

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** December 20, 2021

**Applicant:** Apostolos (aka Paul) A. Lamnatos, owner

**Property:** 615 Heights Boulevard, Lot 8, Block 276, Houston Heights Subdivision.  
The property includes a historic 1,685 square foot, one-story wood frame single-family residence and a detached garage situated on a 7,500 square foot (50' x 150') interior lot.

**Significance:** Contributing bungalow style residence, constructed circa 1930, located in the Houston Heights South Historic District.

**Proposal:** Alteration – Rear Addition and Front Porch Steps

- Demolish rear enclosure and rear porch
- Build a 1-story 308 sq. ft. rear addition
- North setback is 5' 8-13/16"
- North wall length at 46' 4" with a 1' inset
- South wall length at 53' 10" with a 1' inset
  - Existing south wall is 53' 10"
- Rear addition will tie into existing structure's ridge height at 17'5"
- Roof pitch will be 4:12, matching existing structure
- Composition shingles
- Single-hung, 1-over-1, wood windows
- Remove existing front concrete steps and build wood steps

Detached Garage and Garage Apt

- Demolish existing non-contributing 1-story detached garage
- South setback is 5'; Rear setback is 3' 4"
- Garage will be open and unconditioned space with pervious gravel
- Roof pitch will be 4:12, matching existing structure
- Composition shingles
- Single-hung, 1-over-1, wood windows

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

District Map



Inventory Photo



HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 7,500

Max. Allowed: 2,850

Proposed Lot Coverage: 1,993

Remaining Amount: 857

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 7,500

Max. FAR Allowed: 3,150

Proposed FAR: 1,993

Remaining Amount: 1,157

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

North Side Wall Length: 46' 4"

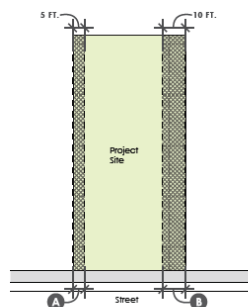
South Side Wall Length: 53' 10"

Inset Length: 13' 7-3/4"

Inset on North side: 1'

Inset on South side: 1'

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

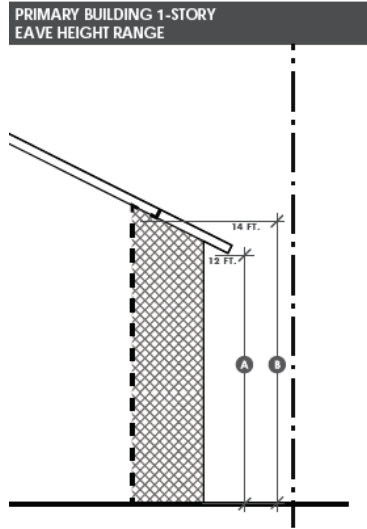
Proposed North setback (1): 6'-5 3/8"

Proposed South setback (2): 16'-2"

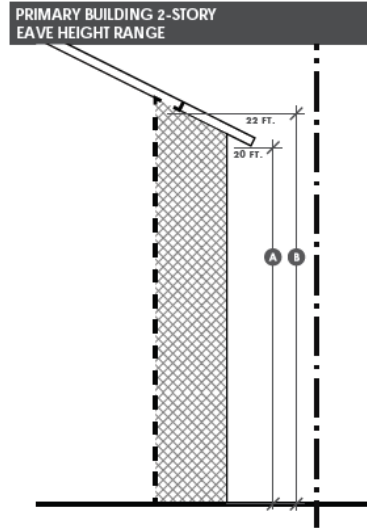
Cumulative side setback: 22'-7 3/8"



Eave Height (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback



KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 10' 8-1/2"

**HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS**

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 3' 4"

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

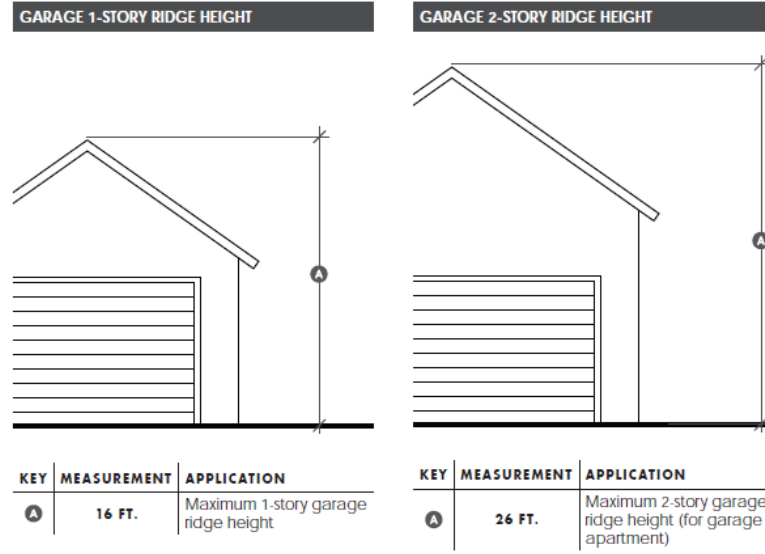
Proposed finished floor: 2' 4-1/2"

Proposed Addition first floor plate height: 8' 4"

Proposed New Construction second floor plate height: 9'



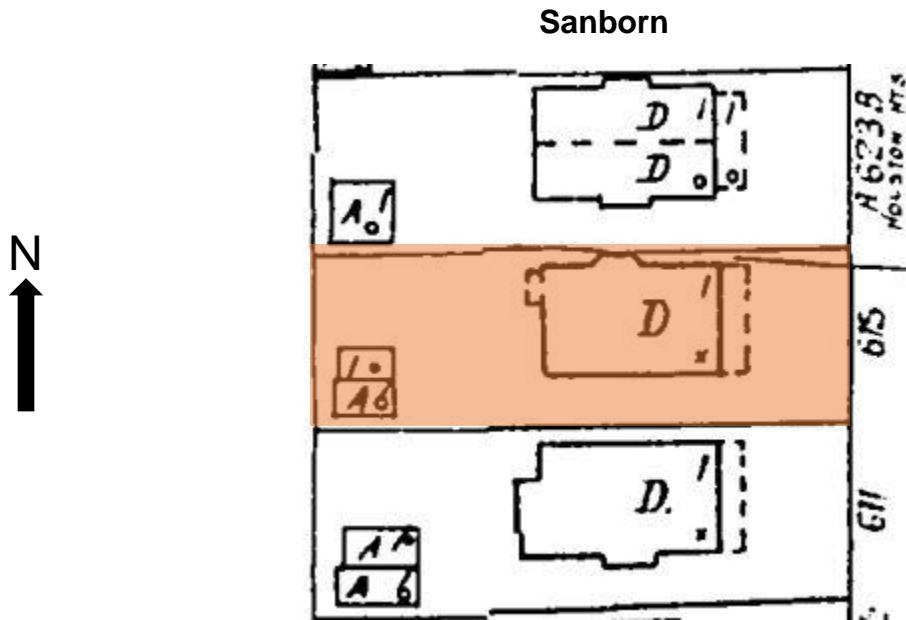
Detached Garage Ridge Height (New Construction)



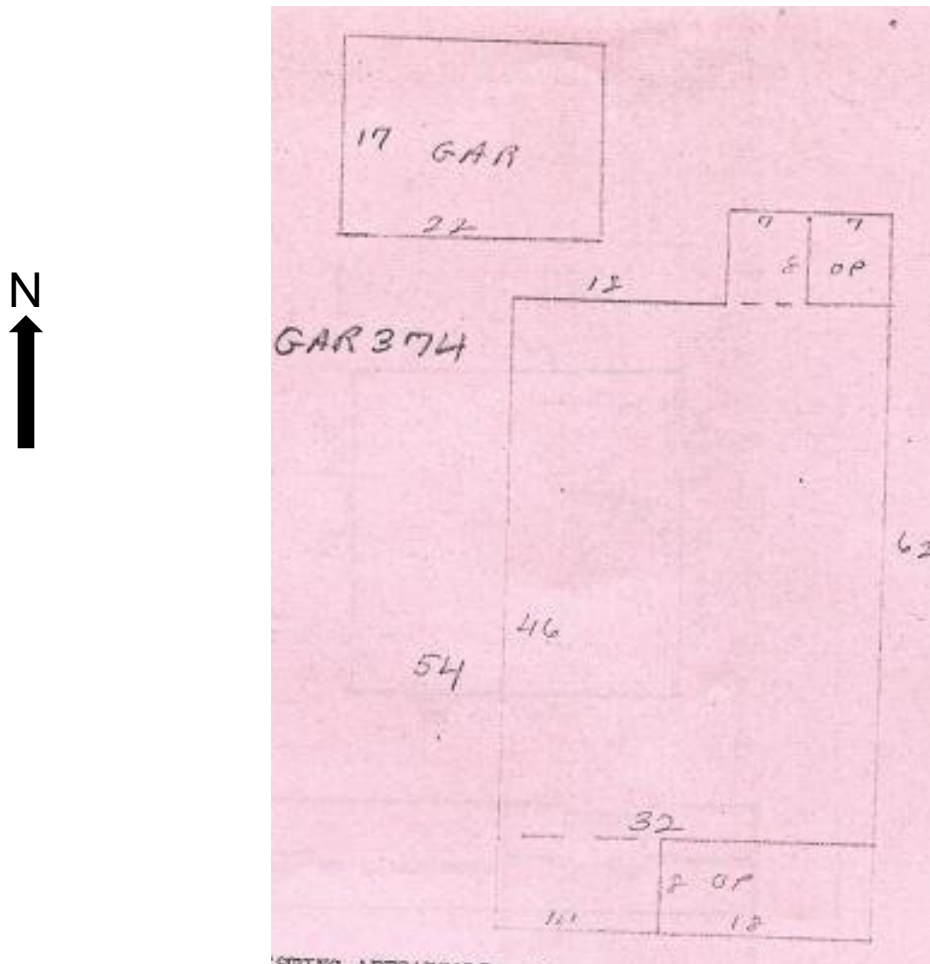
Proposed ridge height: 25' 9-1/2"

The following measurable standards are not applicable to this project:

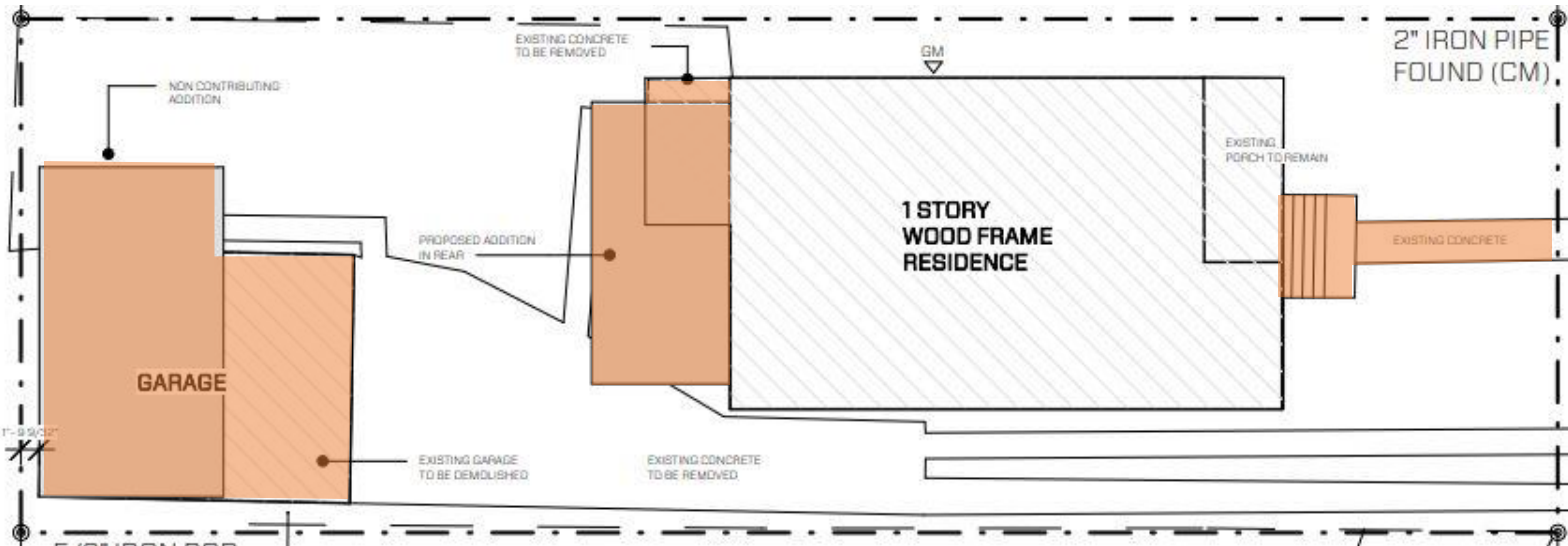
- Front Porch Width and Depth
- Porch Eave Height



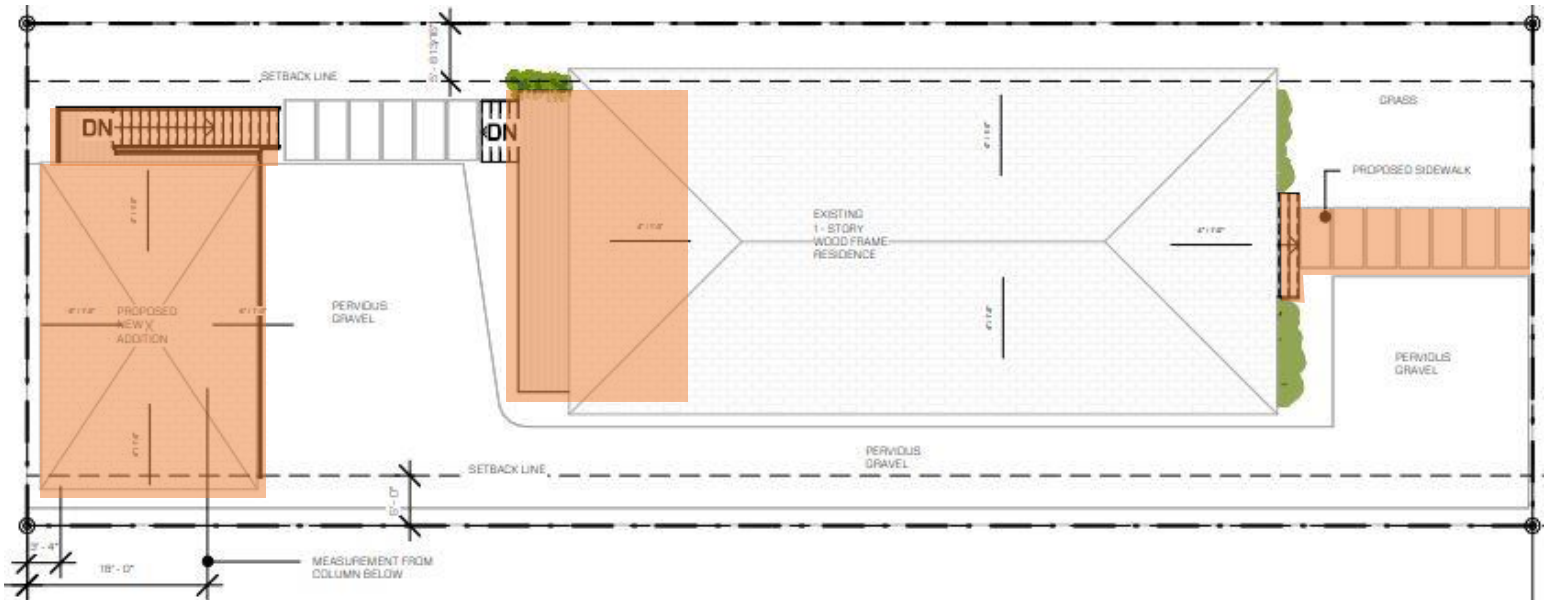
Harris County Building Land Assessment Survey – Feb. 8, 1968



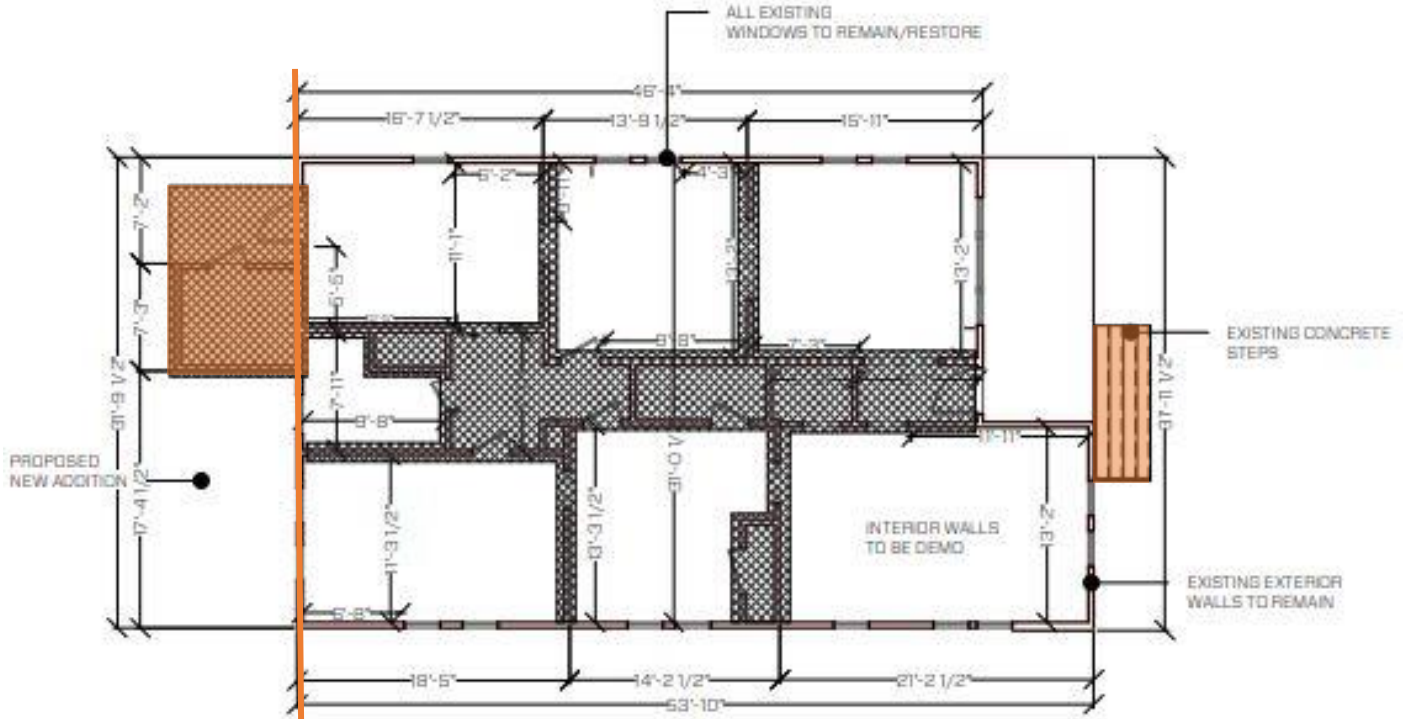
Existing Site Plan



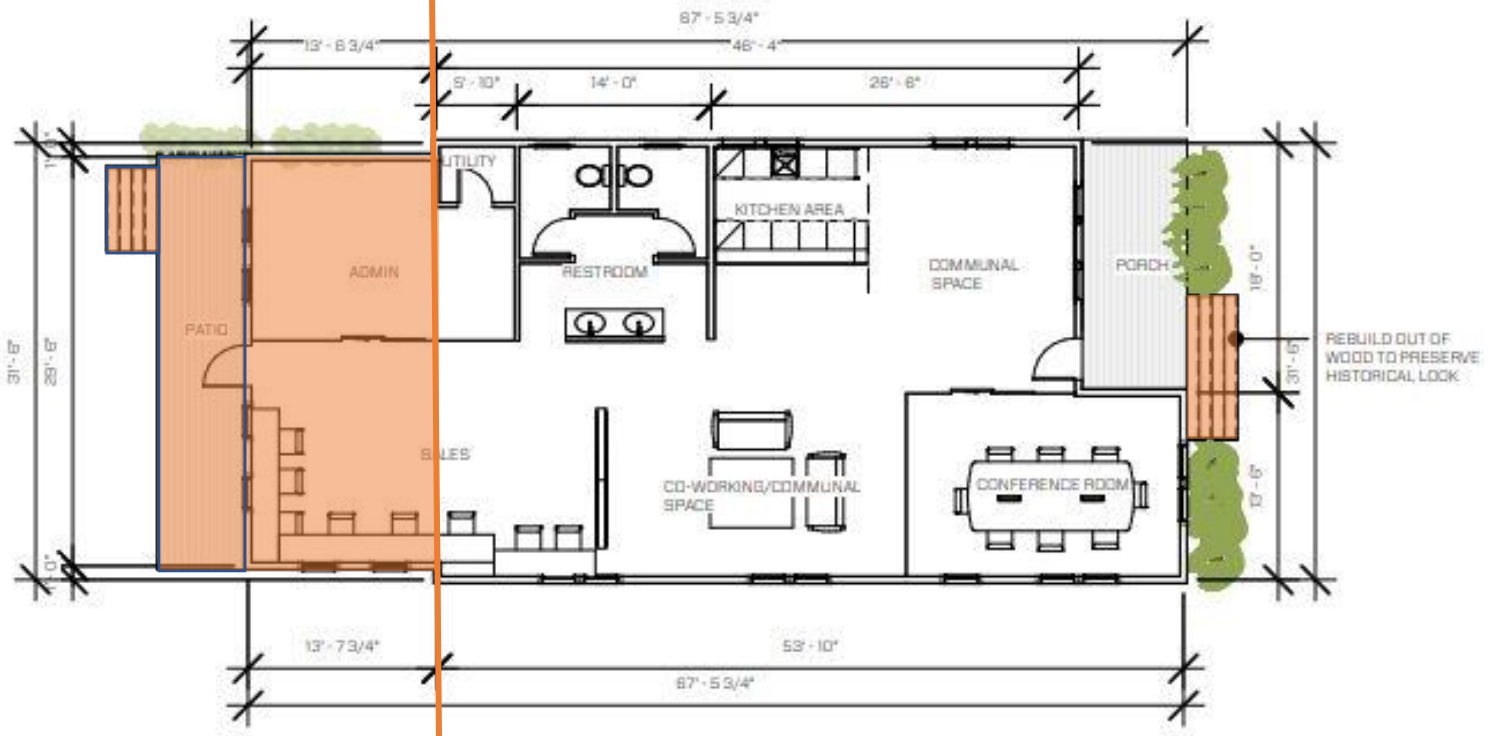
Proposed Site Plan



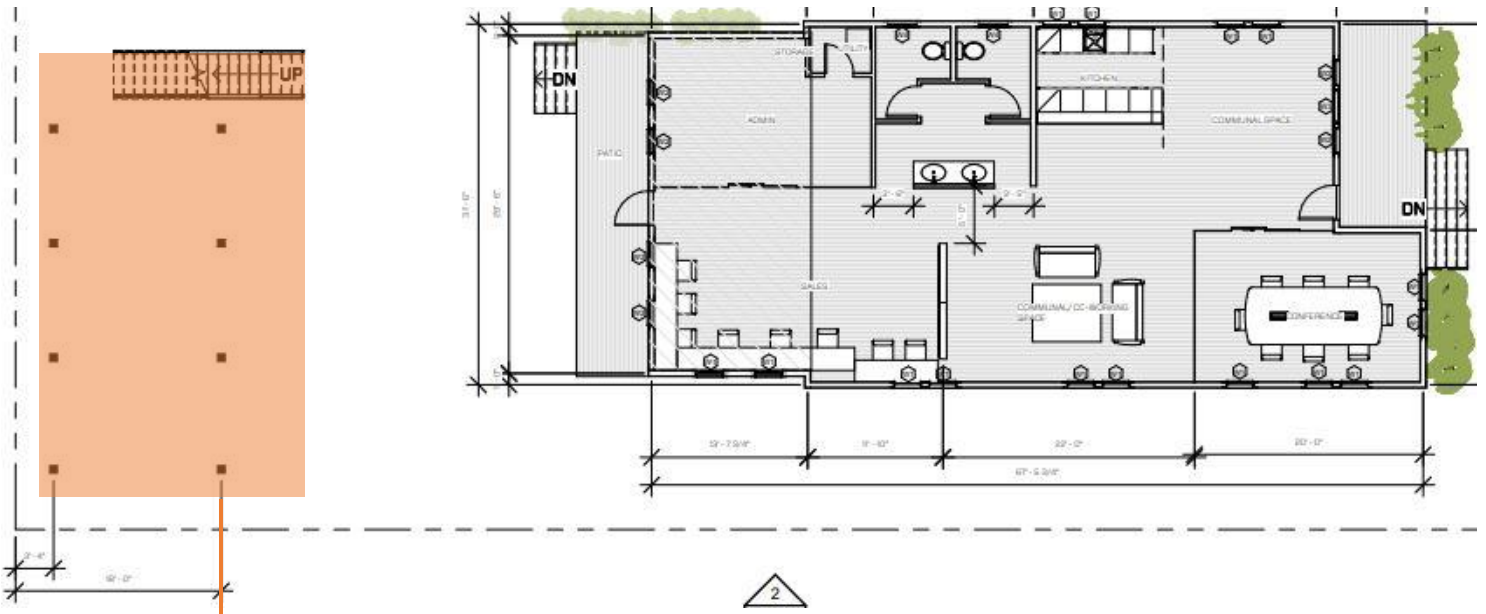
Existing Floor Plan



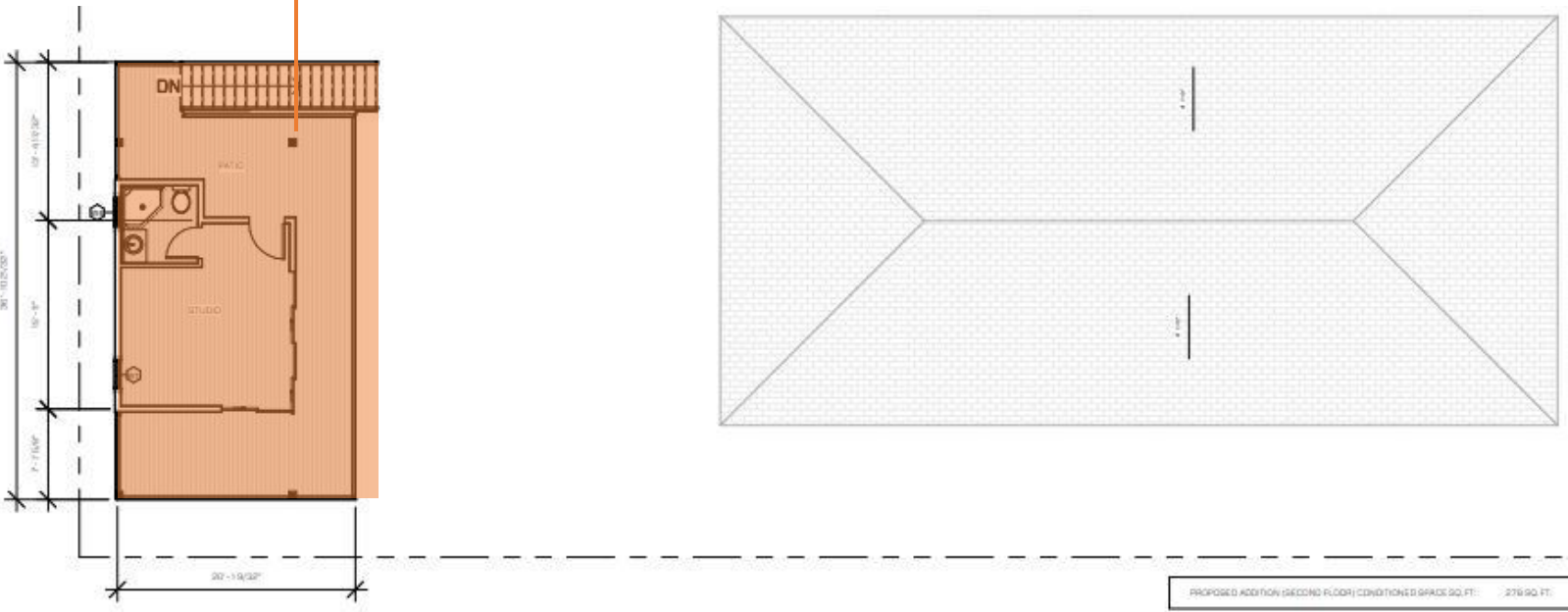
Proposed Floor Plan



**Proposed First Floor Plan (Detached Structure)**



**Proposed Second Floor Plan (Detached Structure)**



PROPOSED ADDITION (SECOND FLOOR) / CONDITIONED GRADE SQ. FT.: 276 SQ. FT.

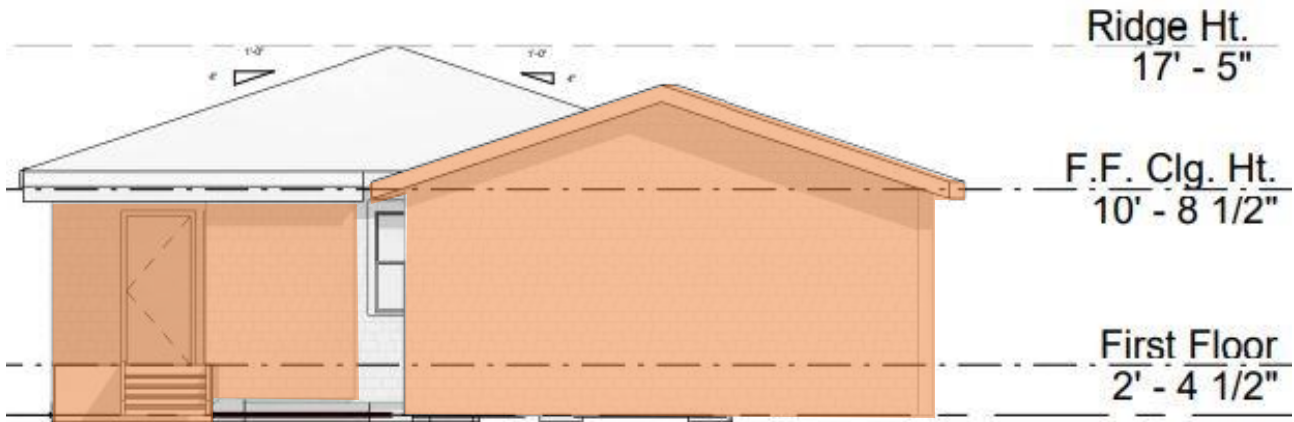
Existing Front (East) Elevation



Proposed Front (East) Elevation



Existing Rear (West) Elevation



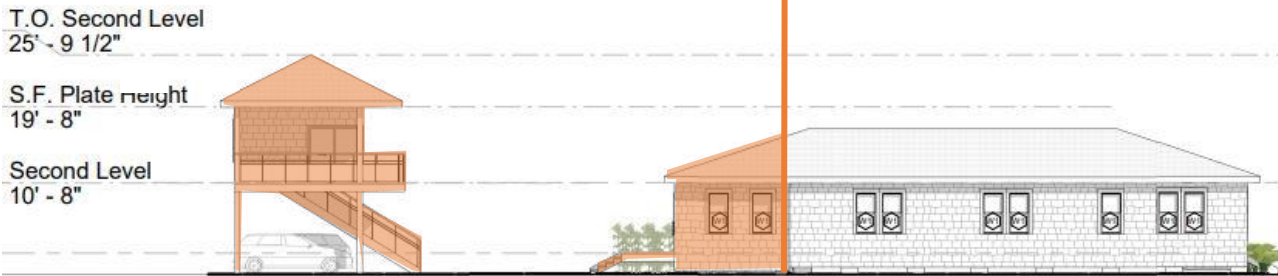
Proposed Rear (West) Elevation



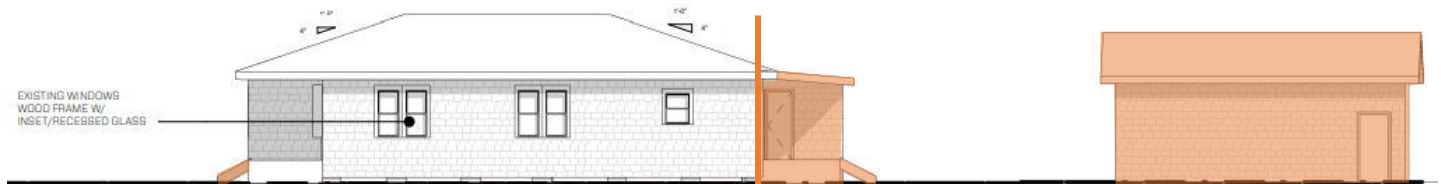
**Existing South Elevation**



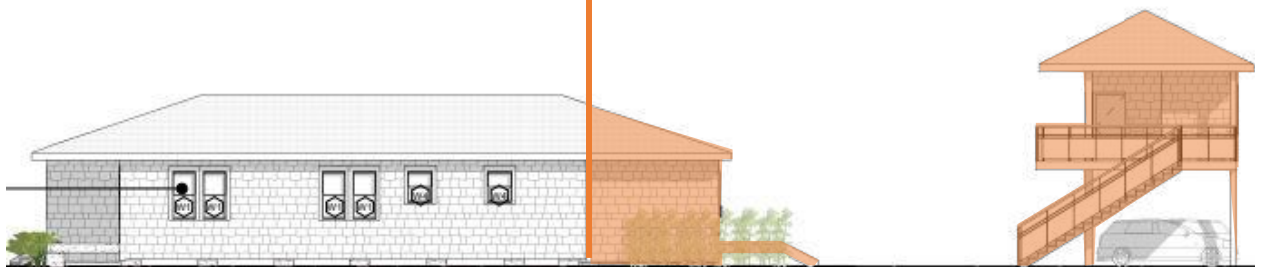
**Proposed South Elevation**



**Existing North Elevation**

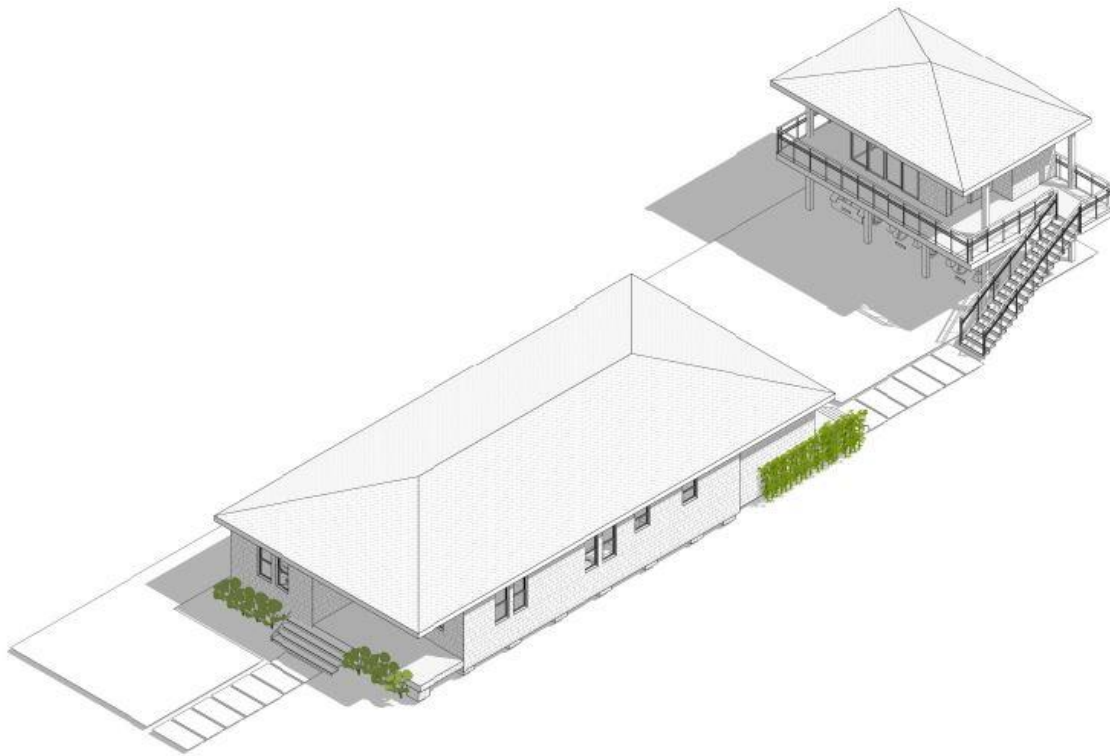


**Proposed North Elevation**

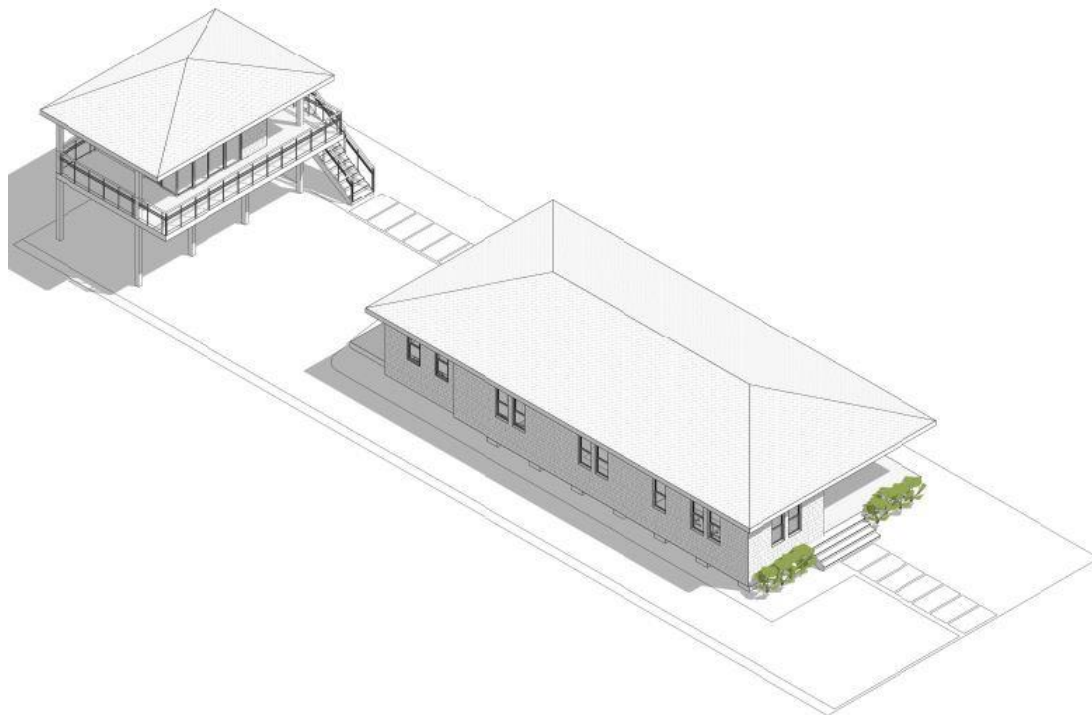




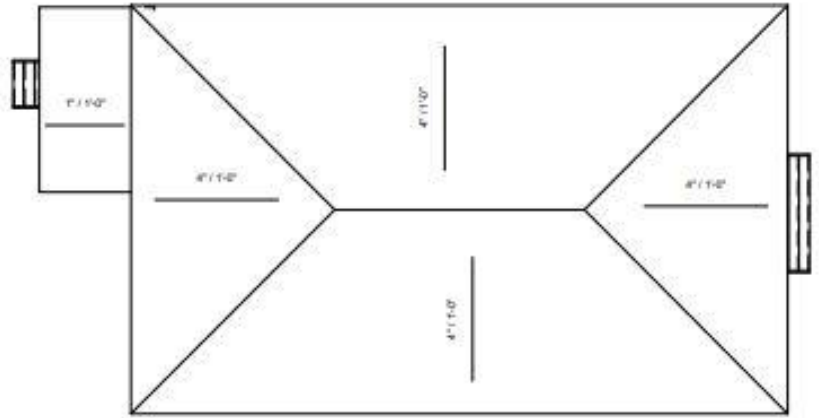
**NE Perspective – Proposed**



**SE Perspective – Proposed**



Existing Roof Plan



Proposed Roof Plan

