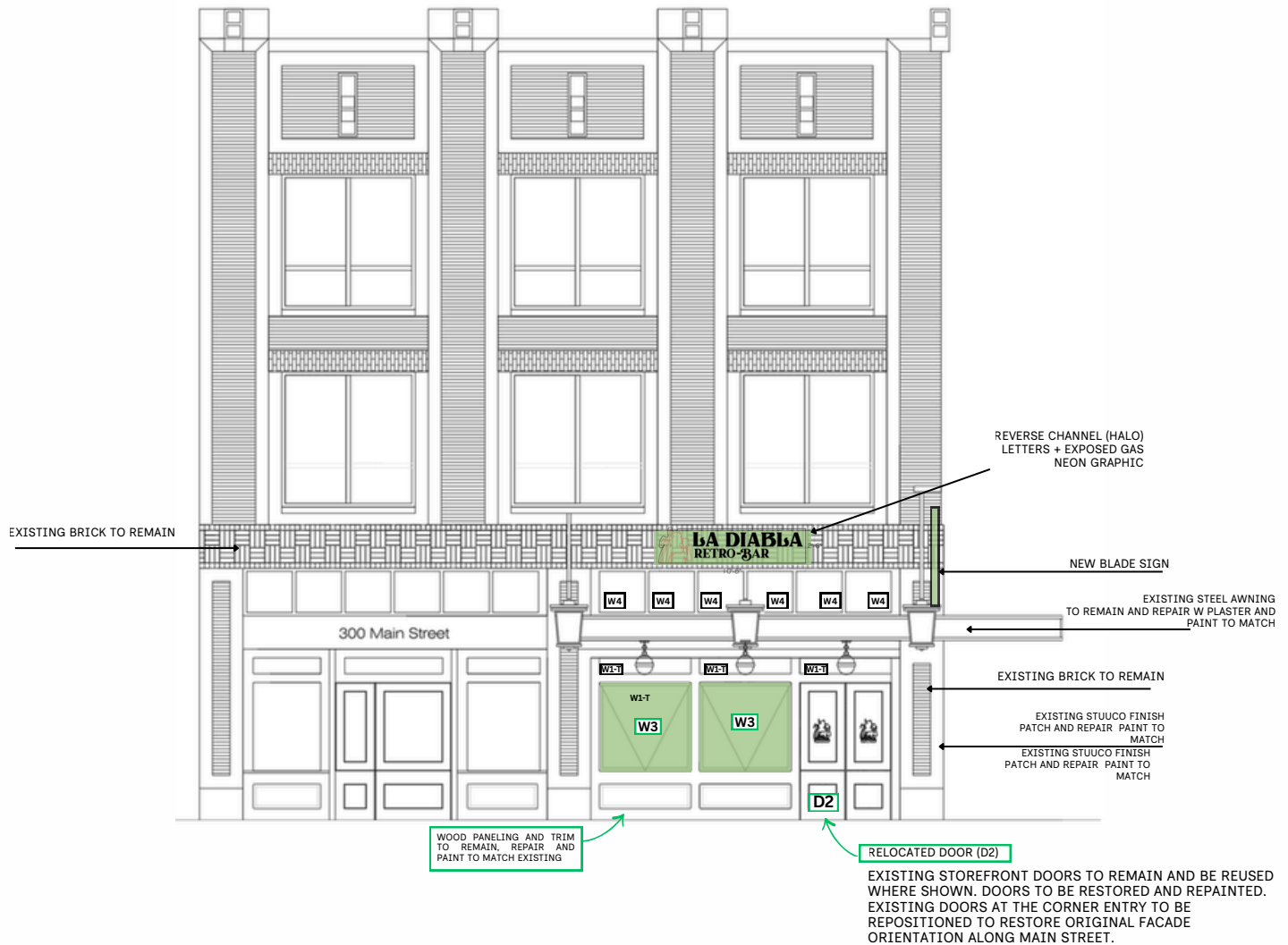


PROPOSED

**CURRENT PHOTO
FRONT (EAST) ELEVATION**



**PROPOSED
FRONT (EAST) ELEVATION**



W3

W3 - 2 EA

Style: Top-hinged hydraulic awning

Dimensions: 5'-0" x 5'-0"

FRAME TYPE: Block (NO FLANGE) FRAME

Recessed/Inset: Existing

Brand/Vendor: Optvue Infinity Gas Strut Window - Aluminum/Wood, Minimal Sill

Other:

Existing wood storefront frame to remain. Operable unit recessed within existing opening. No change to exterior opening size, lite configuration, or visible frame dimensions when closed.

Modification occurs within existing non-original storefront glazing system.

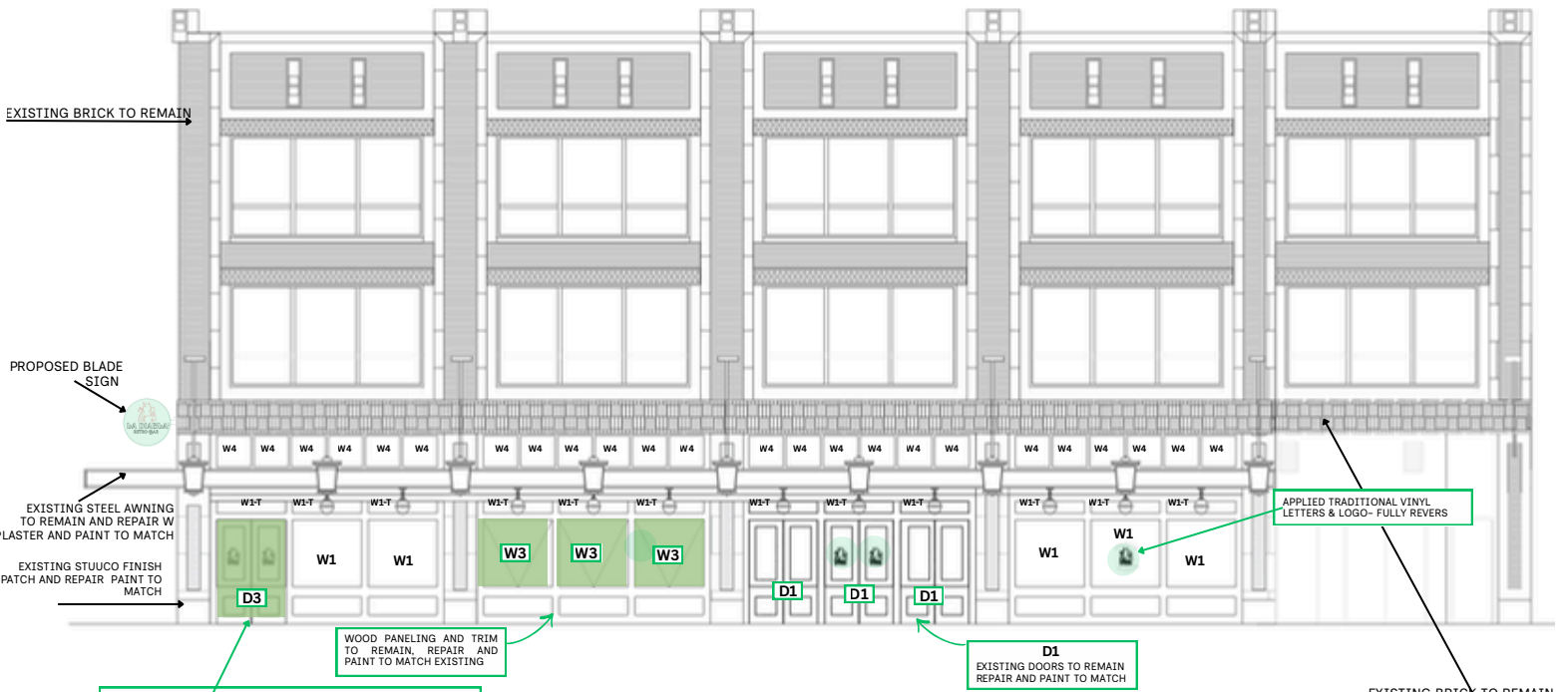
No alteration to exterior wall cladding, opening dimensions, or character-defining architectural elements as viewed from the public right-of-way.

Structural reinforcement, if required, to be concealed within interior framing cavity. No change to exterior visible frame dimensions.

CURRENT PHOTO
CONGRESS (NORTH) ELEVATION



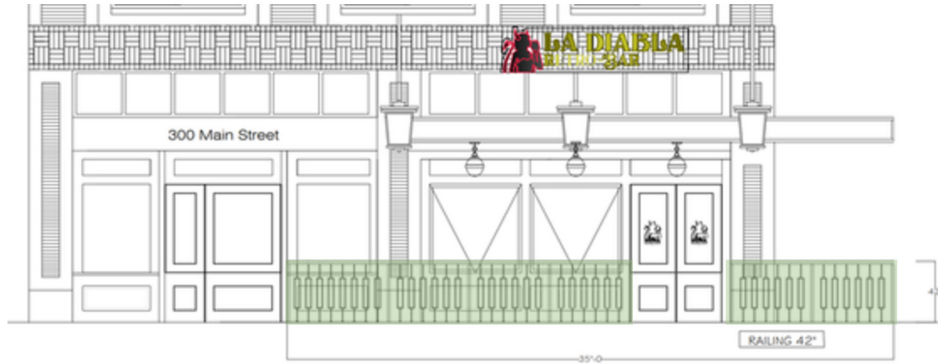
EXISTING



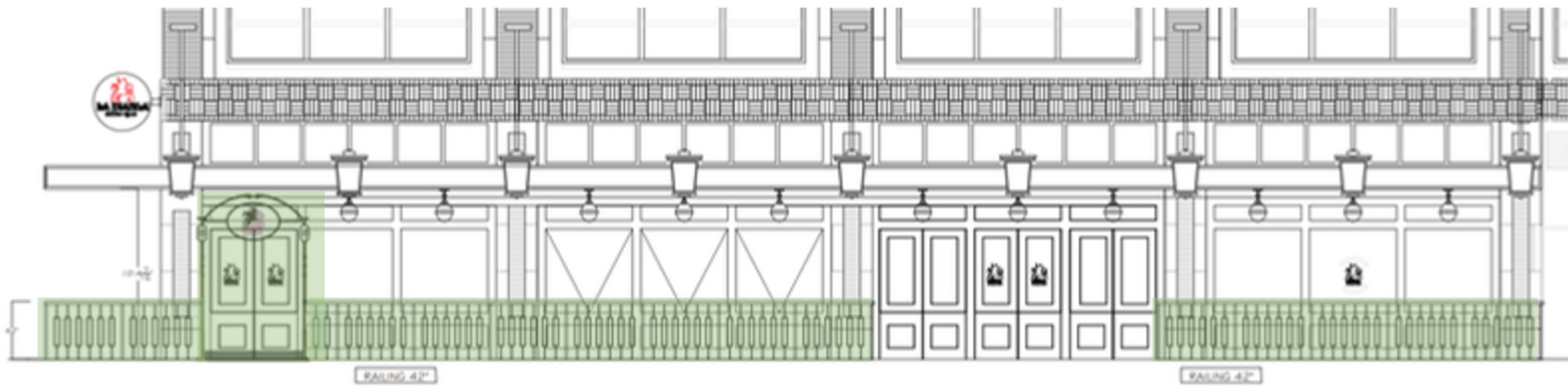
PROPOSED ELEVATION
CONGRESS ST (NORTH) ELEVATION

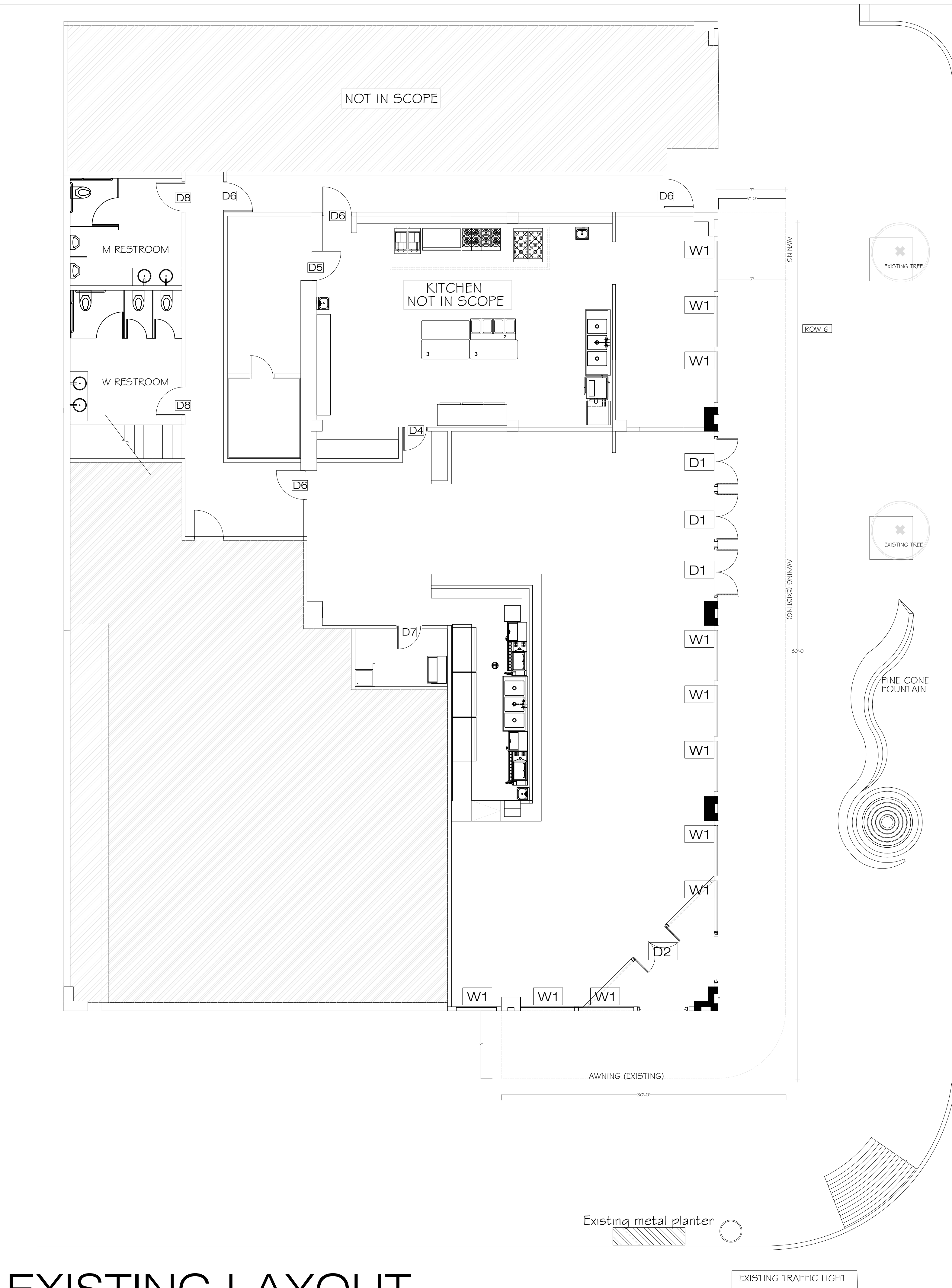
DOOR (D3)
NEW DOORS INTRODUCED ALONG CONGRESS STREET TO MATCH EXISTING STOREFRONT DOORS IN DESIGN, PROPORTIONS, MATERIAL APPEARANCE, AND FINISH. NO NEW OPENINGS PROPOSED.

**PROPOSED RAILING
MAIN STREET ELEVATION**



**PROPOSED RAILING
CONGRESS ST (NORTH) ELEVATION**





EXISTING LAYOUT

DOOR SCHEDULE

Door ID	Status	Qty	Location	Material	Configuration / Door Type	Lite / Window	Operation	Size (Overall)	Transom	Origin	Hardware / Operation	Remarks
D1	EXISTING	3	Congress St. & Main St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - fixed wood transom above	Existing	Patric hardware; self-closing door closer; keyed lockset	Existing historic storefront double doors to remain. Door to remain unlocked during business hours.
D2	EXISTING (RELOCATED)	1	Corner / Main St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - fixed wood transom above	Existing (Relocated)	Patric hardware; self-closing door closer; keyed lockset	Existing historic storefront door relocated to new opening. Door to remain unlocked during business hours.
D3	NEW	1	Congress St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - fixed wood transom above	New	Patric hardware; self-closing door closer; keyed lockset	New storefront door to match existing historic doors in material, profile, proportions, and detailing. Door to remain unlocked during business hours.
D4	EXISTING	1	Elkman Service Area	Aluminum	Aluminum Swinging Traffic Door with Window	9" x 14" Window	Double-Acting	3'-0" x 8'-0"	No	New	Double-acting hinges; no lock	Elkman service door. Swings both directions.
D5	EXISTING	1	STORAGE	ALUMINUM	Pressed Steel 6-Panel Exterior Door	No Lite	Swing	3'-0" x 8'-0"	No	Existing	Self-closing door closer; keyed lock; restroom-type lock	
D6	EXISTING	4	Back of House / Service hallway	Steel	Metallic Door 5665	No Lite	Swing	3'-0" x 8'-0"	No	Existing	Patric hardware; self-closing door closer; keyed lockset	1 for Fire-rated door. Door to remain unlocked during business hours.
D7	EXISTING	1	Mop / Utility Room	Steel	Pressed Steel 6-Panel Door	No Lite	Swing	3'-0" x 8'-0"	No	Existing	No lock	Mop / utility room door
D8	EXISTING	2	Restrooms	Wood / Composite	6-Panel Door, Pressed & Painted	No Lite	Swing	3'-0" x 8'-0"	No	New	Self-closing door closer; restroom privacy lock	Restroom doors. Complies with 2022 FDA Food Code 5b-202.16

GENERAL NOTES

New wood storefront doors (D3) shall match existing historic doors in design, material, proportions, and finish. Existing historic storefront doors (D1, D2) to remain or be relocated as indicated. No doors are attached to or alter historic masonry. Fire-rated doors and hardware to comply with applicable codes and manufacturer requirements.

WINDOW SCHEDULE

EXISTING WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
W1	WOOD	SINGLE LITE	FIXED	5'-0" X 5'-0"	RECESSED	REPLACEMENT	YES
W1 - T	WOOD	SINGLE LITE	FIXED	5'-0" X 1'-0"	RECESSED	REPLACEMENT	YES
W2	WOOD	SINGLE LITE	FIXED	5'-0" X 1'-0"	RECESSED	REPLACEMENT	NO
W4	WOOD	SINGLE LITE	FIXED	31" X 25"	RECESSED	REPLACEMENT	YES

OCCUPANCY LOAD SUMMARY

Area	Use	Sq. Ft.	OL Factor (ft ² /person)	Occupant Load	Remarks
Main Salon (includes bar area)	Assembly (tables & chairs)	1,895	15 (net)	127	Interior seating + bar area (no fixed stools counted)
Corridors	Accessory circulation	180	100 (gross)	2	Hallway to restrooms and service exit only
Kitchen	Commercial Kitchen	915	200 (gross)	5	Staff only
Storage Areas (dry + produce/WIC + mop/utility)	Storage / Utility	523	300 (gross)	2	Back-of-house support
Restrooms	Accessory	300	-	-	Not included (accessory to A-2)
Patio	Assembly (tables & chairs)	780	15 (net)	52	Outdoor dining
INTERIOR TOTAL				136	Based on HCAD 3,813 SF
OUTDOOR TOTAL				52	New patio areas only
TOTAL (INTERIOR + OUTDOOR)				188	For overall egress considerations

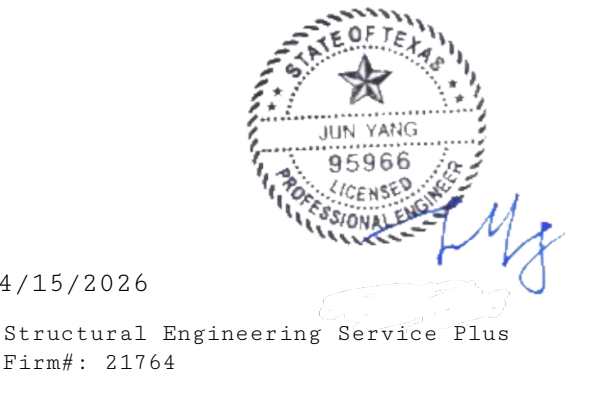
USE AND OCCUPANCY CLASSIFICATION: A-2 RESTAURANT / BAR
 BUILDING CONSTRUCTION TYPE: III A (per City of Houston records).

ALLOWABLE OCCUPANCY LOAD: 188

FIRE ALARM: PROTECTED FIRE
 SPRINKLER SYSTEM: TO BE PROVIDED
 FIRE SPRINKLER TYPE: WET 100% EGRESS
 MAXIMUM ALLOWABLE TRAVEL EXIT 250 FT
 FIRE ALARM AND FIRE SPRINKLER SYSTEMS SHALL BE SUBMITTED UNDER SEPARATE PERMITS AND APPROVED PRIOR TO ANY MODIFICATIONS OR INSTALLATIONS, IN ACCORDANCE WITH SECTION 107 OF THE CITY OF HOUSTON BUILDING CODE.
 FIRE PROTECTION DESIGN TO BE COORDINATED WITH A LICENSED FIRE PROTECTION CONTRACTOR.



LA DIABLA RETRO BAR
 300 MAIN ST #100
 Houston, TX. 77002



04/15/2026
 Structural Engineering Service Plus
 Firm#: 21764

Storefront & street Improvement
PATIO ADDITION
 PROJECT NUMBER: 26002904

Issues and Revisions:

EXISTING FLOOR PLAN

DESIGNED BY JUDITH ARROYO
 DRAWING: VM REVISED BY: JA
 SCALE: 1/8" = 1'-0" (24X36)
 SHEET NO.

A 01



**LA DIABLA
RETRO BAR**
300 MAIN ST #100
Houston, TX. 77002



04/15/2026
Structural Engineering Service Plus
Firm#: 21764

**Storefront
& street
Improvement**

**PATIO
ADDITION**
PROJECT NUMBER:
26002904

Issues and Revisions:

© 2015 CODE Comfort Design Studio and La Diabla Retro Bar Drawings, written material and design concepts shall not be used or reproduced in whole or part in any form or time without prior written consent of CODE and La Diabla Retro Bar.

DO NOT SCALE DRAWING. Use given dimensions only. If not shown, verify correct dimensions with the Architect. Contractor shall check and verify all dimensions and conditions at job site.

**PROPOSED
FLOOR PLAN**

DESIGNED BY: JUDITH ARROYO
DRAWING: VM REVISED BY: JA
SCALE: 1/8" = 1'-0" (24X36)

SHEET NO.

A 02

FINISH SCHEDULE

Finish ID	Area / Element	Substrate / Material	Finish / Coating Type	Color	Notes
F-1	Patio Flooring	Existing Brick Pavers	Existing brick pavers to remain	Existing	No work proposed. Refer to Sheet D1-0007
F-2	Covered Patio Roof (Awning Frame)	Existing Metal	Exterior metal coating system: surface preparation + rust-inhibitive primer (as required) + (2) coats exterior-grade acrylic enamel (ETM - direct-to-metal) or equivalent	Deep Oxide Red	Clean, prep, prime (as required), and repaint existing metal framing
F-3	Awning Panels	Polycarbonate Panels	Existing polycarbonate translucent panels to remain	Existing	No replacement in scope unless damaged
F-4	Storefront Windows (frames/sashes)	Existing Wood	Exterior-grade 100% acrylic latex enamel (low-sheen / satin)	Deep Oxide Red	Repair, patch, sand, prime bare wood, and repaint. Maintain existing historic profile and proportions
F-5	Storefront Base Panels	Existing Wood	Exterior-grade 100% acrylic latex enamel (low-sheen / satin)	Deep Oxide Red	Finish to match storefront windows
F-6	Trim & Moldings	Existing Wood	Exterior-grade 100% acrylic latex enamel (low-sheen / satin)	Deep Oxide Red	Match adjacent storefront elements
F-7	New Metal Roofing (reference only)	Aluminum or Steel	Factory-applied powder coat finish	Black Satin	Finish coordination only. Refer to Roofing Schedule for scope and locations

GENERAL NOTES

- 1) New wood storefront doors (D3) shall match existing historic doors in design, material, proportions, and finish.
- 2) All finishes noted as existing to remain shall be protected during construction.
- 3) Scope includes cleaning, surface preparation, minor repairs, and repainting only, unless otherwise noted.
- 4) Paint systems shall be suitable for exterior exposure and compatible with existing substrates.
- 5) Color selected as Deep Oxide Red for storefront and awning elements for a cohesive exterior appearance.
- 6) No finishes are attached to or modify historic masonry.

DOOR SCHEDULE

Door ID	Status	Qty	Location	Material	Configuration / Door Type	Lite / Window	Operation	Size (Overall)	Transom	Origin	Hardware / Operation	Remarks
D1	EXISTING	5	Congress St. & Main St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - Fixed wood transom above	Existing	Paint hardware; self-closing door closer; keyed lockset	Existing historic storefront double doors to remain. Door to remain unlocked during business hours
D2	EXISTING (RELOCATED)	1	Corner / Main St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - Fixed wood transom above	Existing (Relocated)	Paint hardware; self-closing door closer; keyed lockset	Existing historic storefront door relocated to new opening. Door to remain unlocked during business hours
D3	NEW	1	Congress St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - Fixed wood transom above	New	Paint hardware; self-closing door closer; keyed lockset	New storefront door to match existing historic doors in material, profile, proportions, and detailing. Door to remain unlocked during business hours
D4	EXISTING	1	Kitchen Service Area	Aluminum	Aluminum Swinging Traffic Door with Window	0" x 14" Window	Double Acting	5'-0" x 8'-0"	No	New	Double-acting hinges; no lock	Kitchen service door. Swings both directions
D5	EXISTING	1	STORAGE	ALUMINUM	Primed Steel 6-Panel Exterior Door	No Lite	Swing	5'-0" x 8'-0"	No	Existing	Self-closing door closer; keyed lock; custom-type lock	Self-closing door closer; keyed lock; custom-type lock
D6	EXISTING	4	Back of House / Service hallway	Steel	Metallic Door (MS)	No Lite	Swing	5'-0" x 8'-0"	No	Existing	Paint hardware; self-closing door closer; keyed lockset	1x Fire-rated door. Door to remain unlocked during business hours
D7	EXISTING	1	Meep / Utility Room	Steel	Primed Steel 6-Panel Door	No Lite	Swing	5'-0" x 8'-0"	No	Existing	No lock	Meep / utility room door
D8	EXISTING	2	Restrooms	Wood / Composite	6-Panel Door; Primed & Painted	No Lite	Swing	5'-0" x 8'-0"	No	New	Self-closing door closer; custom gravity lock	Restroom doors. Complies with 2022 IEA Food Code for 2023.4

GENERAL NOTES

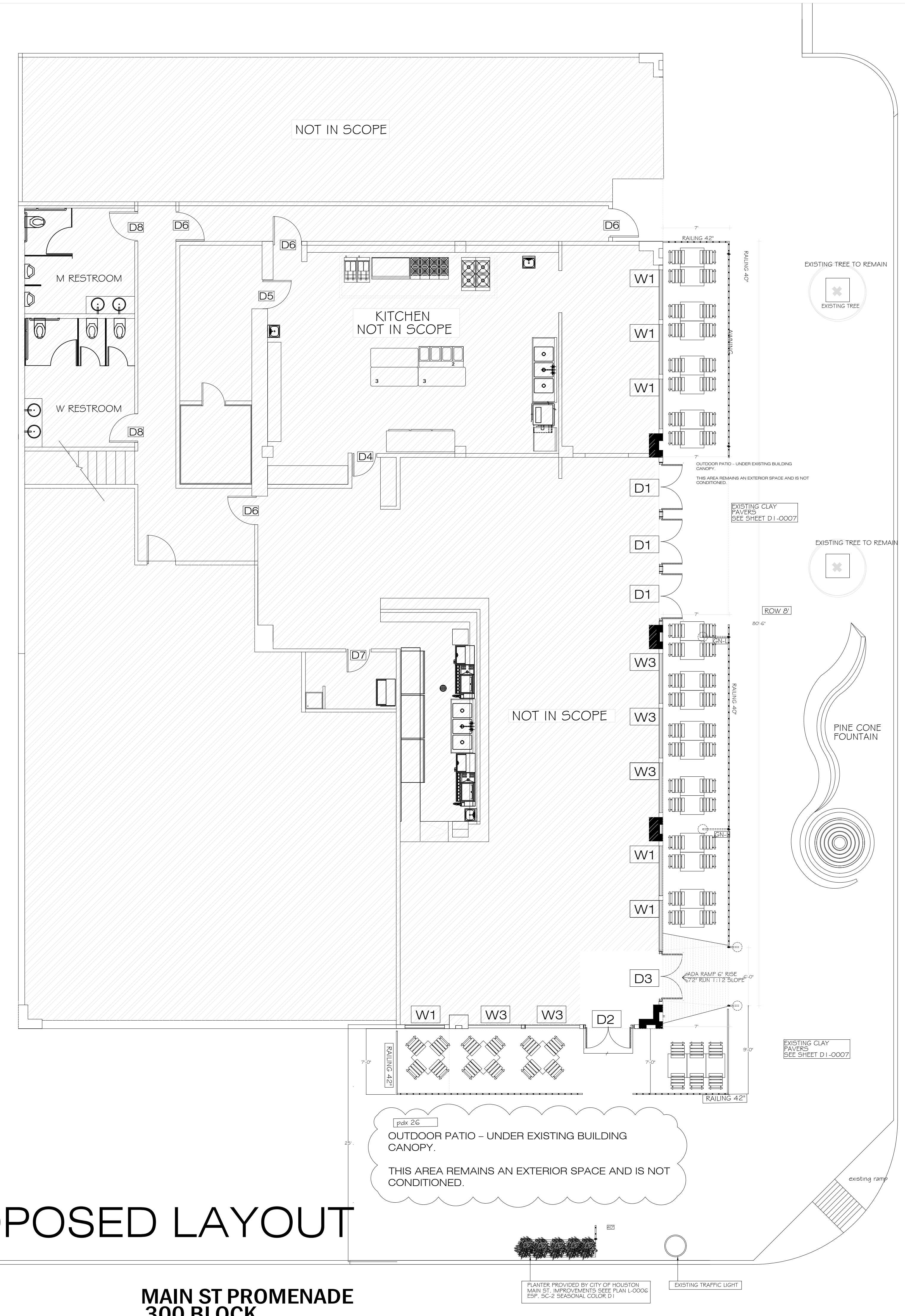
- New wood storefront doors (D3) shall match existing historic doors in design, material, proportions, and finish. Existing historic storefront doors (D1, D2) to remain or be relocated as indicated. No doors are attached to or alter historic masonry. Fire-rated doors and hardware to comply with applicable codes and manufacturer requirements.

WINDOW SCHEDULE

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
W1 (6 EA)	WOOD	SINGLE LITE	FIXED	5'-0" X 5'-0"	RECESSED	N/A	EXISTING TO REMAIN
W1 - T	WOOD	SINGLE LITE	FIXED	5'-0" X 1'-0"	RECESSED	N/A	EXISTING TO REMAIN
W-3 (5 EA)	WOOD	SINGLE LITE	OPERABLE	5'-0" X 5'-0"	RECESSED	OPTUVE	
W4	WOOD	SINGLE LITE	FIXED	31" X 25"	RECESSED	N/A	EXISTING TO REMAIN

W3
Operable glazing insert within existing wood storefront frame.
Material: Existing wood storefront frame with aluminum/wood operable insert
Lite Pattern: Single lite (to match existing)
Style: Top-hinged hydraulic awning
Dimensions: 5'-0" x 5'-0"
FRAME TYPE: Block (NO FLANGE) FRAME
Recessed/Inset: Existing
Brand/Vendor: Optuve Infinity Gas Strut Window - Aluminum/Wood, Minimal Sill

Existing wood storefront frame to remain. Operable unit recessed within existing opening. No change to exterior opening size, lite configuration, or visible frame dimensions when closed. Specs attached in doc/specs folder



PROPOSED LAYOUT

**MAIN ST PROMENADE
300 BLOCK**

PLANTER PROVIDED BY CITY OF HOUSTON
MAIN ST IMPROVEMENTS SEE PLAN L-0006
ESP: SC-2 SEASONAL COLOR D1

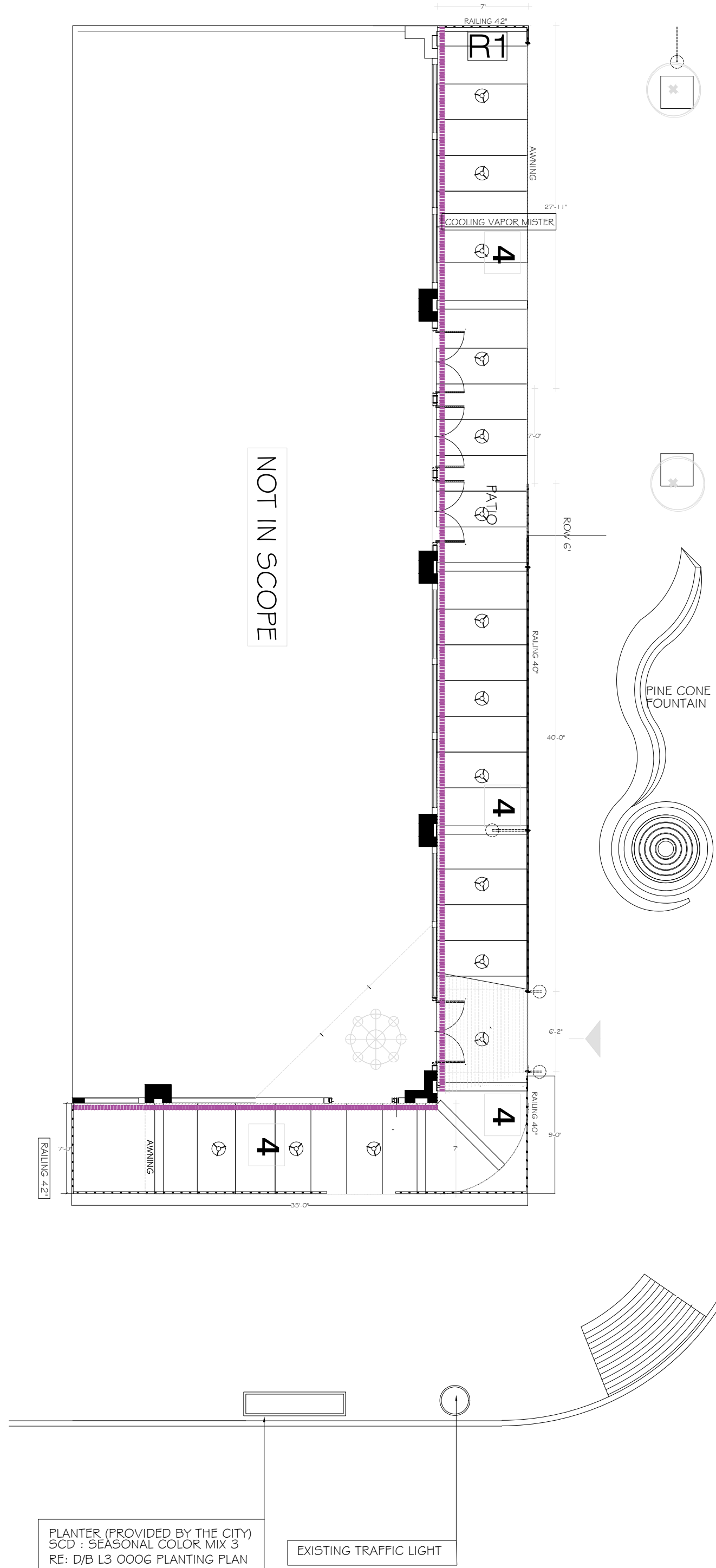
EXISTING TRAFFIC LIGHT

KEY

FLOOR	RAILING	LED STRIP LIGHT W/ DIFFUSER
1 EXISTING PAVERS	TOP RAIL TimberTECH ADVANCED PVC DECK PLANKS 5.5"W x 1" H 16' L COLOR CASTLE GRAY Iron Baluster 9089XL - 1/2" Square 24" Single Rectangle IN BLACK SATIN	CHANDELIER Dimmable Glass Globe Chandelier
4 EXISTING AWNING	Capsule 1.3, 1/4" Matte Black /Gold Outdoor hanging light	

36 EXISTING TREE TO REMAIN

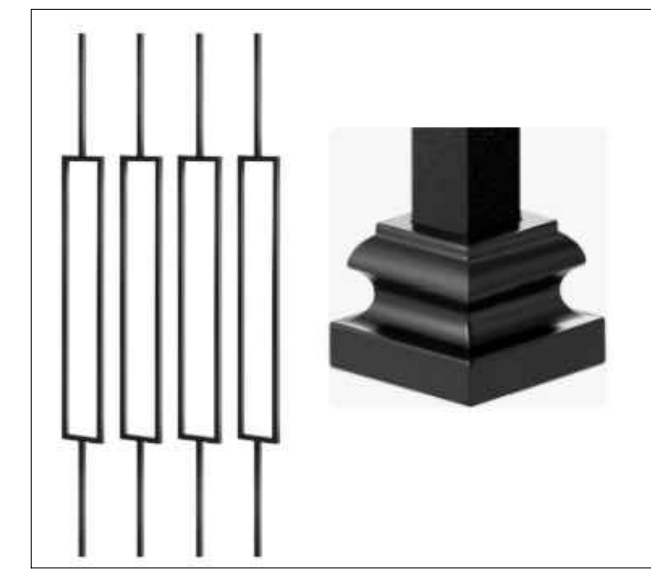
REFLECTIVE CEILING PLAN



MAIN ST

CONGRESS ST

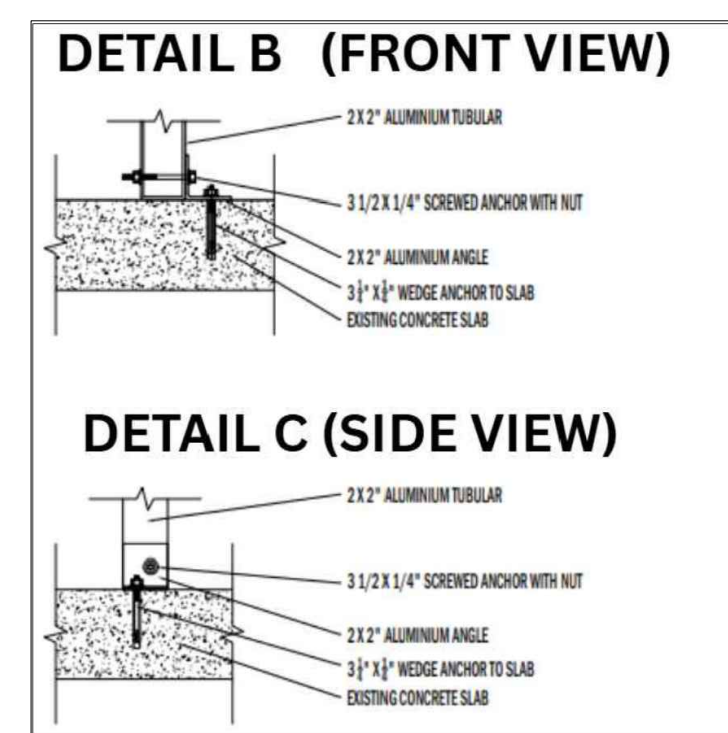
PROPOSED FREESTANDING METAL RAILING
42" total height. Painted steel vertical balusters mounted to individual steel base plates with decorative metal plinth (railing foot). Flat steel top rail. Freestanding and fully reversible. Not attached to historic façade



GENERAL RAILING NOTE

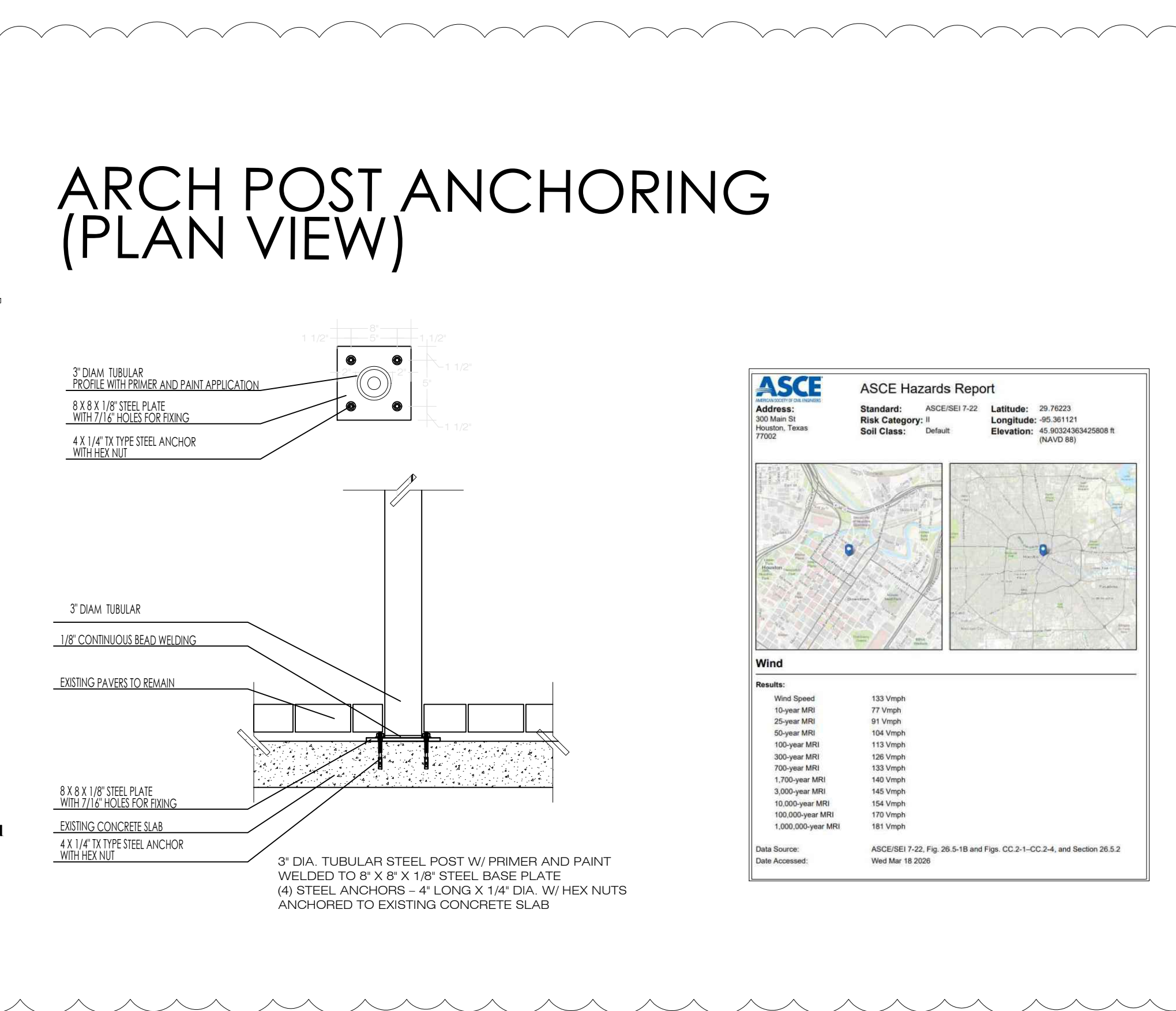
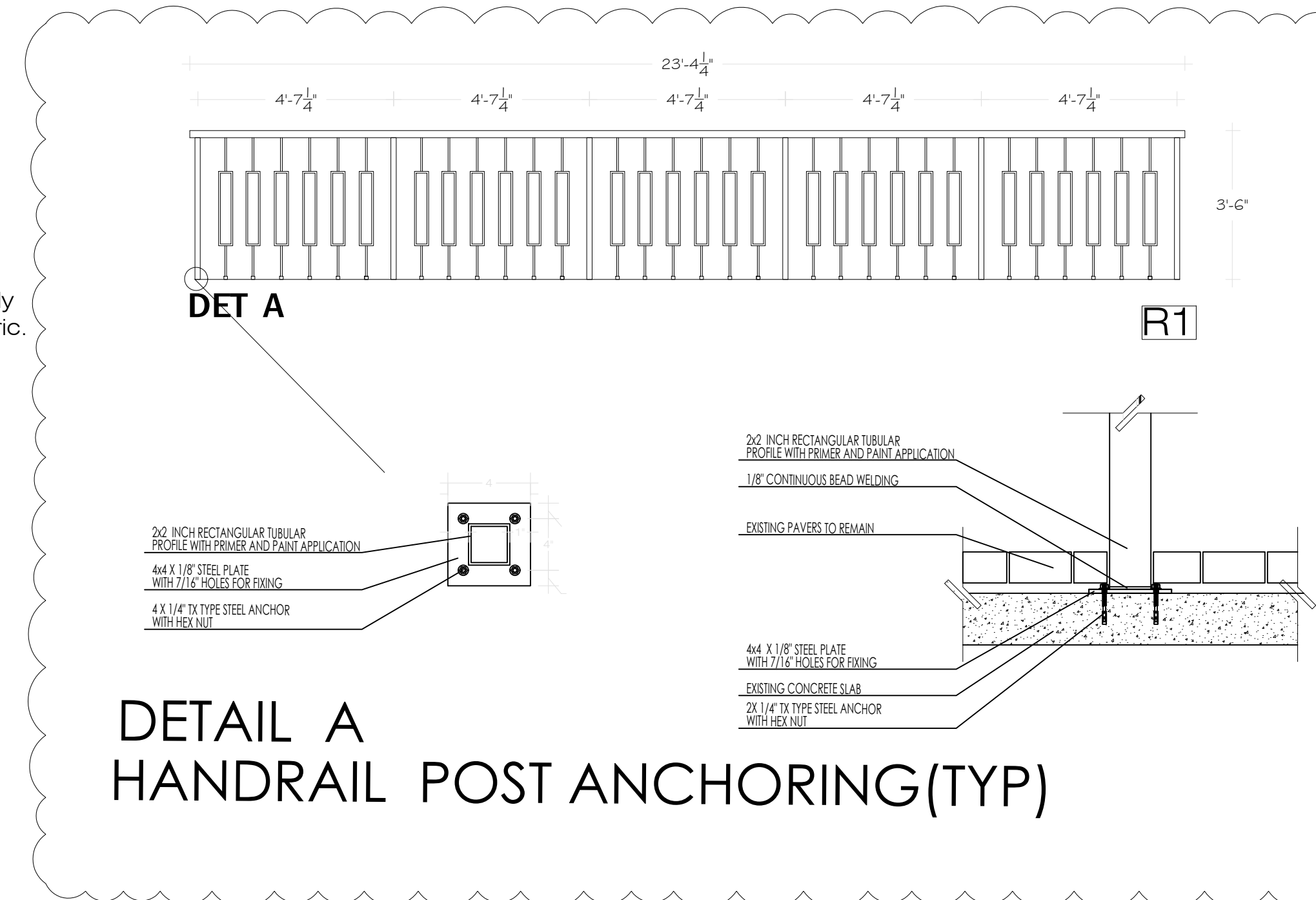
PROPOSED FREESTANDING METAL RAILING SYSTEM
42" total height painted steel railing system consisting of vertical balusters and flat steel top rail. Posts mounted to individual steel base plates with decorative metal plinth (railing foot). Select segments include clear tempered glass infill panels. All railing elements are freestanding, fully reversible, and not attached to or altering the historic building façade, masonry, or architectural fabric.

Aluminum railing selected for durability and corrosion resistance. Powder coat finish to be factory-applied. Glass extension is non-structural and installed above the guardrail.

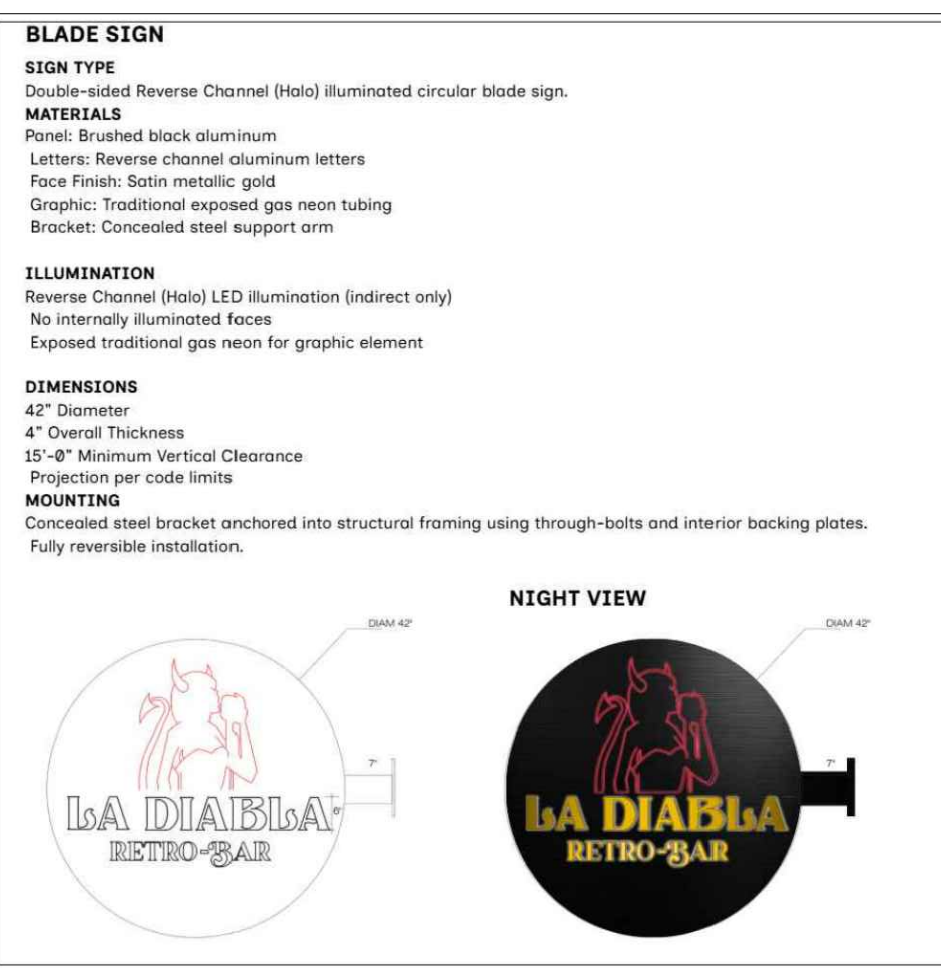


RAILING SCHEDULE

Railing ID	Location	System Type	Material	Height	Infill / Panels	Finish	Mounting	Notes
R1	Patio perimeter (typ.)	Guardrail (no glass)	Aluminum (architectural grade)	42" AFF (top of rail)	Vertical aluminum pickets / flat bar balusters (typ.)	Factory-applied powder coat, Black Satin	Surface-mounted base plates anchored to slab/pavers	Provide openings to comply with code (4" max sphere). Coordinate field dimensions



ALL EXTERIOR SIGNAGE SHALL BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AND SHALL COMPLY WITH CITY OF HOUSTON SIGN CODE AND HISTORIC DISTRICT REQUIREMENTS.



PROPOSED FREESTANDING ENTRY ARCH
Painted steel arch with integrated metal logo panel. Freestanding and reversible. Not attached to historic façade or building structure.



LA DIABLA RETRO BAR
300 MAIN ST #100
Houston, TX. 77002



04/15/2026
Structural Engineering Service Plus
Firm#: 21764

Storefront & street Improvement

PATIO ADDITION

PROJECT NUMBER:
26002904

Issues and Revisions:

RCP & DETAILS

DESIGNED BY: JUDITH ARROYO
DRAWING : VM REVISED BY: JA

SCALE: 1/8" = 1'-0" (24X36)

SHEET NO.

A 03

EXISTING ELEVATIONS



MAIN ST



CONGRESS ST

BLADE SIGN

SIGN TYPE
Double-sided Reverse Channel (RSR) illuminated circular blade sign.

MATERIALS
Front: Brushed black aluminum
Letters: Reverse channel aluminum letters
Face: Frosted, 1/8" thick acrylic glass
Graphic: Traditional engraved gas neon tubing
Bracket: Concealed steel support arm

ILLUMINATION
Reverse Channel (RSR) LED illumination (indirect only)
No internally illuminated faces
Exposed traditional gas neon tubing

DIMENSIONS
12" Diameter
4" Overall Thickness
2'-0" Minimum Vertical Clearance
Projection per code limits

MOUNTING
Concealed steel bracket anchored into structural framing using through-bolts and interior backing plates.
Fully reversible installation.

NIGHT VIEW

ALL EXTERIOR SIGNAGE SHALL BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AND SHALL COMPLY WITH CITY OF HOUSTON SIGN CODE AND HISTORIC DISTRICT REQUIREMENTS.



PROPOSED ELEVATION MAIN ST

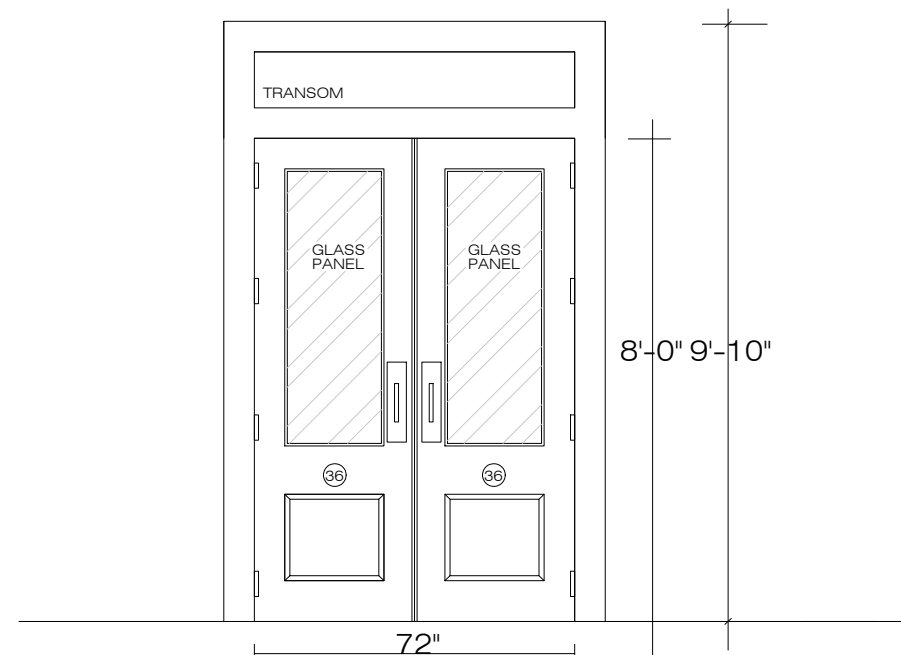
SIGNAGE SHOWN ON PLANS IS FOR DESIGN INTENT ONLY.

ALL EXTERIOR SIGNAGE SHALL BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AND SHALL COMPLY WITH CITY OF HOUSTON SIGN CODE AND HISTORIC DISTRICT REQUIREMENTS.



PROPOSED ELEVATION (NORTH) CONGRESS ST

ENTRY DOOR (TYP)



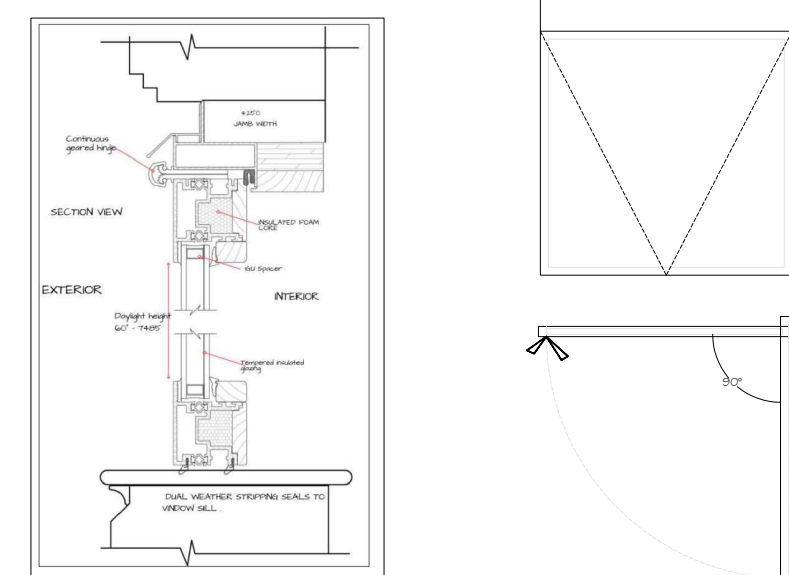
WINDOW SCHEDULE

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
W1 (6 EA)	WOOD	SINGLE LITE	FIXED	5'-0" X 5'-0"	RECESSED	N/A	EXISTING TO REMAIN
W1 - T	WOOD	SINGLE LITE	FIXED	5'-0" X 1'-0"	RECESSED	N/A	EXISTING TO REMAIN
W-3 (5 EA)	WOOD	SINGLE LITE	OPERABLE	5'-0" X 5'-0"	RECESSED	OPTUVE	
W4	WOOD	SINGLE LITE	FIXED	31" X 25"	RECESSED	N/A	EXISTING TO REMAIN

W3
Operable glazing insert within existing wood storefront frame.
Material: Existing wood storefront frame with aluminum/wood operable insert
Lite Pattern: Single lite (to match existing)
Style: Top-hinged hydraulic awning
Dimensions: 5'-0" x 5'-0"
FRAME TYPE: Block (NO FLANGE) FRAME
Recessed/Inset: Existing
Brand/Vendor: Optvue Infinity Gas Strut Window - Aluminum/Wood, Minimal Sill

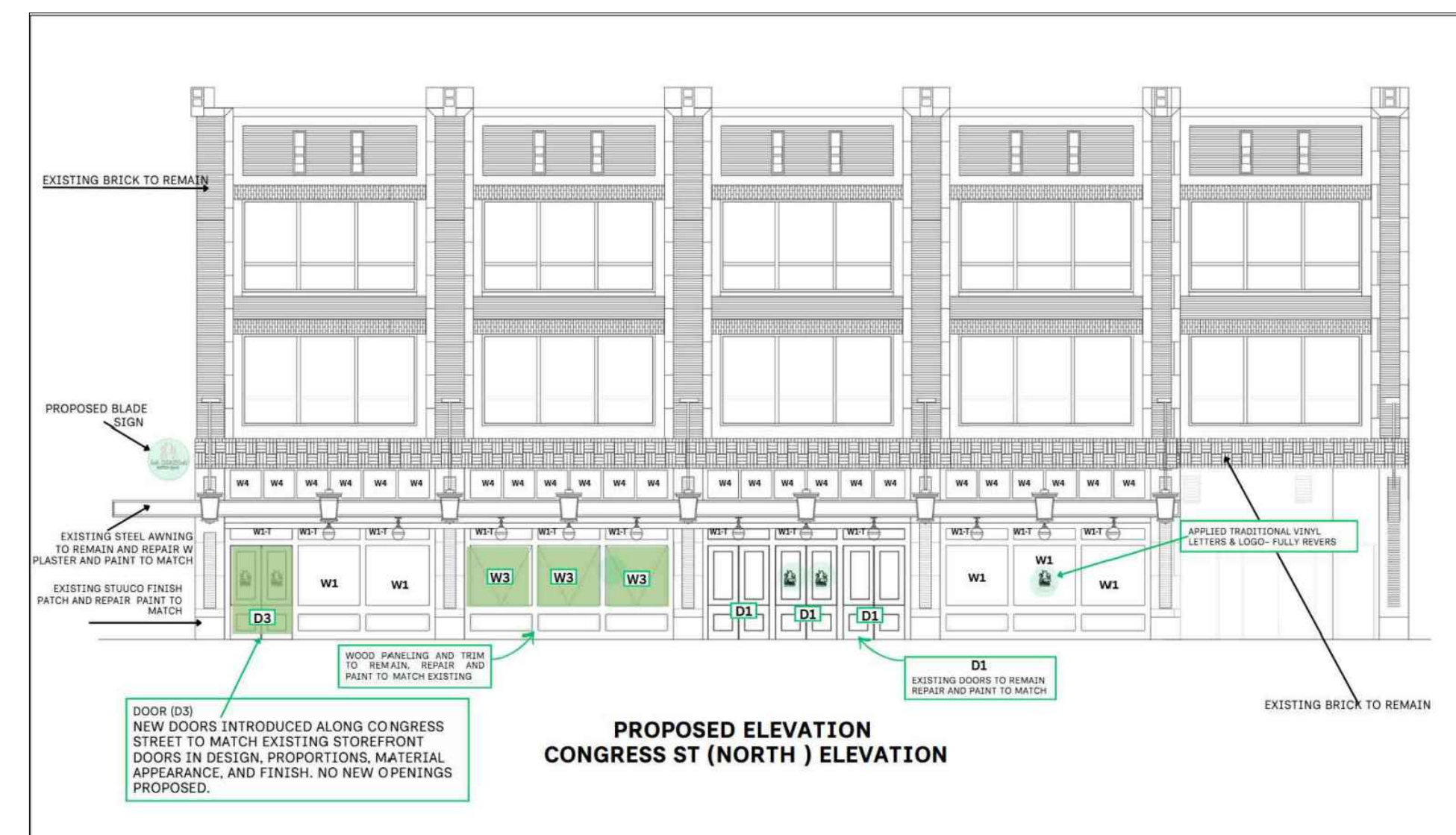
Existing wood storefront frame to remain. Operable unit recessed within existing opening. No change to exterior opening size, lite configuration, or visible frame dimensions when closed.

W-3 OPTUVE WINDOW



Window operation: Please note the end user open and closing operation of a gas filled window may vary from user to user based on the individual height, weight, reach and overall physical capability. Pay special attention to your window height placement and the ability to reach it in the open position to close it. Window opening height/range can be adjusted as required.

Open Angle STRAIGHT OUT.



PROPOSED ELEVATION CONGRESS ST (NORTH) ELEVATION



Architecture Interior Design and Graphics
www.comfordesignstudio.com
Telephone 336-672-3467



LA DIABLA RETRO BAR
300 MAIN ST #100
Houston, TX 77002



04/15/2026

Structural Engineering Service Plus
Firm#: 21764

PATIO ADDITION
PROJECT NUMBER:
26002904

Storefront & street Improvement

Issues and Revisions:

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DO NOT SCALE DRAWING. Use given dimensions only. If not shown, verify correct dimensions with the Architect. Contractor shall check and verify all dimensions and conditions at job site.

Elevations

DESIGNED BY JUDITH ARROYO

DRAWING : VM REVISED BY: JA

SCALE: 1/8" = 1'-0" (24X36)

A 04

BLADE SIGN

SIGN TYPE

Double-sided Reverse Channel (Halo) illuminated circular blade sign.

MATERIALS

Panel: Brushed black aluminum

Letters: Reverse channel aluminum letters

Face Finish: Satin metallic gold

Graphic: Traditional exposed gas neon tubing

Bracket: Concealed steel support arm

ILLUMINATION

Reverse Channel (Halo) LED illumination (indirect only)

No internally illuminated faces

Exposed traditional gas neon for graphic element

DIMENSIONS

42" Diameter

4" Overall Thickness

15'-0" Minimum Vertical Clearance

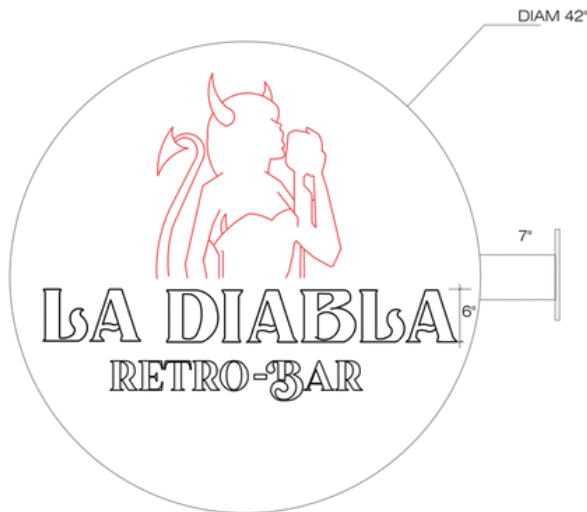
Projection per code limits

MOUNTING

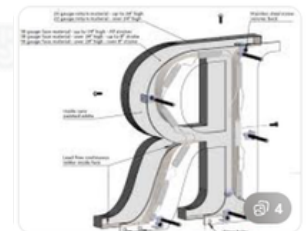
Concealed steel bracket anchored into structural framing using through-bolts and interior backing plates.

Fully reversible installation.

NIGHT VIEW



REVERSE LIT CHANNEL LETTERS (EXAMPLE)



Sign placement remains confined to the traditional commercial signage band and does not obscure character-defining architectural elements.

PROPOSED FIRE PIT (AQUAFIRE PRO 60")



Aquafire Series

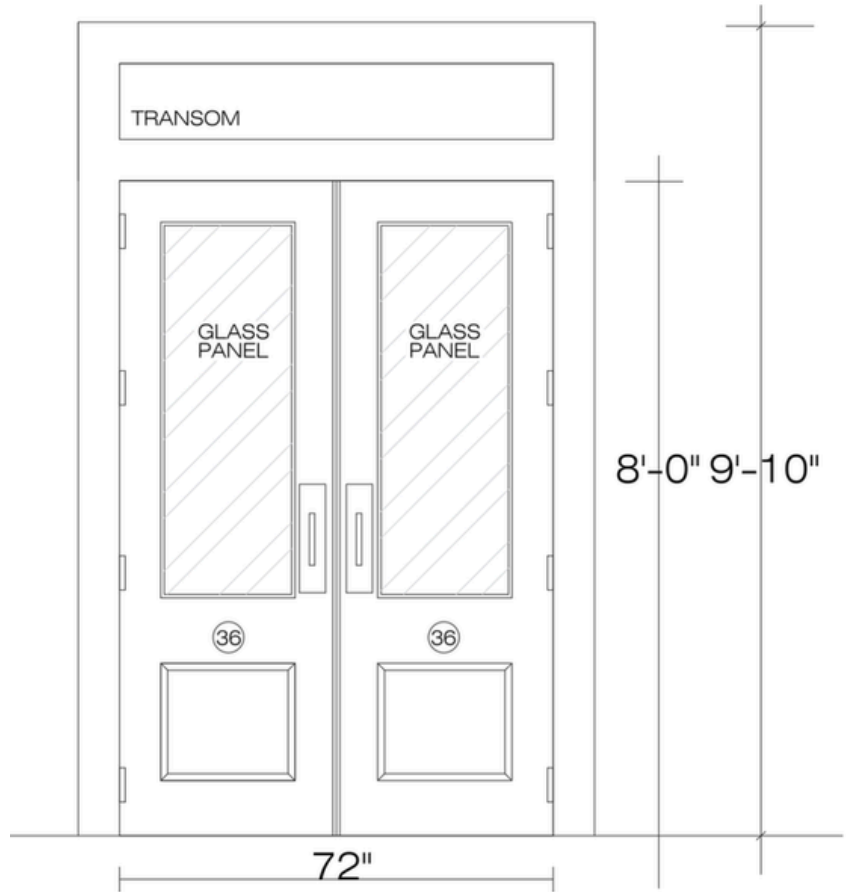
3 Sizes, AWA2-20-50 20" / AWA2-40-100 40" / AWA2-60-150 60" .



Shown: AWA2-40-100 40"

- Units can be ganged together to create continuous ribbons of flames up to 20 feet (240").
- 20 hours of run time or can be direct plumbed for unlimited run time (direct plumb kit sold separately).
- Adjust the flame size (height) and speed (intensity) to enjoy 8 to 12" inch flames.
- Control via button on device or integrate with in-room automation via the dry port contact.
- Easy Flush Mount Install.
- Air Intake through the lid.
- Alternate Hidden Air Intake (from below).
- Internal UV-C Lighting sanitizes water & vapor.

DOOR DETAIL (TYP)



New storefront door to match existing in material, profile, and detailing

W3

OPERABLE GLAZING INSERT WITHIN EXISTING WOOD STOREFRONT FRAME.

Material: Existing wood storefront frame with aluminum/wood operable insert

Lite Pattern: Single lite (to match existing)

Style: Top-hinged hydraulic awning

Dimensions: 5'-0" x 5'-0"

FRAME TYPE: Block (NO FLANGE) FRAME

Recessed/Inset: Existing

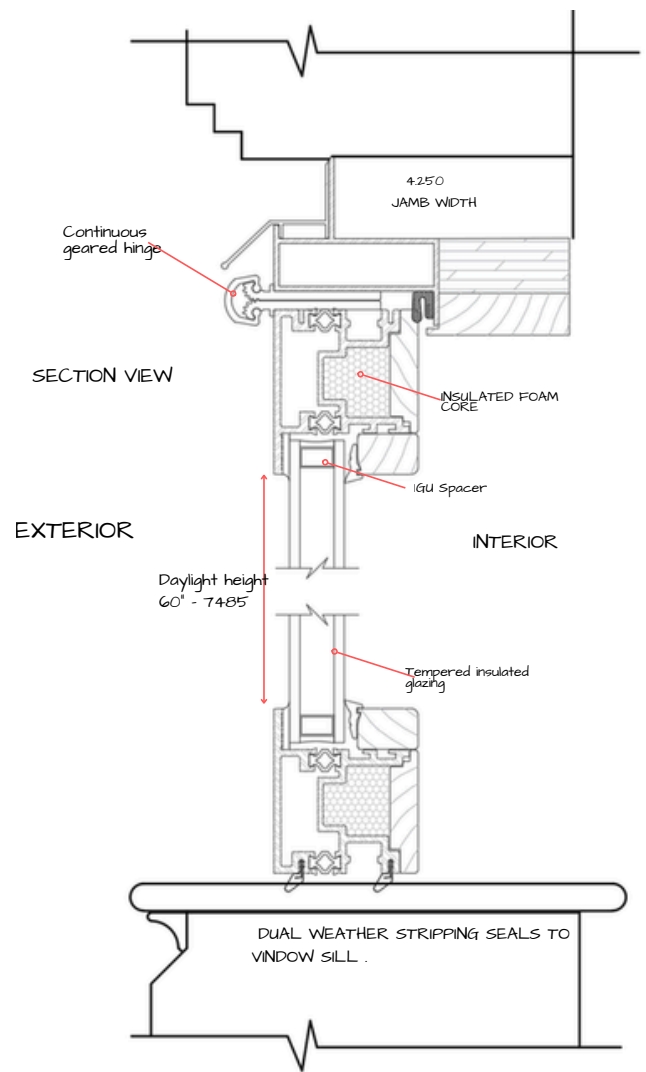
Brand/Vendor: Optvue Infinity Gas Strut Window – Aluminum/Wood, Minimal Sill

Existing wood storefront frame to remain. Operable unit recessed within existing opening. No change to exterior opening size, lite configuration, or visible frame dimensions when closed.

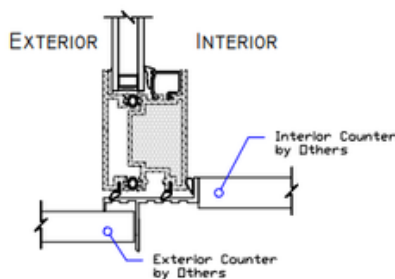
Modification occurs within existing non-original storefront glazing system.

No alteration to exterior wall cladding, opening dimensions, or character-defining architectural elements as viewed from the public right-of-way.

Structural reinforcement, if required, to be concealed within interior framing cavity. No change to exterior visible frame dimensions.



MINIMAL SILL



**EXISTING WOOD STOREFRONT FRAME TO REMAIN.
NEW OPERABLE UNIT RECESSED WITHIN EXISTING OPENING.**

THRUVue™ INFINITY GAS STRUT WINDOW

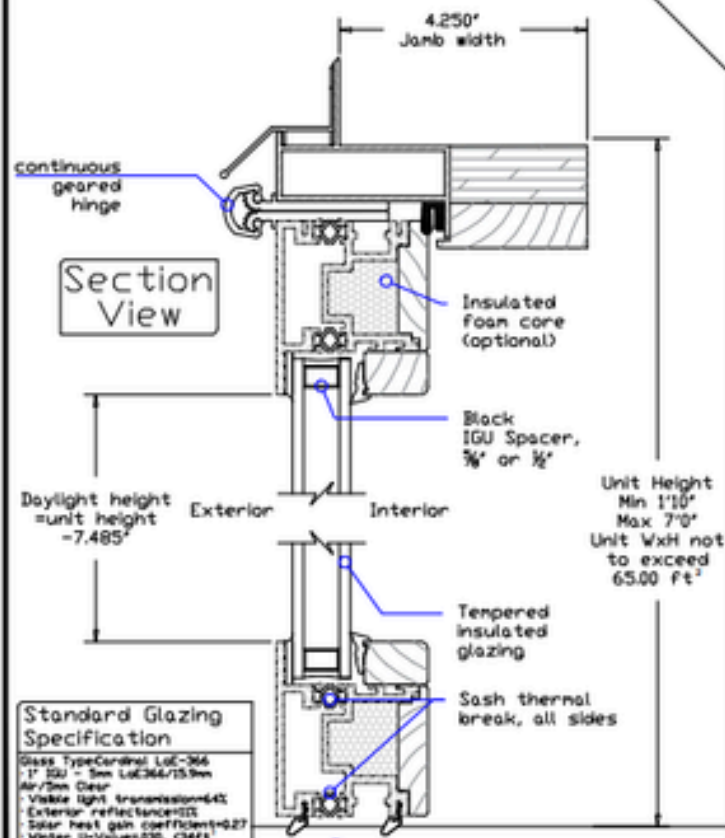
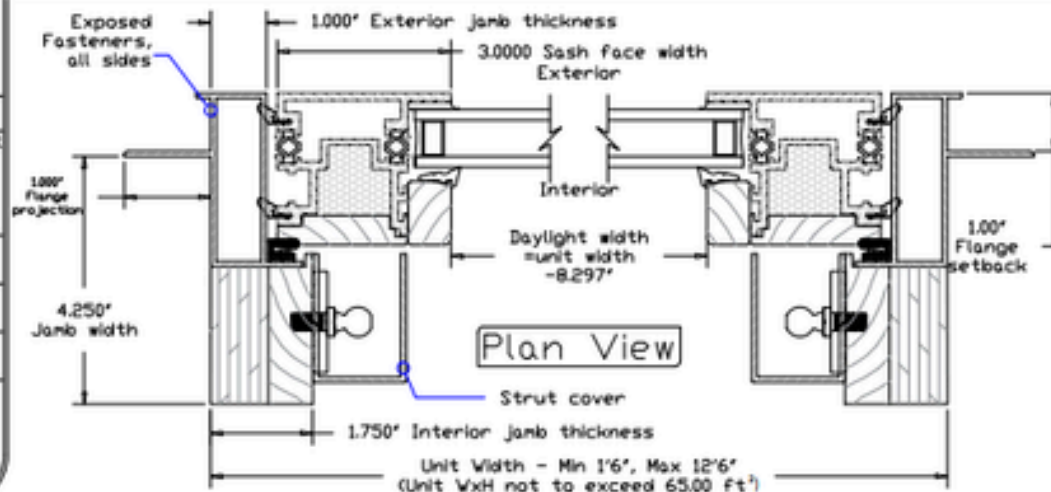
BUILD 2 SL ALUMINUM EXT/ MAHOGANY INT

Unit Width:	60.000'	Open angle Straight out 90°
Unit Height:	60.000'	
R.D. Width:	60.500'	
R.D. Height:	60.500'	

Approved By:

Date:

Window operation: Please note the end user open and closing operation of a gas strut window may vary from user to user based on the individuals height, weight, reach, and overall physical capability. Pay special attention to your window height placement and the ability to reach it in the open position to close it. Window opening height/angle can be adjusted on request.



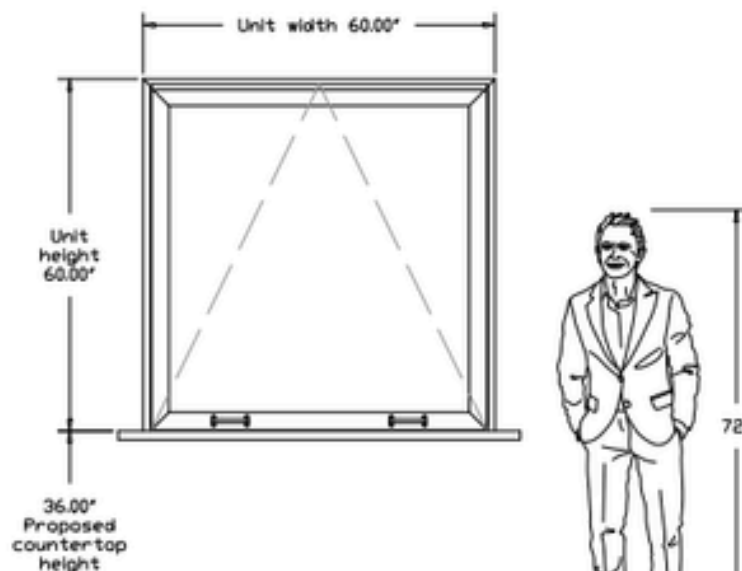
Standard Glazing Specification

Glass Type: Cardinal LoE-366
 1" IGU - 6mm LoE366/12.7mm Air/3mm Clear
 - Visible light transmission=64%
 - Exterior reflectance=10%
 - Solar heat gain coefficient=0.27
 - U-Value=0.25, 0.34F1

Glass Type: Cardinal LoE-366
 1" IGU - 6mm LoE366/12.7mm Air/3mm Clear
 - Visible light transmission=63%
 - Exterior reflectance=10%
 - Solar heat gain coefficient=0.28
 - U-Value=0.25, 0.34F1

Finish counter by others. Dual Weather stripping seals to countertop, counter supplied by others should be flat and smooth for optimum operation and air/water tightness. OPTVUE recommends that the countertop should be installed prior to window installation.

Exterior Elevation



General Notes

Production Info

Build Dimensions

Unit Width	60.0000
Unit Height	60.0000
Sash Width	57.6250
Sash Height	58.4375
Glass Width	52.8750
Glass Height	53.6250
Sash Center	28.8125

Finish Schedule

Jamb Exterior	Color
Sash Exterior	Color
Jamb Interior	Bare Wood
Sash Interior	Bare Wood
Sash core/edge	Color
Hinge Exterior	Color
Handle Exterior	Color
Handle Interior	Color
Struts Interior	Color
Strut Mount	Stainless
-	-
Strut Cover	Veneer
Drip Cap	Color
IGU Spacer	Black
Screen Track	N/A
Screen Mesh	N/A
Weather Strip	Black

Manufacturer Name and Address
 OPTVUE
 3204 PRODUCTION AVE
 OCEANSIDE, CA 92058
 +1(760) 760-0110



DATE OPTVUE CUSTOMER	DATE
2/18/25	1

CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
W1	WOOD	SINGLE LITE	FIXED	5'-0" X 5'-0"	RECESSED	REPLACEMENT	YES
W1 - T	WOOD	SINGLE LITE	FIXED	5'-0" X 1"-0"	RECESSED	REPLACEMENT	YES
W2	WOOD	SINGLE LITE	FIXED	5'-0" X 1"-0"	RECESSED	REPLACEMENT	NO
W4	WOOD	SINGLE LITE	FIXED	31" X 25"	RECESSED	REPLACEMENT	YES

“BASED ON ARCHIVAL IMAGERY, THE CURRENT GROUND-FLOOR STOREFRONT GLAZING APPEARS TO BE A LATER ALTERATION; THEREFORE, EXISTING WINDOWS ARE IDENTIFIED AS REPLACEMENT/NON-ORIGINAL.”

DAMAGE TO EXISTING WINDOWS

Window	Describe Damage
W1 (TYP)	N/A - NO DAMAGE OR REPAIRS
W1 - T (TYP)	N/A - NO DAMAGE OR REPAIRS
W2	N/A - NO DAMAGE OR REPAIRS
W4	N/A - NO DAMAGE OR REPAIRS

PROPOSED WINDOW SCHEDULE

Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
W1 (6 EA)	WOOD	SINGLE LITE	FIXED	5'-0" X 5"-0"	RECESSED	N/A	EXISTING TO REMAIN
W1 - T	WOOD	SINGLE LITE	FIXED	5'-0" X 1"-0"	RECESSED	N/A	EXISTING TO REMAIN
W-2 (5 EA)	WOOD	SINGLE LITE	OPERABLE	5'-0" X 5"-0"	RECESSED	N/A	
W4	WOOD	SINGLE LITE	FIXED	31" X 25"	RECESSED	N/A	EXISTING TO REMAIN

- **Must include photos of all windows with labels indicated on this sheet**
- **Must include manufacture's specifications and details for all proposed windows**
- *** Use additional sheets as necessary

CERTIFICATE OF APPROPRIATENESS DOOR WORKSHEET



**PLANNING &
DEVELOPMENT
DEPARTMENT**

EXISTING DOOR SCHEDULE

Door ID	QTY	Material	Configuration	Lite Pattern	Operation	Size (Overall)	Transom	Original / Replacement	Existing to Remain	Remarks
D1	3	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - Fixed wood transom above	Original	Yes	Existing historic wood storefront double doors with transom to remain
D2	1	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - Fixed wood transom above	Original	RELOCATE	Existing historic wood storefront double door with transom to be relocated

DAMAGE TO EXISTING DOORS

DOOR	Describe Damage
<i>Ex. A1</i>	<i>Glass is broke, window is inoperable, rail is rotten, and frame is broken</i>
	N/A - NO DAMAGE OR REPAIRS

PROPOSED DOOR SCHEDULE

Door ID	Qty	Location	Material	Configuration	Lite Pattern	Operation	Size (Overall)	Transom	Origin	Remarks
D1	3	Congress St. & Main St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - fixed wood transom above	Existing	Existing historic storefront double doors to remain
D2	1	Corner / Main St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - fixed wood transom above	Existing (Relocated)	Existing historic storefront door relocated to new opening
D3	1	Congress St.	Wood	Double Door (Pair)	Single Lite	Swing	6'-0" x 8'-0"	Yes - fixed wood transom above	New	New storefront door to match existing in material, profile, and detailing

NOTE

- New door (D3) matches existing historic doors in design, material, proportions, and finish.
- No doors are attached to or alter historic masonry.

THRUVUE™ INFINITY SERIES

PASSTHROUGH WINDOW



DISCOVER THE ULTIMATE ENTERTAINING SPACE

The **THRUVUE GAS STRUT WINDOW** is a manual gas strut window system designed to bring the indoors out. Perfectly sitting on a countertop bar, it transforms any space into an elegant entertaining area and server bar. Add a touch of luxury and design to your home with **THRUVUE Series Gas Strut Window**.

Contact us today to learn more about **THRUVUE** and transform your space.

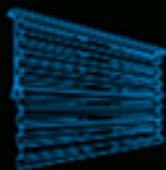
(760) 760-0110 | www.optvue.com
3204 Production Ave, Ste C, Oceanside, CA 92058



OPTVUE™

YT @OPTVUE
P @OPTVUE_MFG

WINDOW OPTIONS



Manual & Motorized Screen



Motorized Operation



7 Sill Options



SDL & Impact Glass



Hardware Options

COLOR OPTIONS



TAUPE



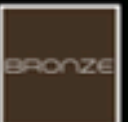
SILVER



WHITE



BLACK



BRONZE

SPLIT FINISH & WOOD OPTIONS



SPLIT FINISH



WOOD



Maximizes space by folding up and away when open, providing full-width access unlike bi-fold windows.



Made from thermally broken aluminum, these windows are durable and weather-resistant.



Commercial grade gas struts for a smooth, controlled opening and closing movement.



Offers a clean, modern look that can complement any architectural style.



Versatile for indoor and outdoor use, enhancing connectivity and functionality.



Available in standard and custom sizes and finishes to match specific design preferences.



Maintains indoor temperature with superior thermal break.



Utilizes stainless steel hardware for corrosion resistance

BENEFITS



(760) 760-0110 | www.optvue.com
3204 Production Ave, Ste C, Oceanside, CA 92058

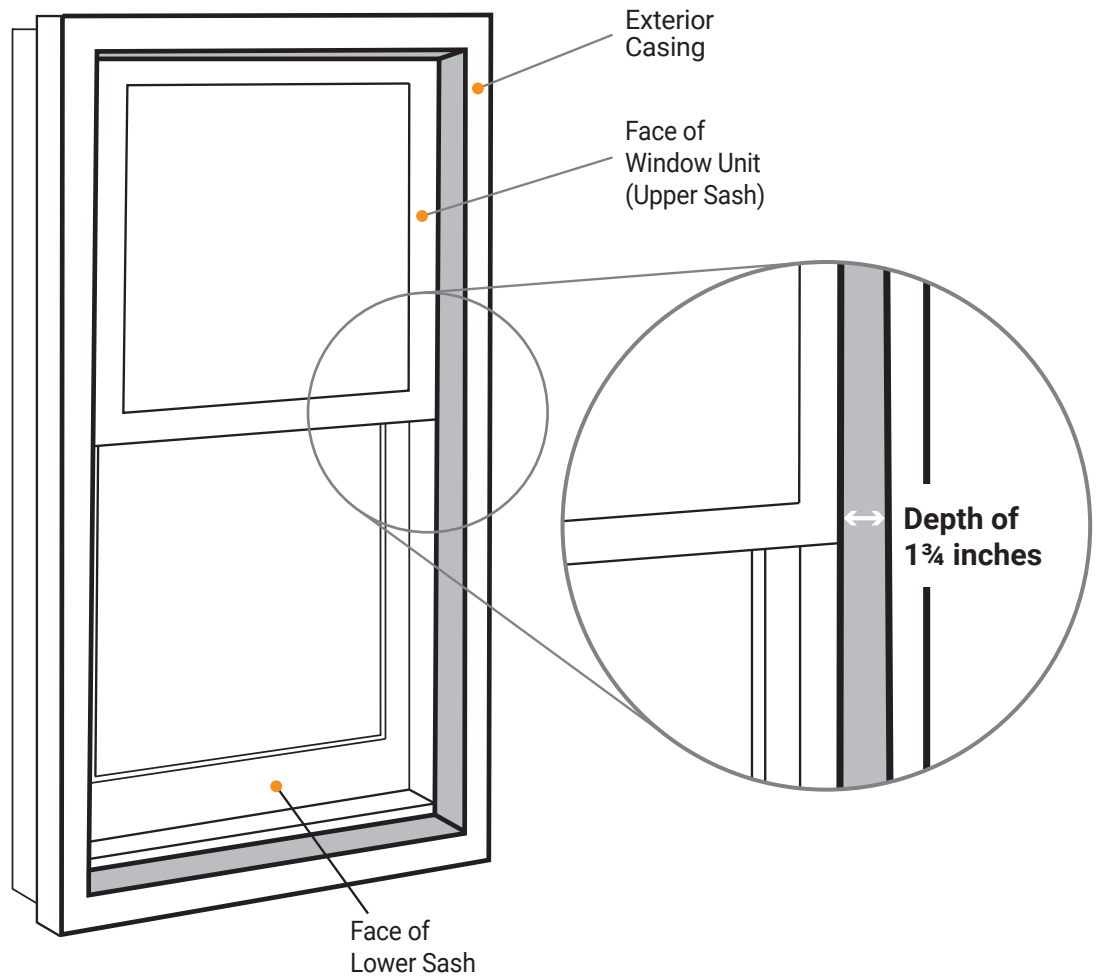
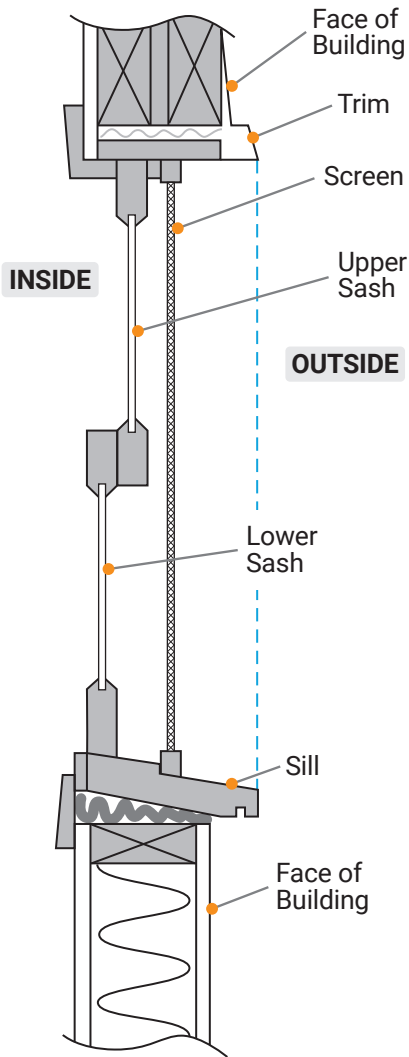
@OPTVUE @OPTVUE_MFG



Historic Window Standard: New Construction & Replacement

WINDOW CROSS SECTION

FRONT OF WINDOW



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov