

**CERTIFICATE OF APPROPRIATENESS**

**Applicant:** Daniel S. Turner, architect for Travis Player, owner

**Property:** 1023 Oxford Street, Lot 5, Block 221, Houston Heights Subdivision. The property includes a historic 1,880 square foot two-story wood frame single family residence and detached garage situated on a 6,650 square foot interior lot.

**Significance:** Contributing bungalow residence, constructed circa 1920, located in the Houston Heights Historic District South.

**Proposal:** New Construction –Garage

The applicant is proposing to construct a 572 detached garage and a 492 detached garage apartment. The detached garage / apartment is a two story, new construction which is accessible from the alley to the west of the site, it is a two-car garage. The roof pitch is 6/12 to match the original home.

See enclosed detailed project description and drawings for further details

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA S - satisfies D - does not satisfy NA - not applicable

[X] [ ] [ ] (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;

[X] [ ] [ ] (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;

[X] [ ] [ ] (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;

[X] [ ] [ ] (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

HEIGHTS DESIGN GUIDELINES

[X] [ ] [ ] In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

**HEIGHTS DESIGN GUIDELINES**

- 

In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

- 

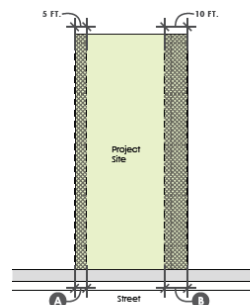
**Maximum Lot Coverage (Addition and New Construction)**

LOT SIZE	MAXIMUM LOT COVERAGE
<b>&lt;4000</b>	.44 (44%)
<b>4000-4999</b>	.44 (44%)
<b>5000-5999</b>	.42 (42%)
<b>6000-6999</b>	.40 (40%)
<b>7000-7999</b>	.38 (38%)
<b>8000+</b>	.38 (38%)

Existing Lot Size: 6,600  
 Max lot coverage percentage: 0.40  
 Max lot coverage: 2,640  
 Proposed Lot Coverage: 2,019 sq ft  
 Proposed Percentage: 31%

- 

**Side Setbacks (Addition and New Construction)**



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
<b>A</b>	<b>3 FT.</b>	Minimum distance between side wall and the property line for lots less than 35 feet wide
<b>B</b>	<b>5 FT.</b>	Minimum distance between the side wall and the property line
<b>B</b>	<b>REMAINING</b>	Difference between minimum side setback of 5 feet and minimum cumulative side setback
<b>C</b>	<b>6 FT.</b>	Minimum cumulative side setback for lots less than 35 feet wide
<b>C</b>	<b>10 FT.</b>	Minimum cumulative side setback for a one-story house
<b>C</b>	<b>15 FT.</b>	Minimum cumulative side setback for a two-story house

Proposed side setback (N): 5'  
 Proposed side setback (S): 15'  
 Cumulative side setback: 20'

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40



Existing Lot Size: 6,600 sq ft  
 Allowed FAR 0.44 is 2,904 SF  
 Proposed FAR: 0.29 (1,928 sq ft)

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

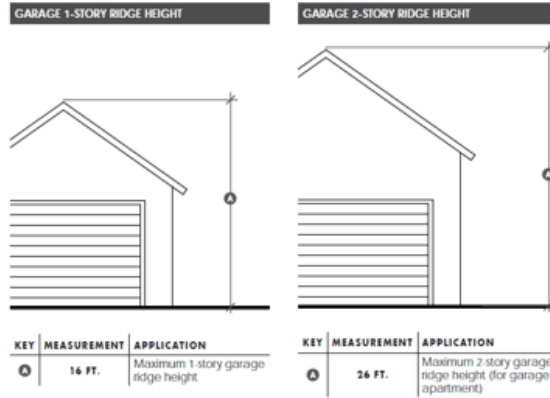
Proposed first floor plate height: 8'

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback is 20' from opposite structure for alley-loading garage



Max ridge height is 24'-5 1/2"  
Proposed eave height is 16'-11"



PROPERTY LOCATION  
HOUSTON HEIGHTS HISTORIC DISTRICT SOUTH



**Building Classification**

- Contributing
- Non-Contributing
- Park



**INVENTORY PHOTO**



**CURRENT PHOTO**



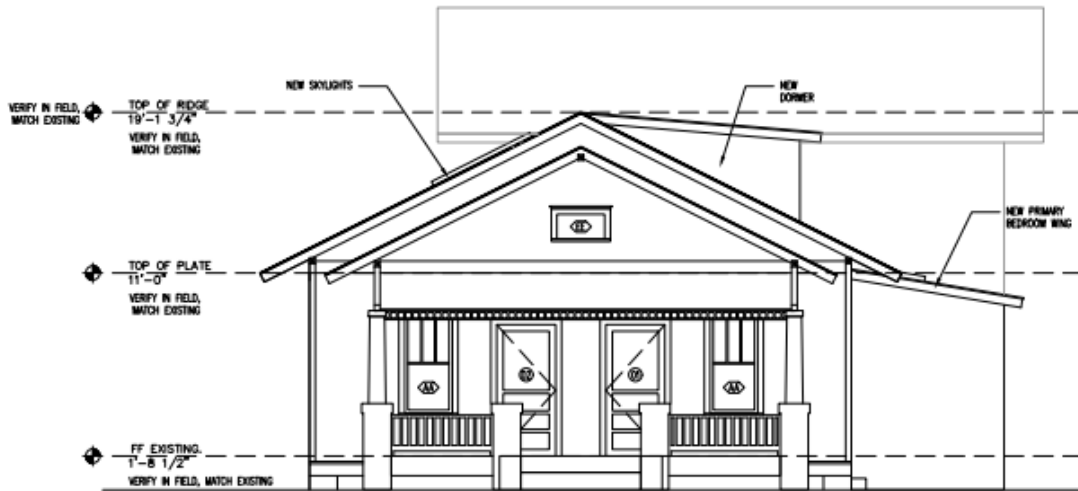
**EAST ELEVATION – FRONT FACING OXFORD STREET**

**EXISTING**



**02** EXISTING EAST (OXFORD STREET) ELEVATION  
1/4" = 1'-0"

**PROPOSED**

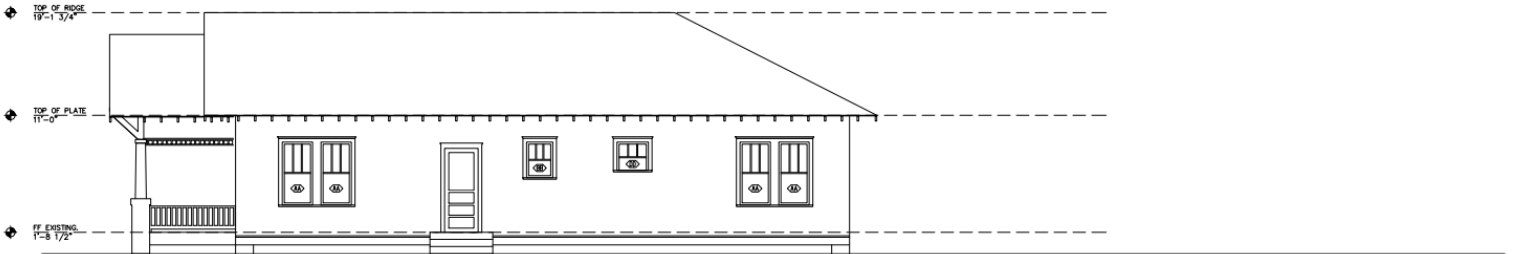


**01** PROPOSED EAST (OXFORD STREET) ELEVATION  
1/4" = 1'-0"



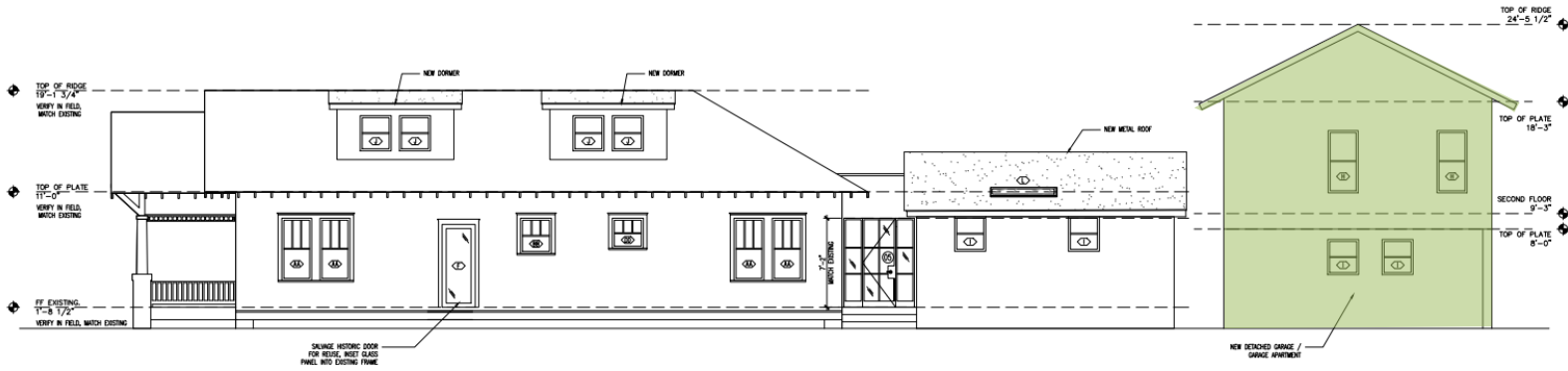
**NORTH SIDE ELEVATION**

**EXISTING**



02 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

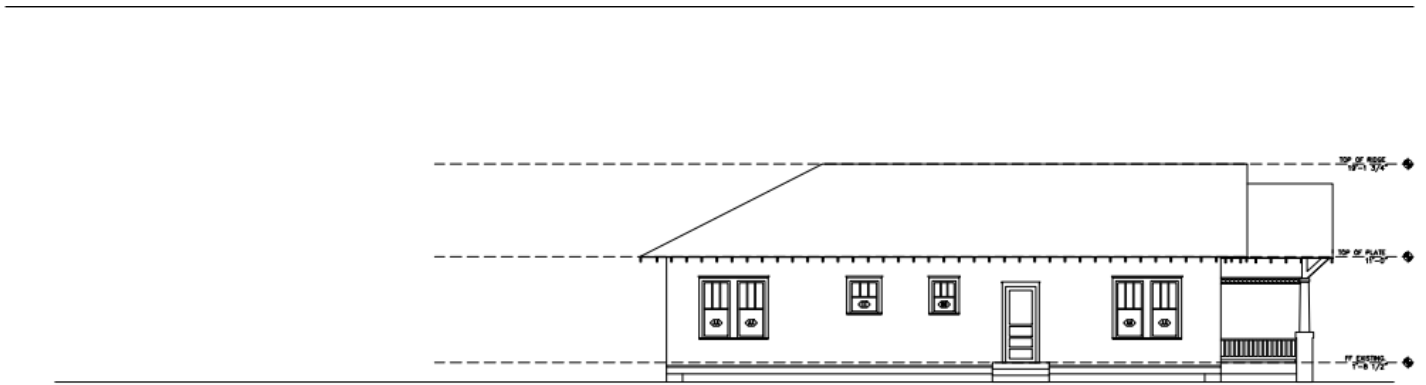
**PROPOSED**



01 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

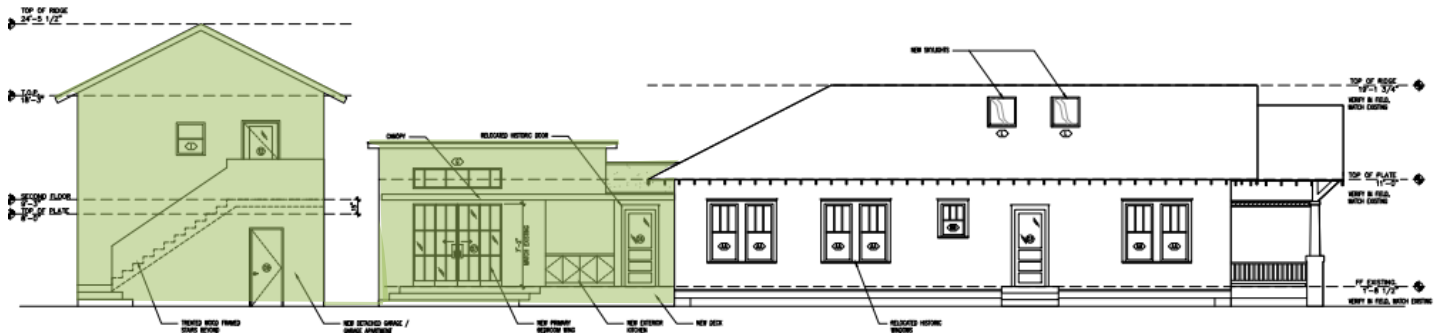
**SOUTH SIDE ELEVATION**

EXISTING



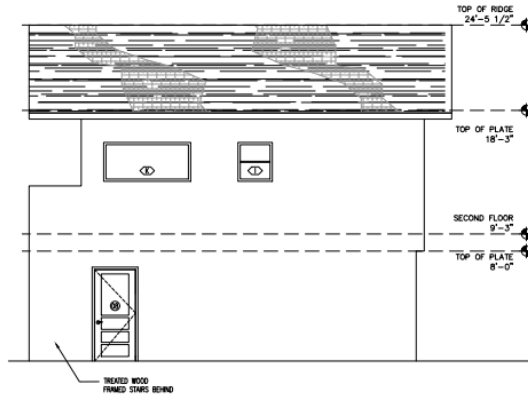
02 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

PROPOSED



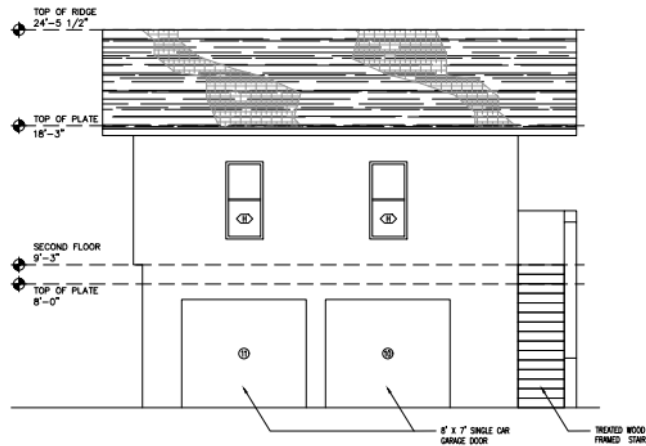
01 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"

**EAST (ALLEY) ELEVATION**  
**PROPOSED**



01 PROPOSED EAST ELEVATION  
1/4" = 1'-0"

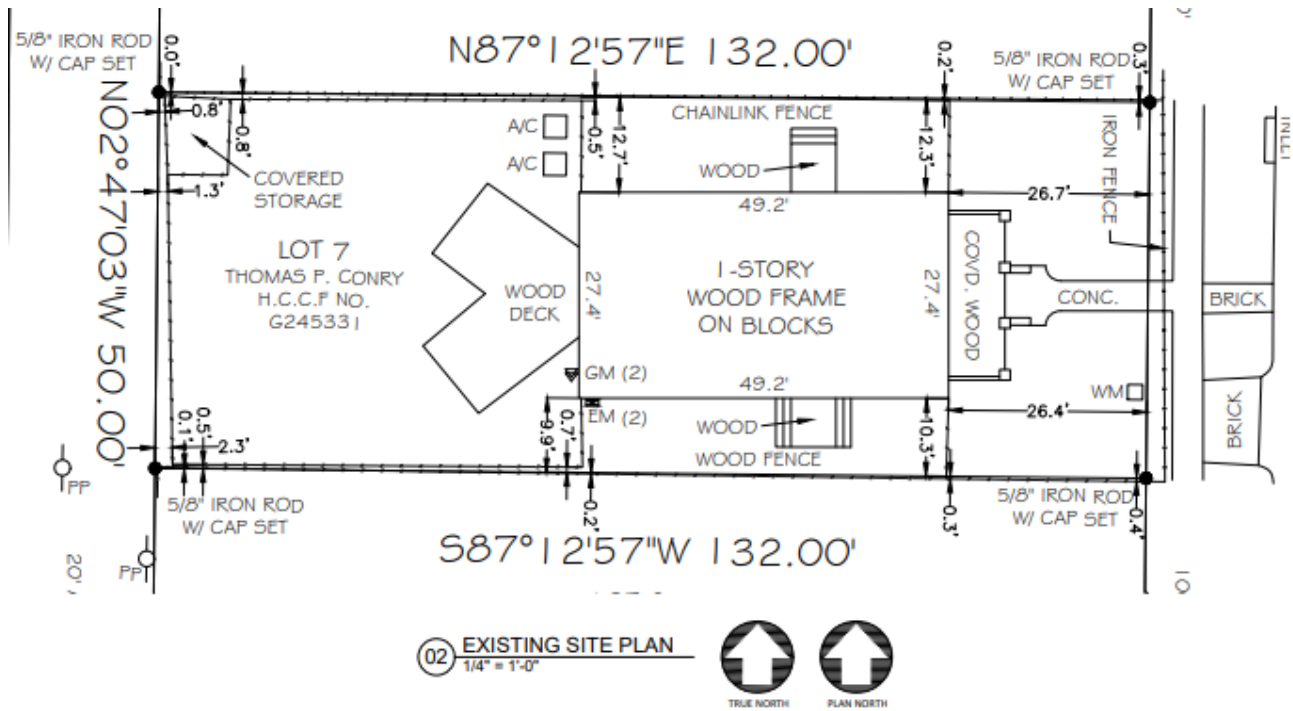
**WEST (ALLEY) ELEVATION**  
**PROPOSED**



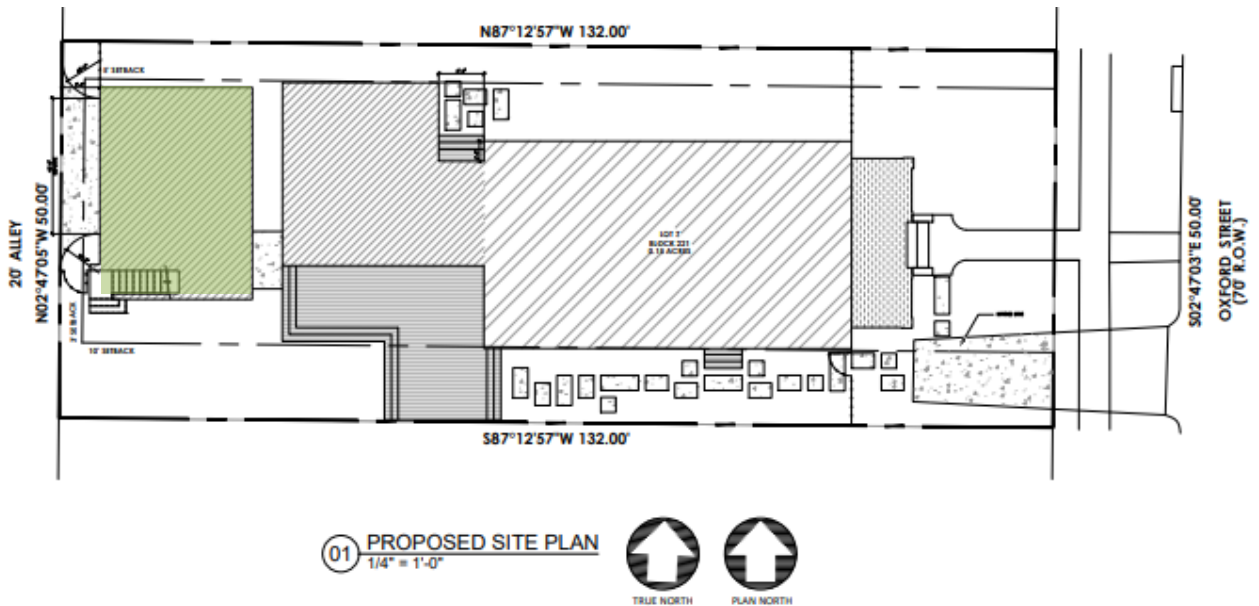
01 PROPOSED WEST (ALLEY) ELEVATION  
1/4" = 1'-0"

SITE PLAN

EXISTING

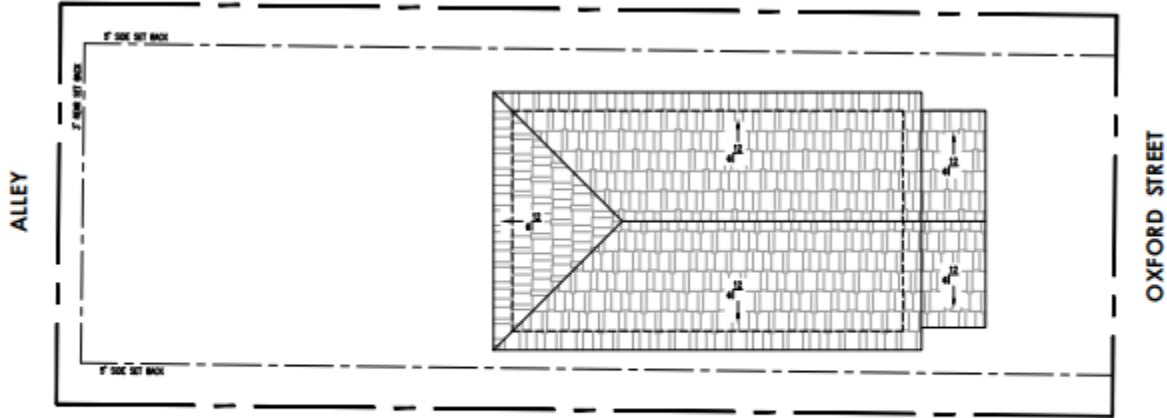


PROPOSED



ROOF PLAN

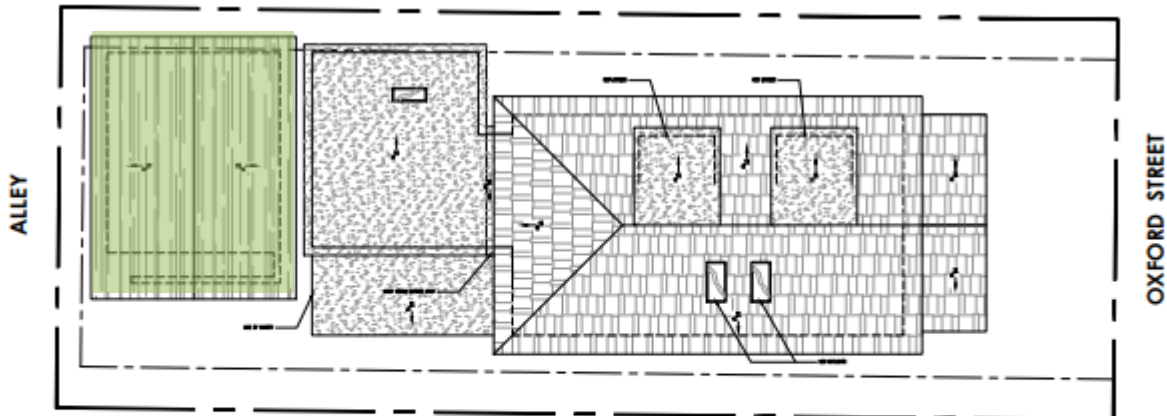
EXISTING



02 EXISTING ROOF PLAN  
1/4" = 1'-0"



PROPOSED



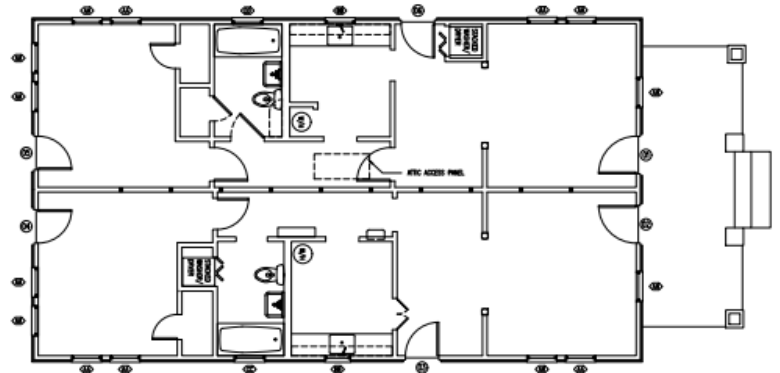
01 PROPOSED ROOF PLAN  
1/4" = 1'-0"





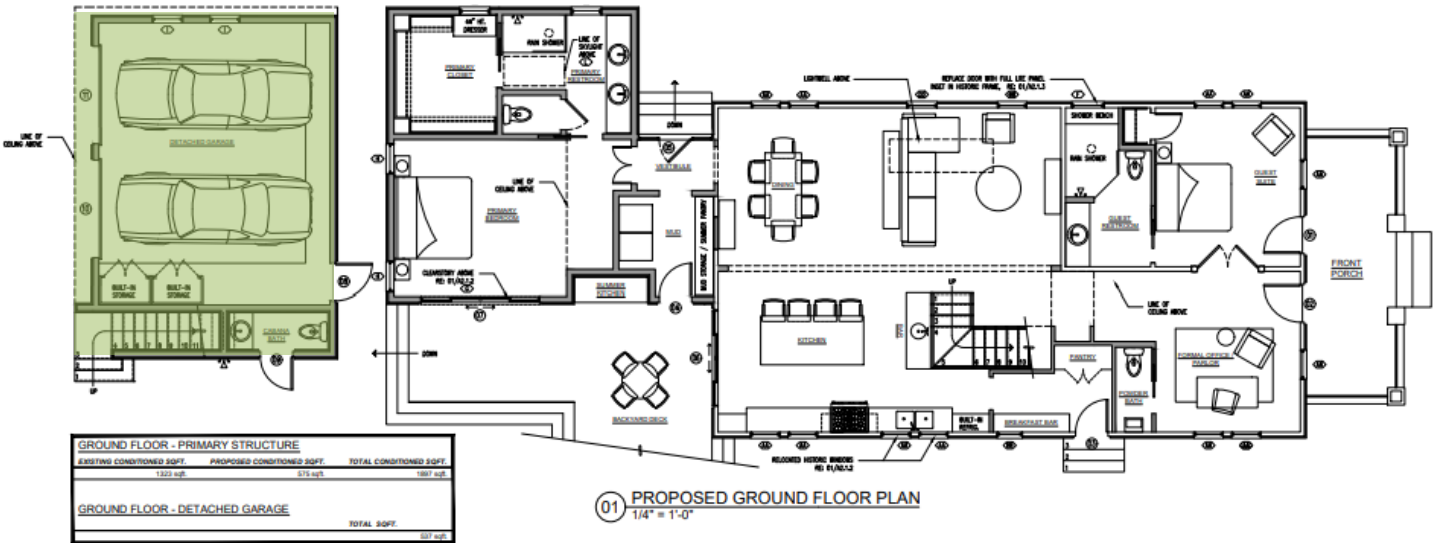
FIRST FLOOR PLAN

EXISTING



02 EXISTING GROUND FLOOR PLAN  
1/4" = 1'-0"

PROPOSED



01 PROPOSED GROUND FLOOR PLAN  
1/4" = 1'-0"

GROUND FLOOR - PRIMARY STRUCTURE		
EXISTING CONDITIONED SQFT	PROPOSED CONDITIONED SQFT	TOTAL CONDITIONED SQFT
1322 sqft	275 sqft	1597 sqft

GROUND FLOOR - DETACHED GARAGE	
TOTAL SQFT	
227 sqft	

**SECOND FLOOR PLAN**

PROPOSED

