



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM D28

HPO File #: HP2026_0043

April 10, 2025

REVISION TO HP2025_0230

1907 Decatur St.

Old Sixth Ward

Applicant: Joe Leyva, owner

Property: 1907 Decatur Street, Lot 8, Block 427, Baker W R NSBB. The property includes a historic 2,340 SF two-story wood single-family residence and non-contributing detached garage situated on a 5,000 SF (50' x 100') interior lot.

Significance: Contributing Classical Revival style single-family residence, constructed circa 1907-1924, located in the Old Sixth Ward Historic District. Approved for a two story garage apartment in Sept. 2025.

Proposal: New Construction – Garage or Carport

The applicant is proposing to construct a 400SF one-story garage at the rear of the lot.

- Roof: Dimensional black composition shingles to match existing with 8:12 pitch
- Siding: cementitious lap siding, 7.25" exposure
- Eave height:
- Ridge height:
- Windows: Clad wood double-hung windows
- All windows to be inset and recessed. See Attachment for details.

ALL NEW WINDOWS MUST BE INSET 1¼ Inches – See Attachment

1-over-1 Windows Must Be Equally Horizontally Divided

ALL CEMENTITIOUS BOARD MUST BE SMOOTH

Public Comments	
-	- No Comments
Civic Association	
-	- Comments

Recommendation: Approval

HAHC Action:

Basis for Issuance: HAHC Review

Date Effective:

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torquing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.



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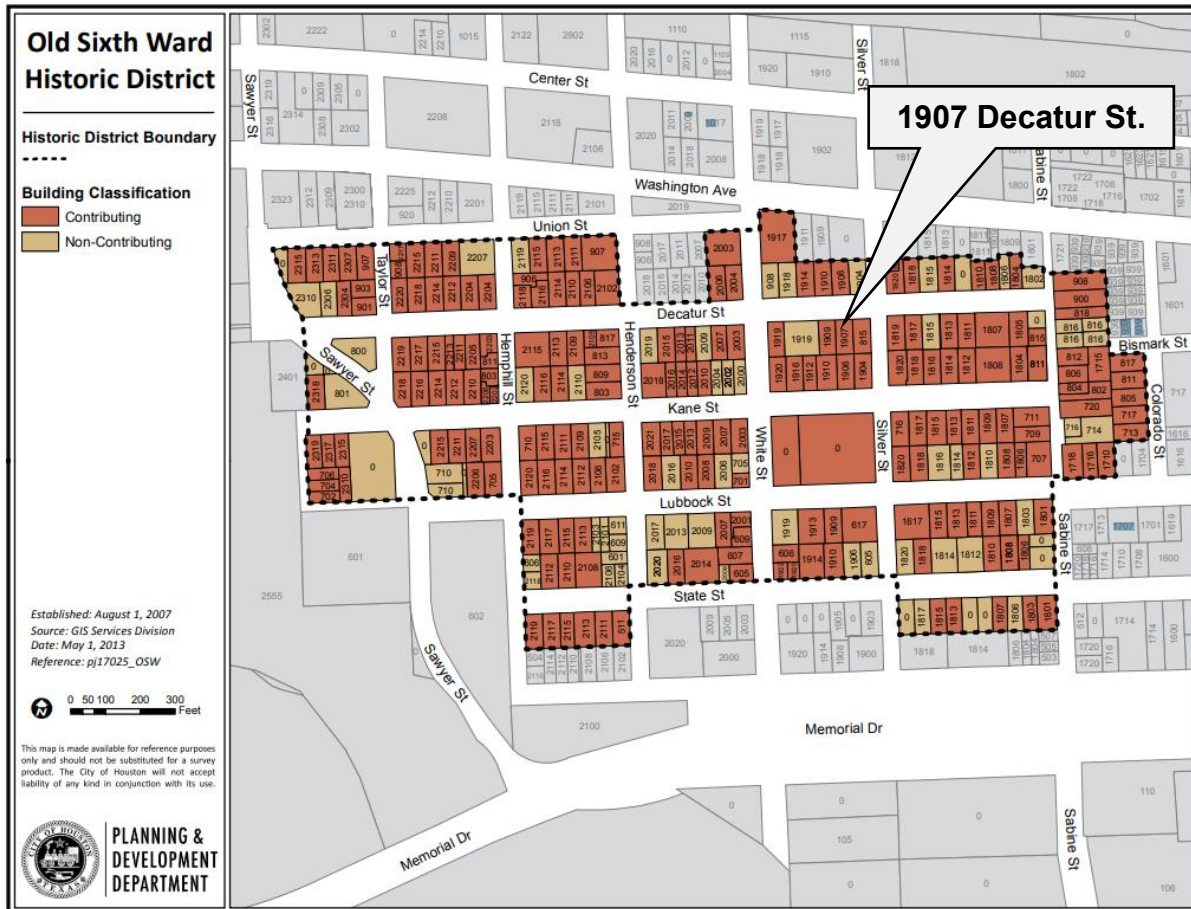
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PROPERTY LOCATION



Certificate Of Appropriateness: New Construction Worksheet

(For Buildings outside Houston Heights East, West, or South Districts)



PLANNING & DEVELOPMENT DEPARTMENT

* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

Address*: _____

Lot Size (TOTAL SQ FT)*: _____

General New Construction Info:

Primary or Accessory Building*	
Proposed Total Square footage*	
Proposed stories*	
Proposed max ridge height*	
Proposed max eave height*	

Lot Dimensions (W X L)* : _____

Setbacks From Property Line:

	Proposed	Shares property line with neighbor -Y/N?
North*		
South*		
East*		
West*		

Context Area:

Neighbor #1 stories*		Neighbor #2 stories*	
Neighbor #1 ridge height		Neighbor #2 ridge height	

Square Footage/Lot Coverage:	Proposed
Ground Floor Square Footage of Primary Building (HCAD)* <small>*please include sunrooms or enclosed porches w/ walls or windows</small>	
Attached Garage or Storage Space Square Footage	
Detached Garage, Garage Apartment or Accessory Building Square Footage	
<small>* Subtract detached garages more than 528 square feet by 528 square feet. If smaller than 528 sq ft, please subtract only the amount less than 528 sq ft.</small>	
Total Lot Coverage (base sq ft)* =	
Total Lot Coverage (% based on lot size)* =	

Do you have flooding issues?

Max Width/Depth:

widest building wall corner to corner	Proposed
Max Width*	
Max Depth*	

Foundation:

YES or NO

	Proposed
Grade to Finished Floor Height (1st fl)*	
Type*	
Material *	

Roof:

	Proposed
Pitch*	
Style*	
Material*	

Cladding:

	Proposed
Primary Siding Material*	
Primary Siding Width Reveal	
Skirting Material	
Soffit Material	
Fascia Material	

Porch Details:

	Proposed
Eave Height	
Width	
Depth	
Decking Material	
Pier/Base Material	
Column Material	
Step Material	
Railing Height	
Railing Material	

Are all windows on the addition inset & recessed? YES NO

Please fill out the window worksheet and review guidelines for drawing submissions

See link for more info: <https://cohweb.houston.tx.gov/HPT/login.aspx>



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INVENTORY PHOTO





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CURRENT PHOTO





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AERIAL VIEW OF PROPERTY





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CONTEXT AREA



1909 Decatur St – Contributing – c. 1908

Left of property

815 Silver St – Contributing – 1926

Right of property



1908 Decatur St – Contributing – c. 1898

Front of property

1908 Decatur St – Contributing – c. 1878

Front and to the left of property



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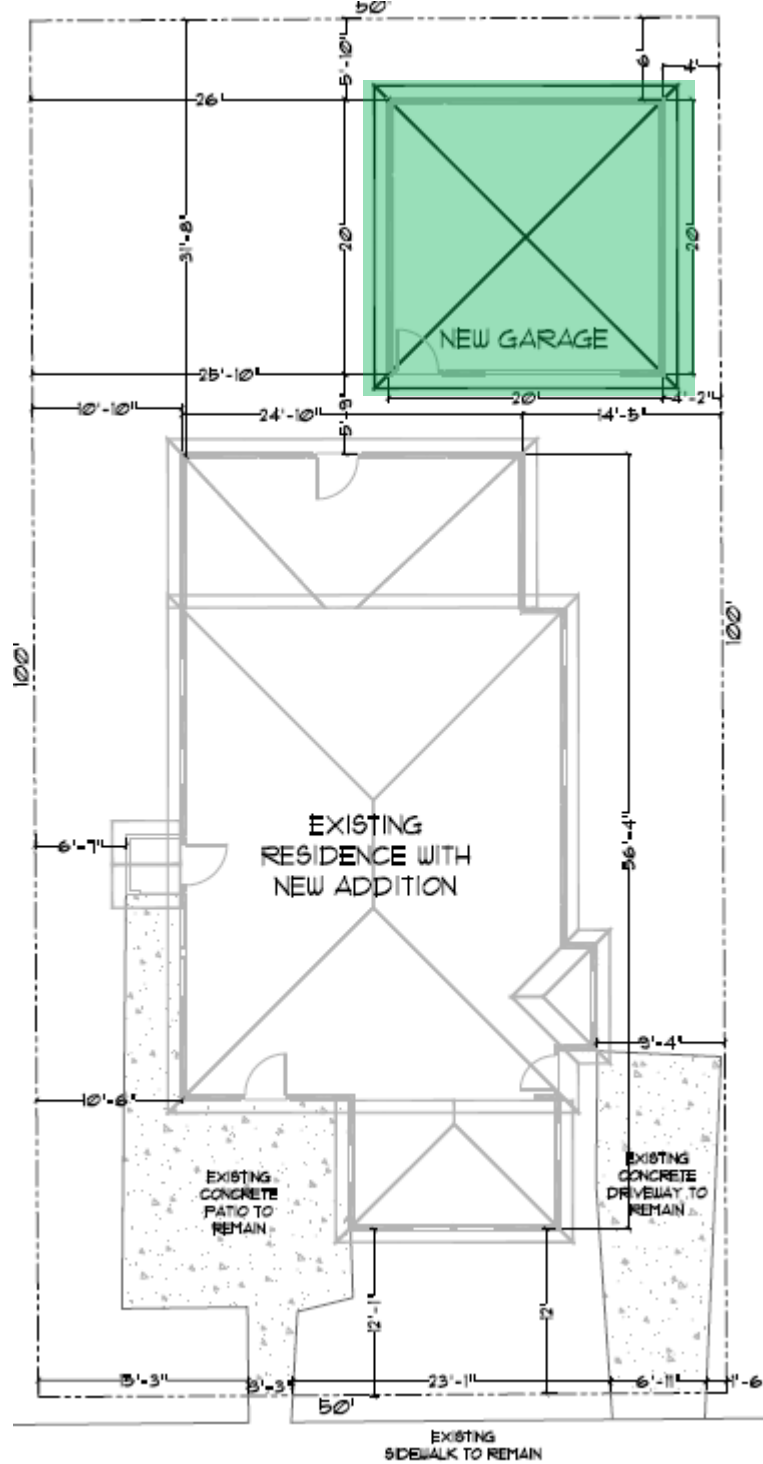
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SITE PLAN



PROPOSED



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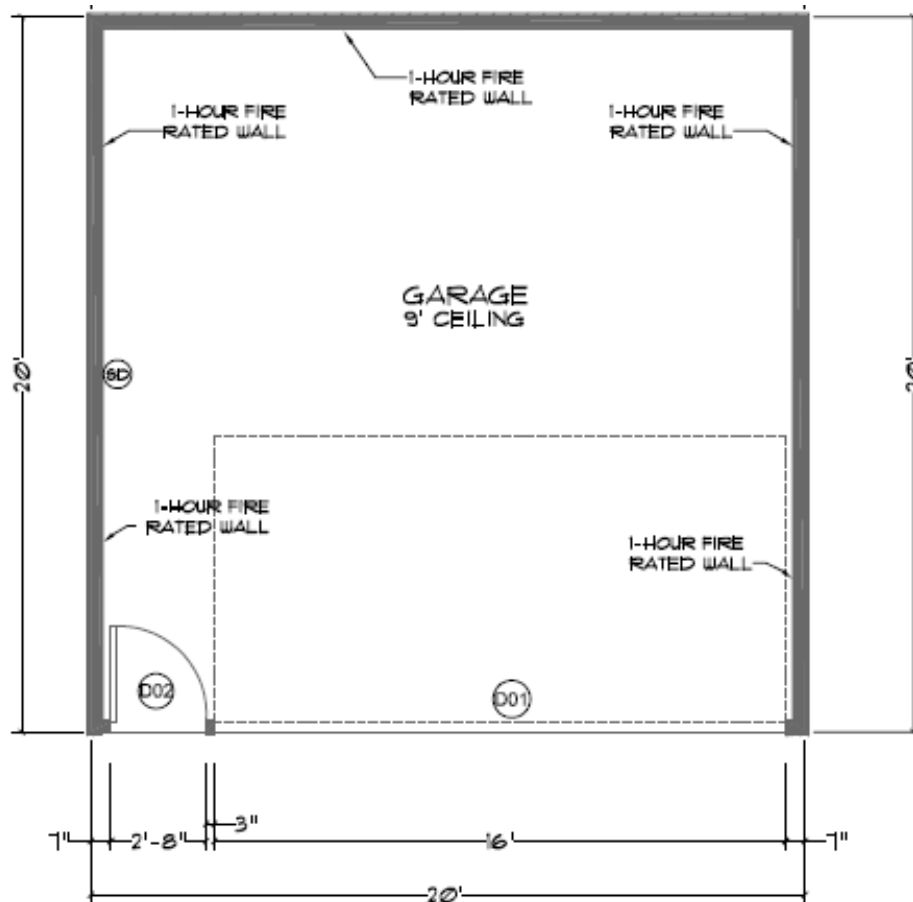
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PROPOSED FIRST FLOOR PLAN PROPOSED



FLOOR PLAN NOTES:

- 1/2" GYPSUM BOARD ON ALL COMMON WALLS.
 - 5/8" TYPE "X" GYPSUM BOARD ON GARAGE WALLS AND CEILING
- Ⓢ COMBINATION SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
TOTAL GARAGE AREA 400 sq ft

DOOR SCHEDULE			
NUMBER	WIDTH	HEIGHT	DESCRIPTION
D01	132 "	96 "	GARAGE DOOR
D02	32 "	80 "	HINGED DOOR

*ALL DOORS AND WINDOWS TO BE SELECTED BY OWNER.
*ALL DOORS THAT HAVE GLASS TO BE TEMPERED.

CODE REFERENCES

- 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) HOUSTON AMENDMENTS
- 2021 UNIFORM MECHANICAL CODE (UPC) HOUSTON AMENDMENTS
- 2021 UNIFORM PLUMBING CODE (UPC) HOUSTON AMENDMENTS
- 2023 NATIONAL ELECTRICAL CODE (NEC) ADMINISTRATIVE AMENDMENTS
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) HOUSTON AMENDMENTS



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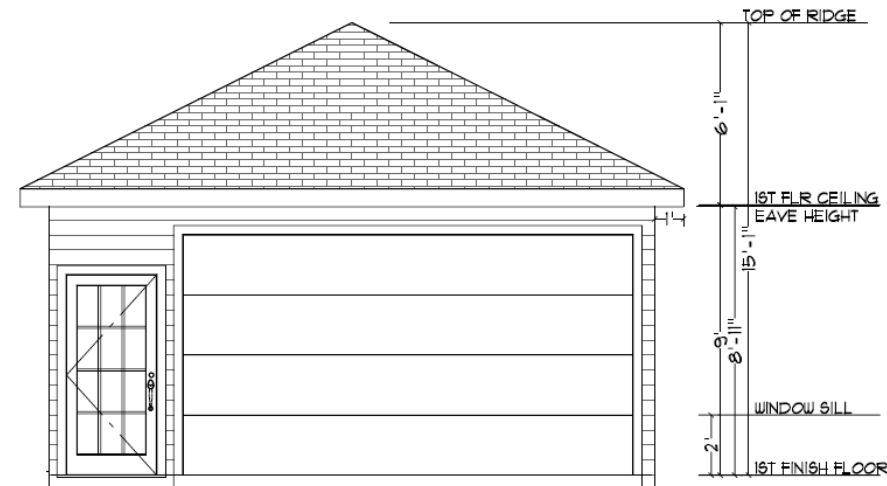
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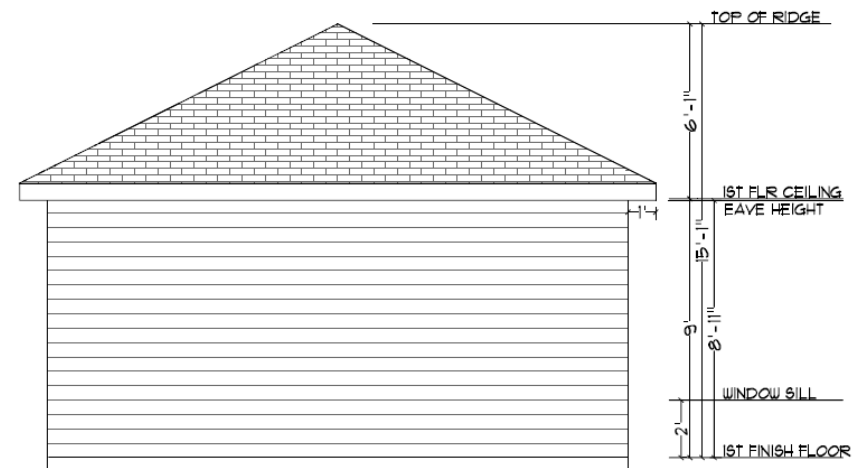
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PROPOSED ELEVATIONS

NORTH



SOUTH





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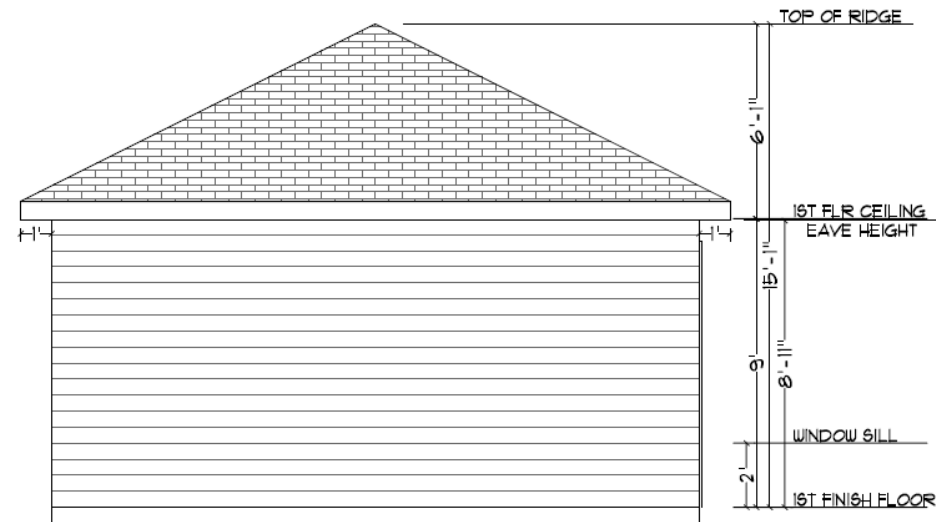
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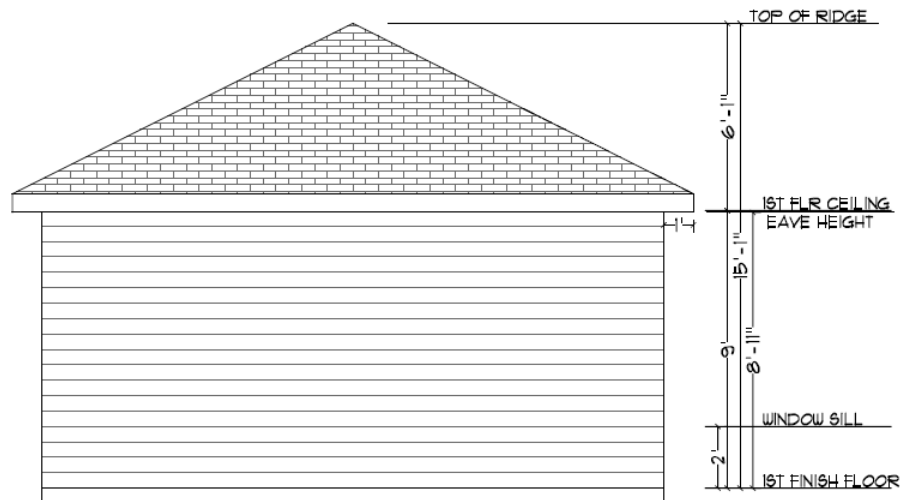
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PROPOSED ELEVATIONS

EAST



WEST





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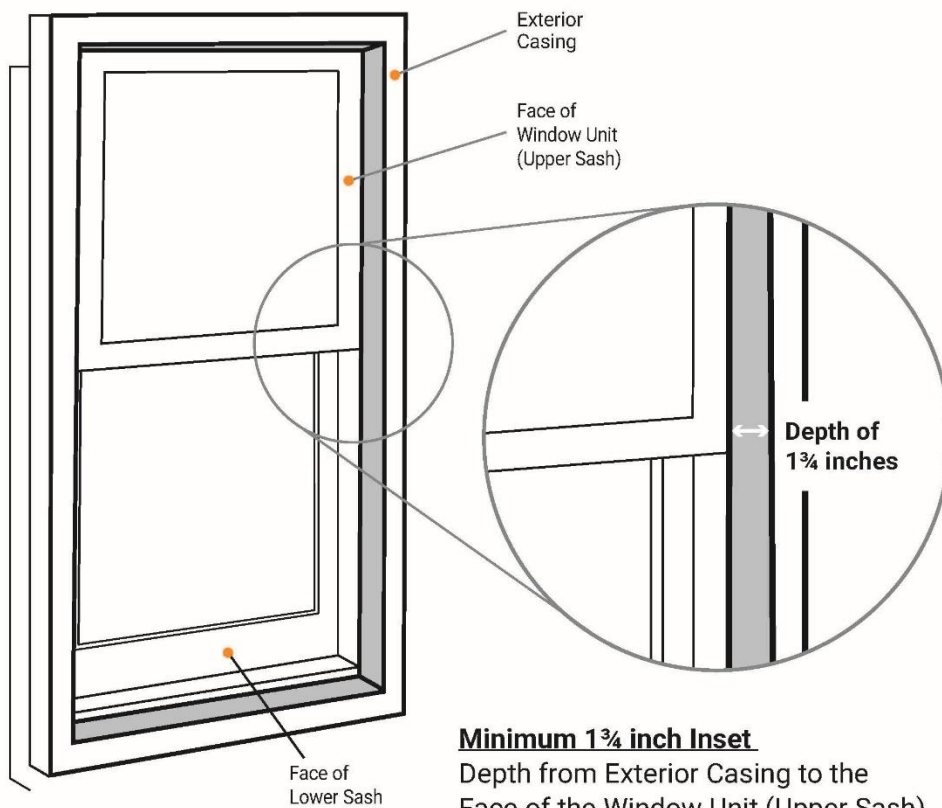
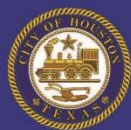
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Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset
Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:
Houston Office of Preservation
832-393-6556
historicpreservation@houstontx.gov



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