

CERTIFICATE OF APPROPRIATENESS

Application Date: June 27, 2022

Applicant: Jennifer Waldo, owner; Sam Gianukos, agent

Property: 802 W Temple; Lot 9, Block 218, East Norhill. 6,157 SF Lot, 1,428 SF House and detached, 576 SF, garage apartment

Significance: Contributing one-story English brick bungalow, built 1925 per inventory, 1920 per HCAD and garage apartment is designated contributing with build date of 1945 per inventory and 1920 per HCAD

Proposal: Alteration – Addition

- Demolish existing 2-car, 2-story, garage apartment
- Replace with 2-story addition to house that is similar in footprint to the existing garage apartment
- Addition to have same 1st floor ceiling height (9') as original house and 8' ceiling height 2nd floor
- Existing ridge height is 22' and proposed addition to have 25'5" ridge height
- Existing total conditioned SF: 2,122; proposed SF: 3,160 Plus 823 SF basement

Public Comment: 6 emails in support received and attached

Civic Association: Civic Association is opposed. "The basis of rejection was 1) the proposed demolition of a historic garage apartment and 2) the proposed addition fails to meet the harmony clause. I will look for the letter that contains more detail for your write-up."

Applicant agent met with NNA and they do support connecting the garage to the house.

<p>Recommendation: Approval</p> <p>HAHC Action: -</p>

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | S - satisfies D - does not satisfy NA - not applicable |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |

District Map





Figure 1 Inventory photo of existing garage apt (No inventory photo of main house)

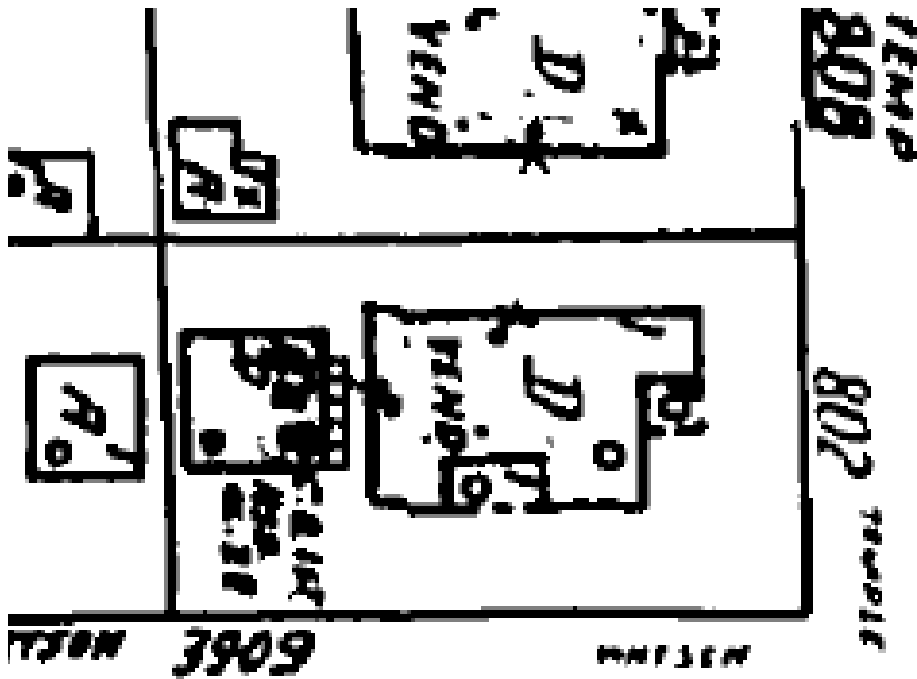




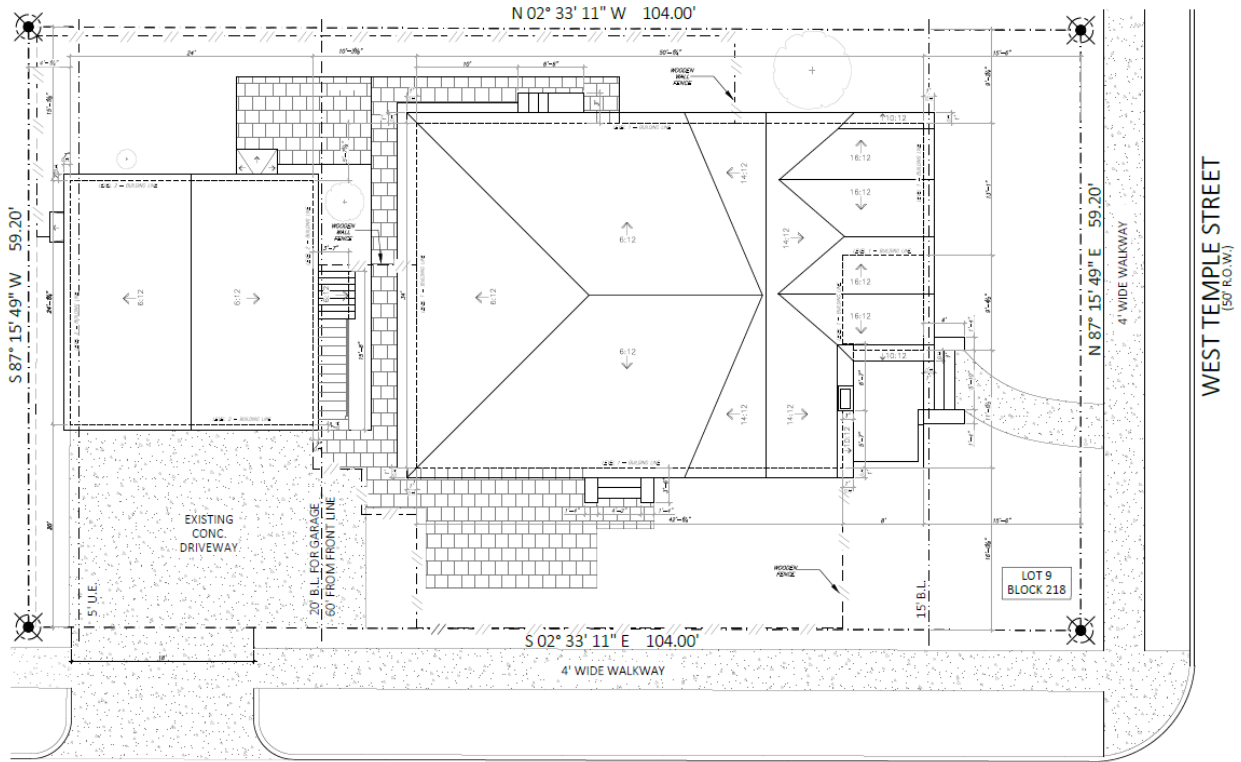
Figure 2 - May 2022 streetview of front of house



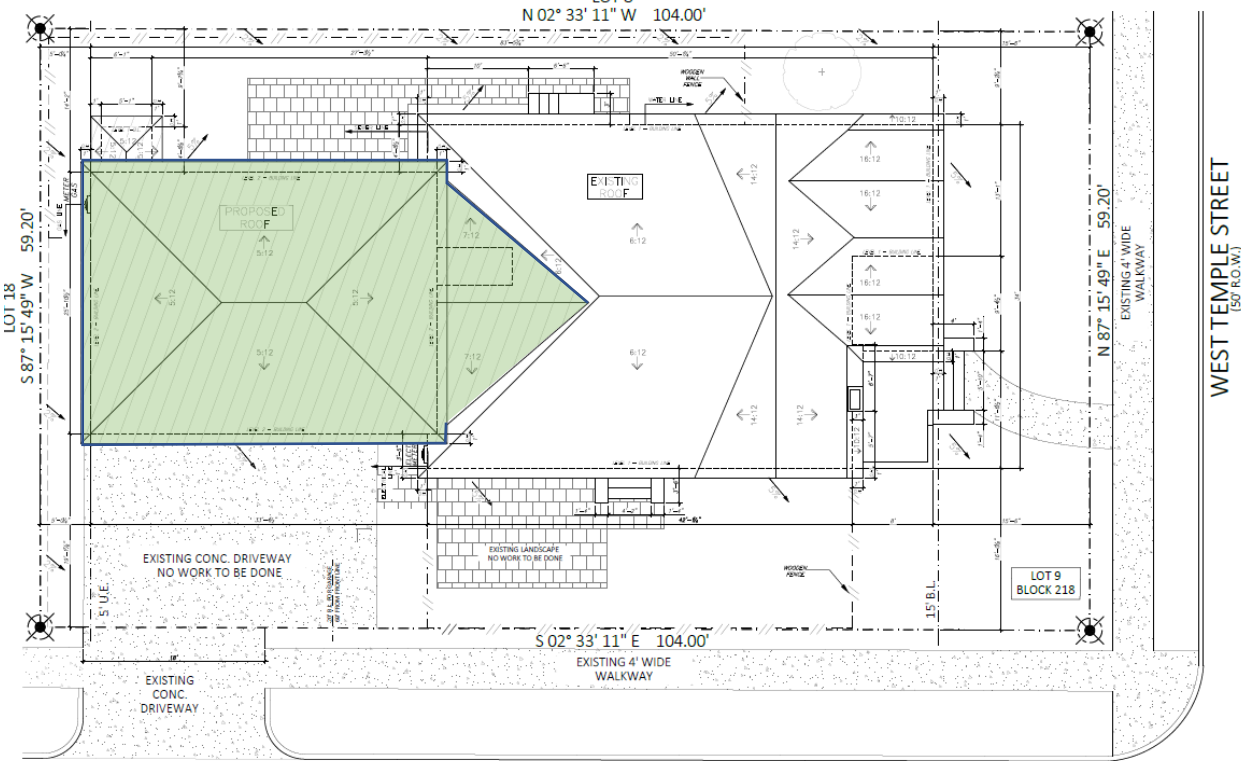
Figure 3 - Looking SW at house and garage



Figure 4 - Looking NW at garage apt and house



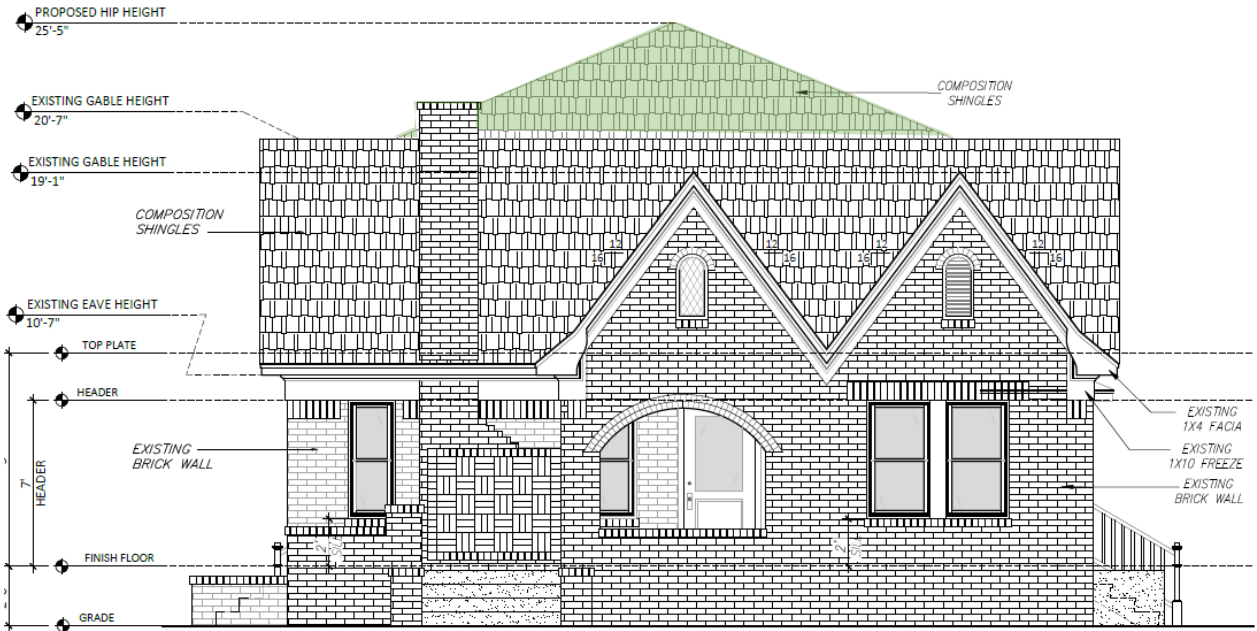
WATSON STREET



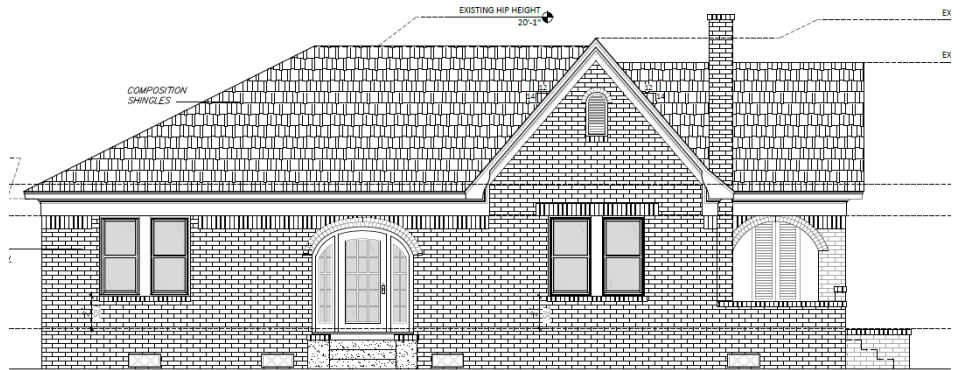
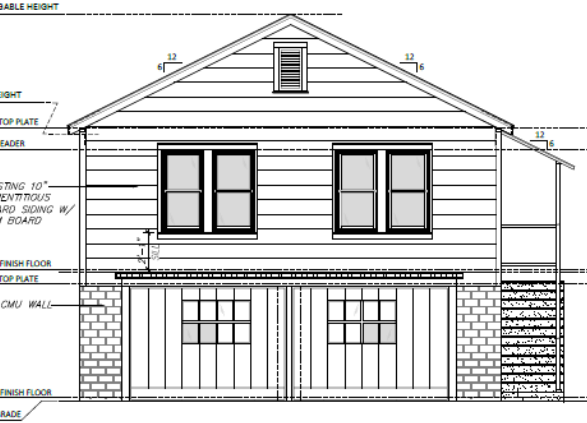
WATSON STREET



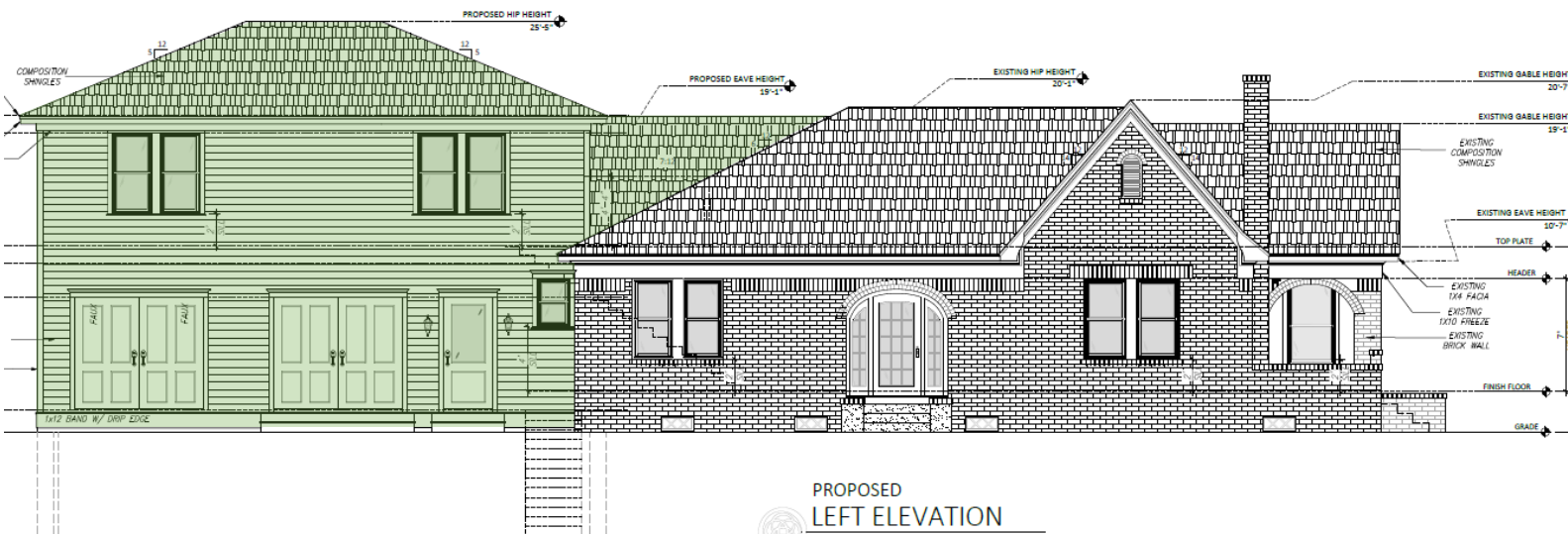
EXISTING
FRONT ELEVATION



PROPOSED
FRONT ELEVATION



EXISTING
LEFT ELEVATION



PROPOSED
LEFT ELEVATION

Please see attached drawings for additional details

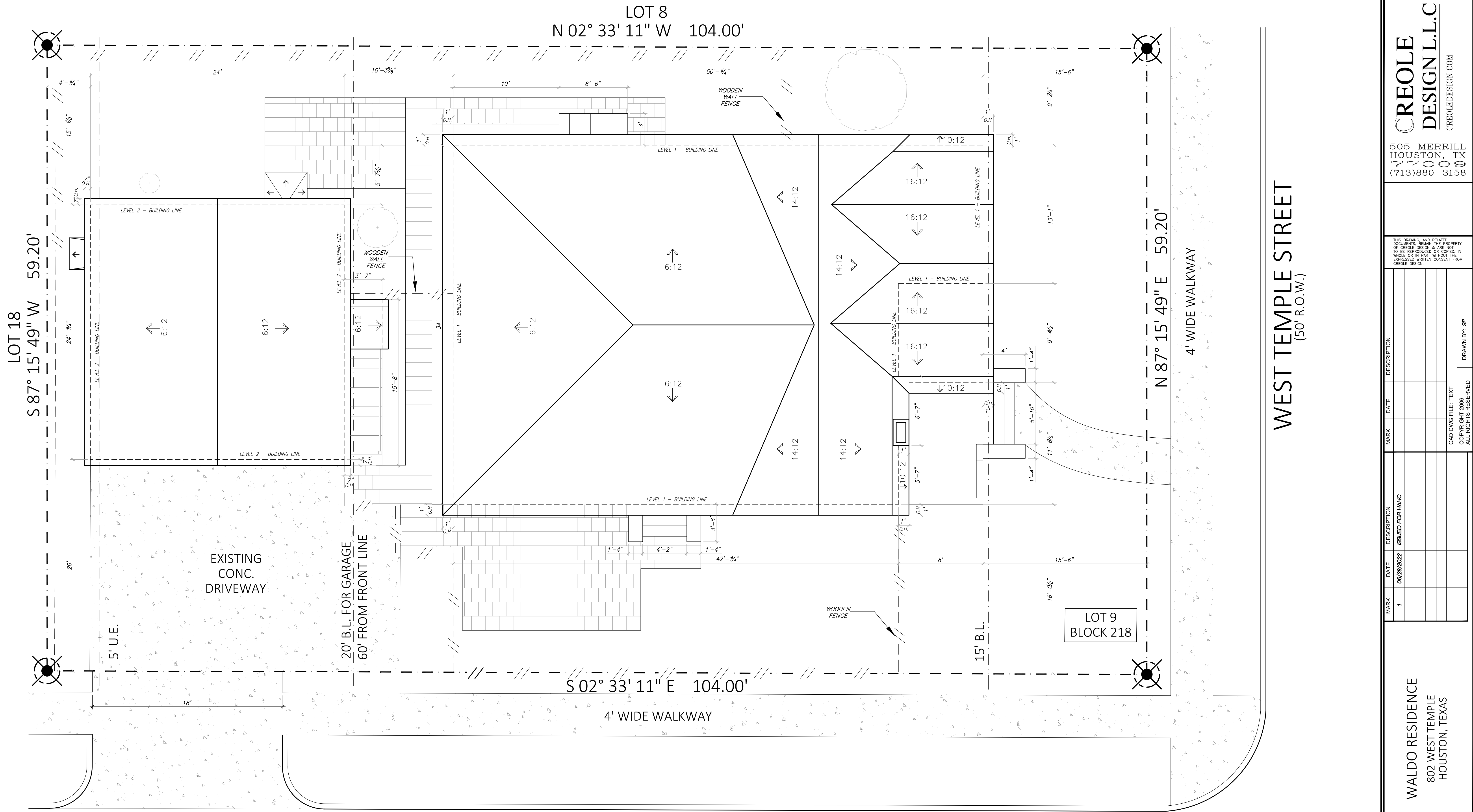


WALDO RESIDENCE
802 WEST TEMPLE STREET
HOUSTON, TEXAS 77009

CREOLE DESIGN L.L.C

505 MERRILL
HOUSTON, TX 77009
(713)880-3158





WALL LEGEND

	EXISTING WALLS
	NEW WALLS
	DEMO WALLS

LEGAL DESCRIPTION

LOT: 9
 BLOCK: 218
 EAST NORHILL
 HOUSTON, TEXAS

WATSON STREET
 (60' R.O.W.)

EXISTING
SITE PLAN
 Scale: 1/4" = 1'-0"

*** NOTE ***

FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.

CALCULATION OF IMPERVIOUS PERCENTAGE

HOUSE / GARAGE	2,196 SQ. FT.
DRIVEWAY / SIDEWALK	1,318 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,514 SQ. FT.
LOT AREA	6,157 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	57.07%

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 802 WEST TEMPLE
 HOUSTON, TEXAS

SHEET TITLE
EXISTING SITE PLAN

SHEET NO.
A0.1



LOT 8
N 02° 33' 11" W 104.00'

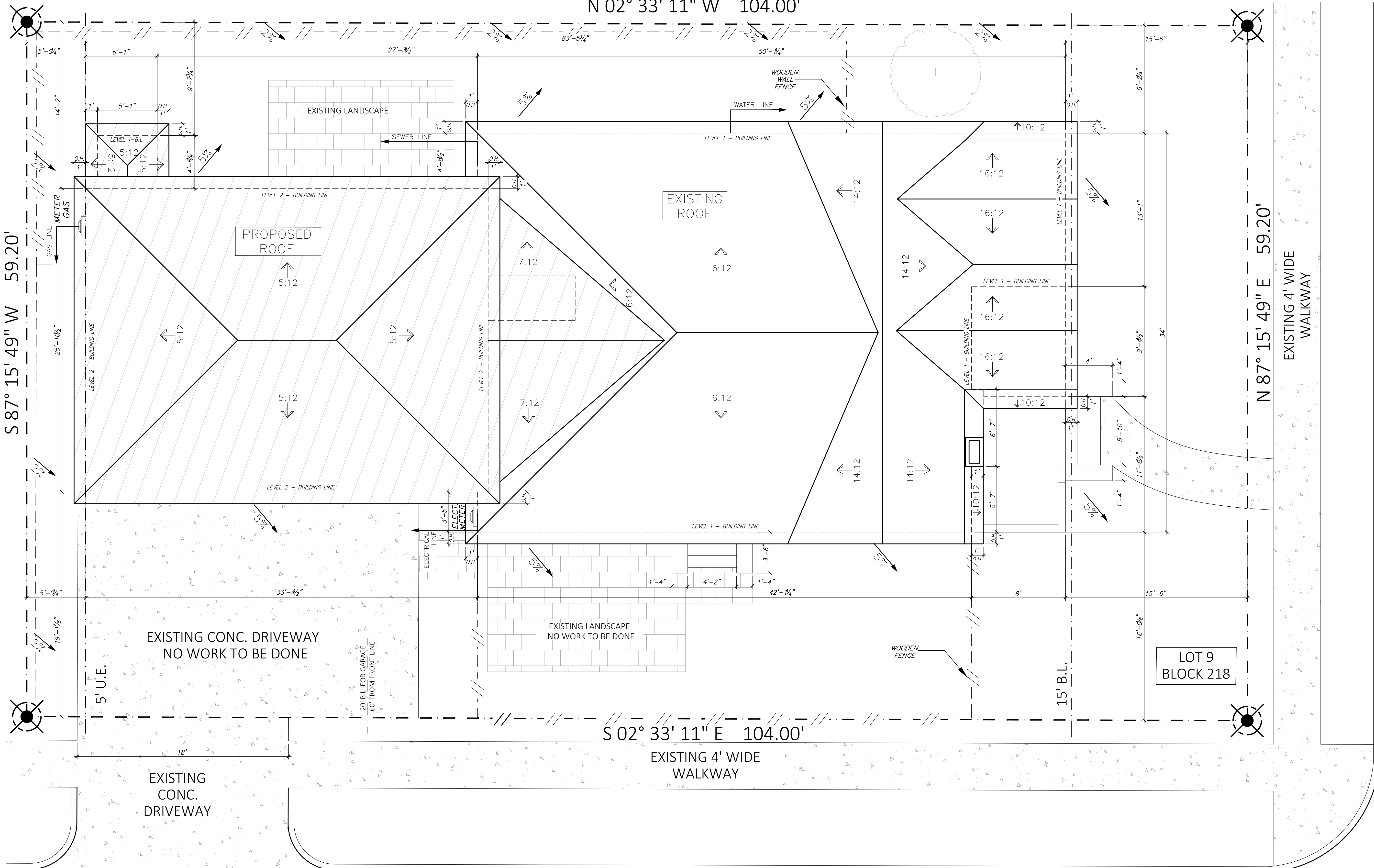
LOT 18
S 87° 15' 49" W 59.20'

S 02° 33' 11" E 104.00'

N 87° 15' 49" E 59.20'

WEST TEMPLE STREET
(50' R.O.W.)

WATSON STREET
(60' R.O.W.)



WALL LEGEND

	EXISTING WALLS
	NEW WALLS
	DEMO WALLS

LEGAL DESCRIPTION

LOT: 9
BLOCK: 218
EAST NORHILL
HOUSTON, TEXAS

PROPOSED
SITE PLAN
Scale: 1/4" = 1'-0"

* NOTE *

FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.

CALCULATION OF IMPERVIOUS PERCENTAGE

HOUSE / GARAGE	2,503 SQ. FT.
DRIVEWAY / SIDEWALK	1,126 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,629 SQ. FT.
LOT AREA	6,157 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	58.94%

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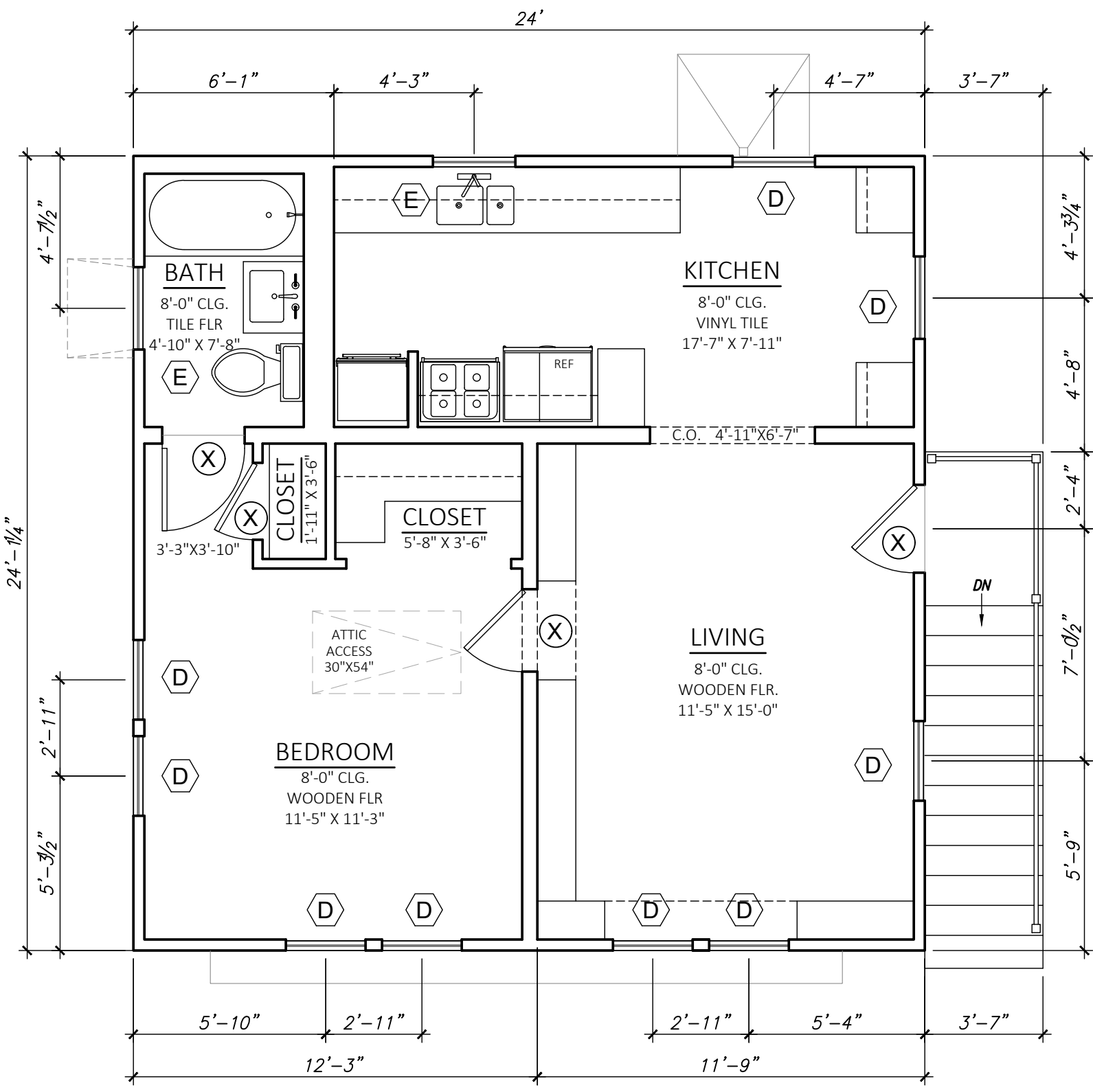
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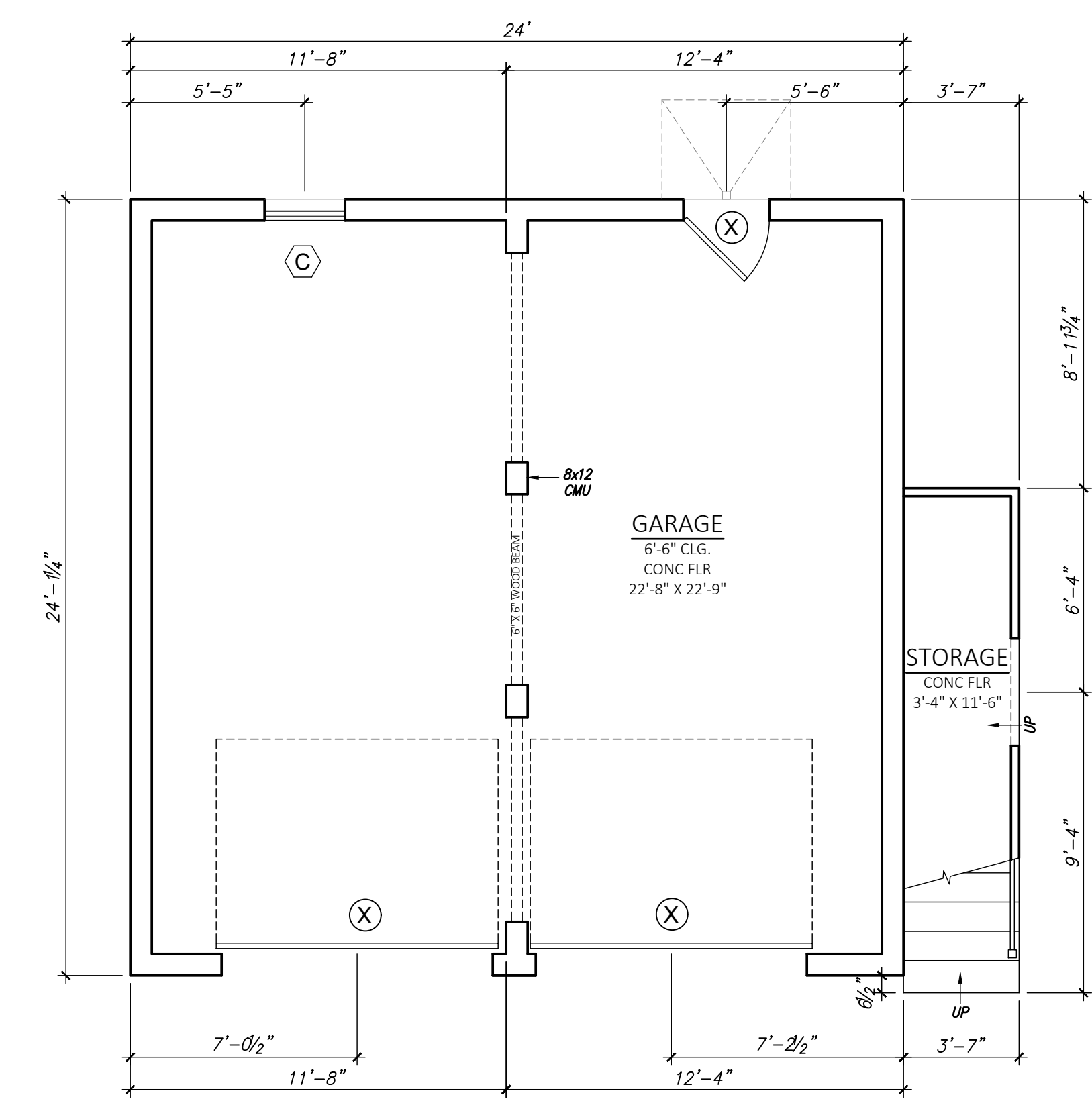
WALDO RESIDENCE
802 WEST TEMPLE
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SHEET TITLE
PROPOSED SITE PLAN

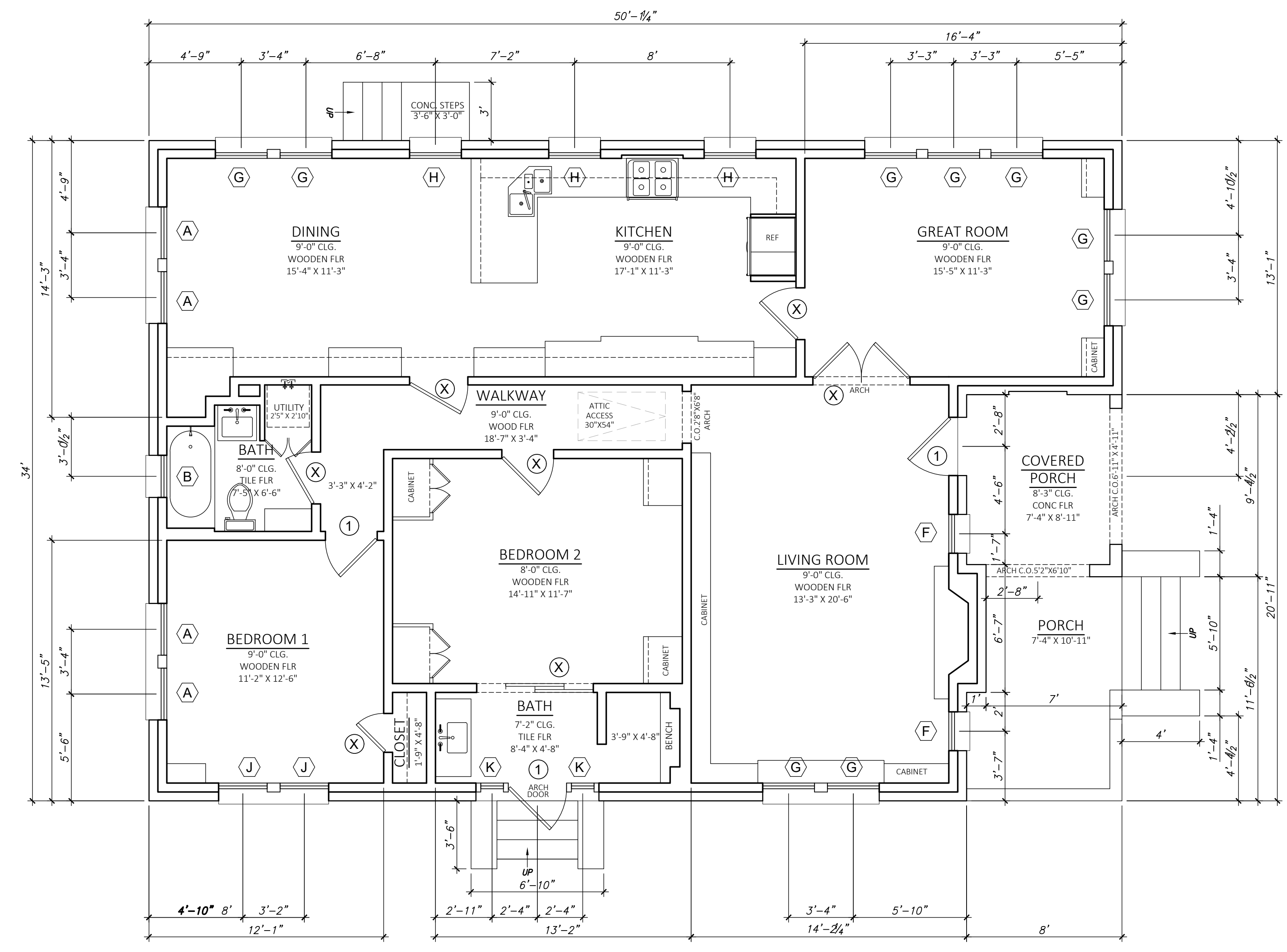
SHEET NO.
A0.2



**EXISTING GARAGE APARTMENT
LEVEL 2 - FLOOR PLAN**
Scale: 1/4" = 1'-0"



**EXISTING GARAGE
LEVEL 1 - FLOOR PLAN**
Scale: 1/4" = 1'-0"



**EXISTING
LEVEL 1 - FLOOR PLAN**
Scale: 1/4" = 1'-0"

DOOR SCHEDULE				
DOOR NO.	QTY	WIDTH	HEIGHT	DESCRIPTION
X				TO DEMOLISH
1				REMAIN TO EXISTING

EXISTING SQUARE FOOTAGE	
LEVEL 1 FLOOR PLAN	1,543
GARAGE APARTMENT	579
TOTAL HEATED	2,122
FRONT PORCH	161
GARAGE	579
STAIRCASE	57
TOTAL UN-HEATED	797
TOTAL COVERED	2,919

WINDOW SCHEDULE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
(A)	4	2'-8"	5'-0"	SINGLE HUNG	TO DEMO
(B)	1	2'-2"	2'-6"	SINGLE HUNG	TO DEMO
(C)	1	2'-6"	2'-10"	SINGLE HUNG	TO DEMO
(D)	9	2'-5"	4'-9"	SINGLE HUNG	TO DEMO
(E)	2	2'-5"	2'-8"	SINGLE HUNG	TO DEMO
(F)	2	2'-5"	5'-0"	SINGLE HUNG	TO REMAIN
(G)	9	2'-8"	5'-0"	SINGLE HUNG	TO REMAIN
(H)	3	2'-8"	2'-9"	SINGLE HUNG	TO REMAIN
(J)	2	2'-6"	5'-0"	SINGLE HUNG	TO REMAIN
(K)	2	1'-2"	5'-0"	SINGLE HUNG, ARCH	TO REMAIN

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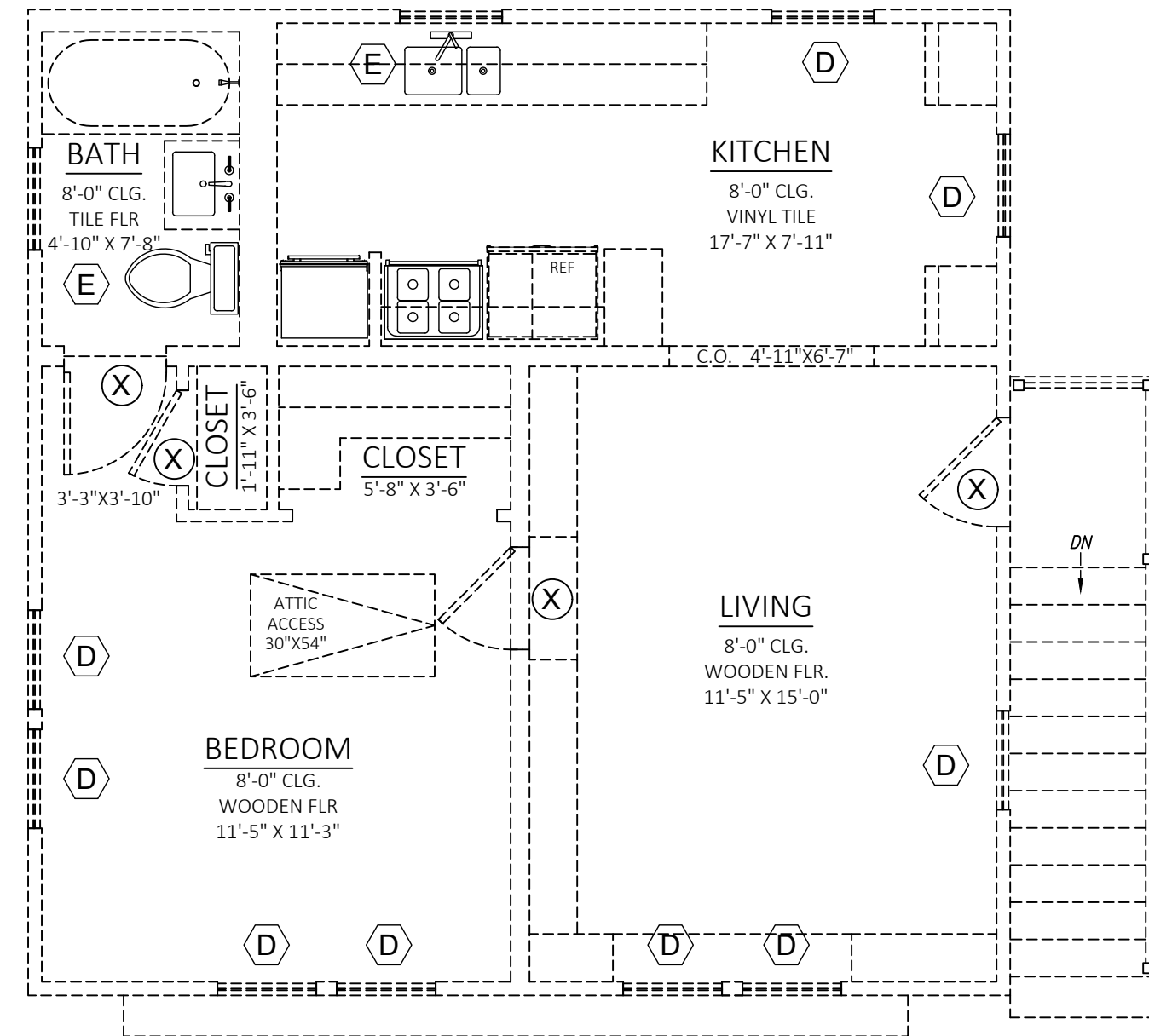
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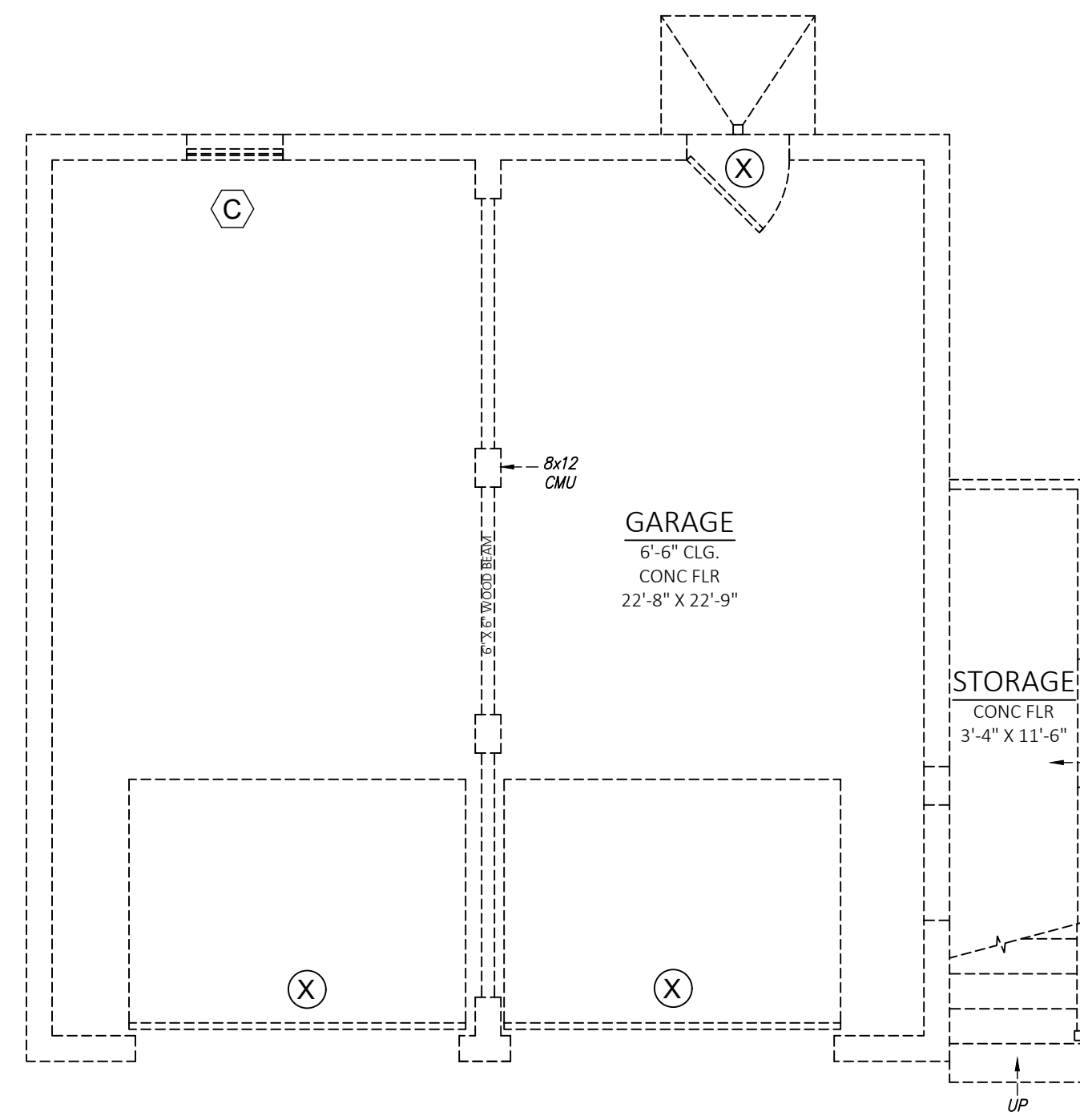
WALDO RESIDENCE
802 WEST TEMPLE
HOUSTON, TEXAS

SHEET TITLE
DEMO PLAN

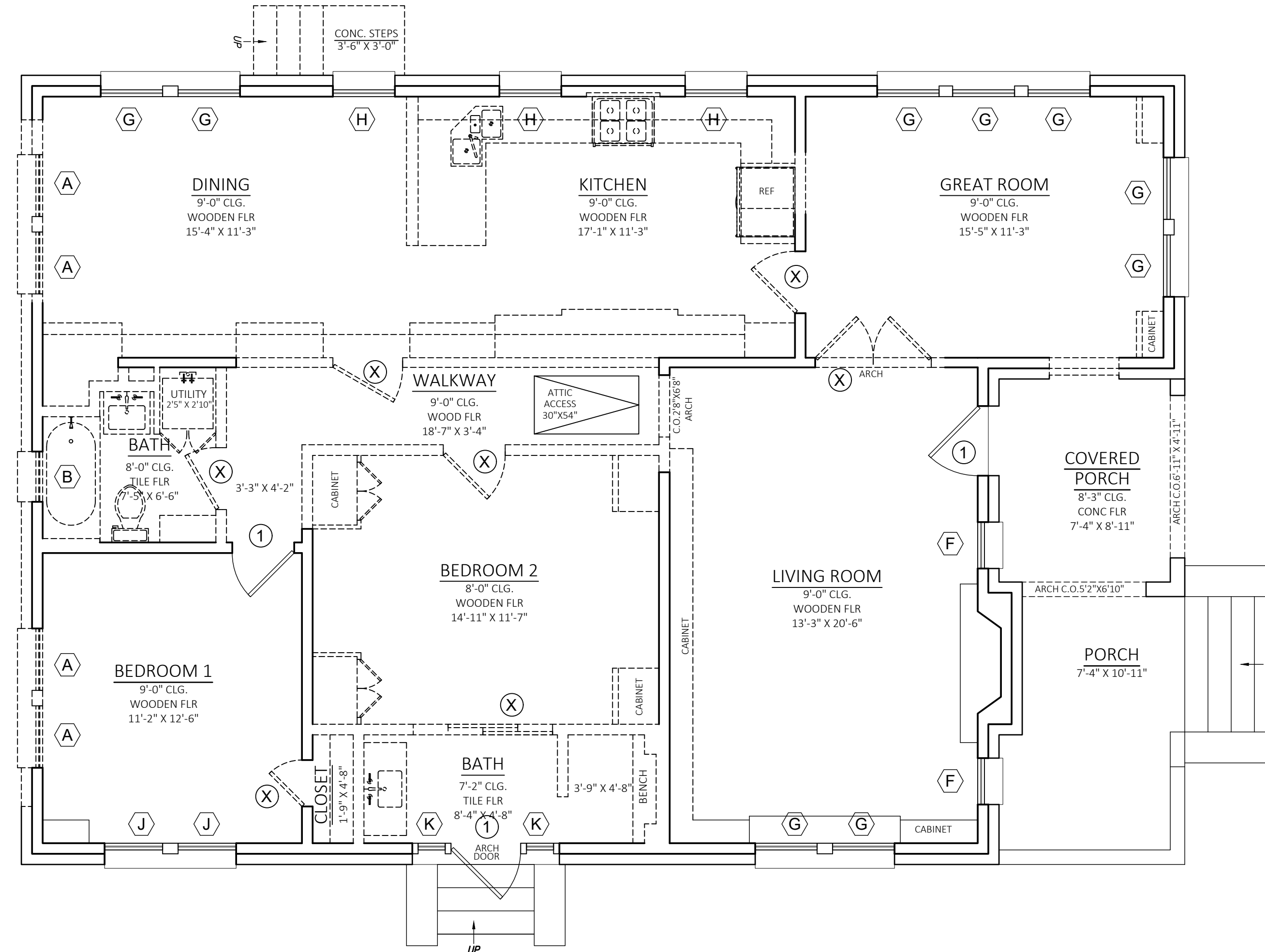
SHEET NO.
A1.2



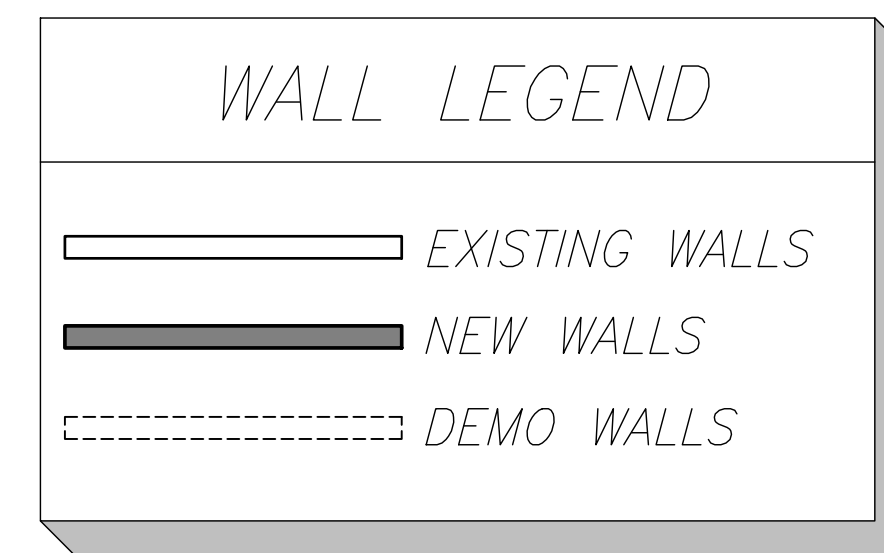
DEMO
LEVEL2 -FLOOR PLAN
Scale: 1/4"= 1'-0"



DEMO
LEVEL1 -GARAGE FLOOR PLAN
Scale: 1/4"= 1'-0"

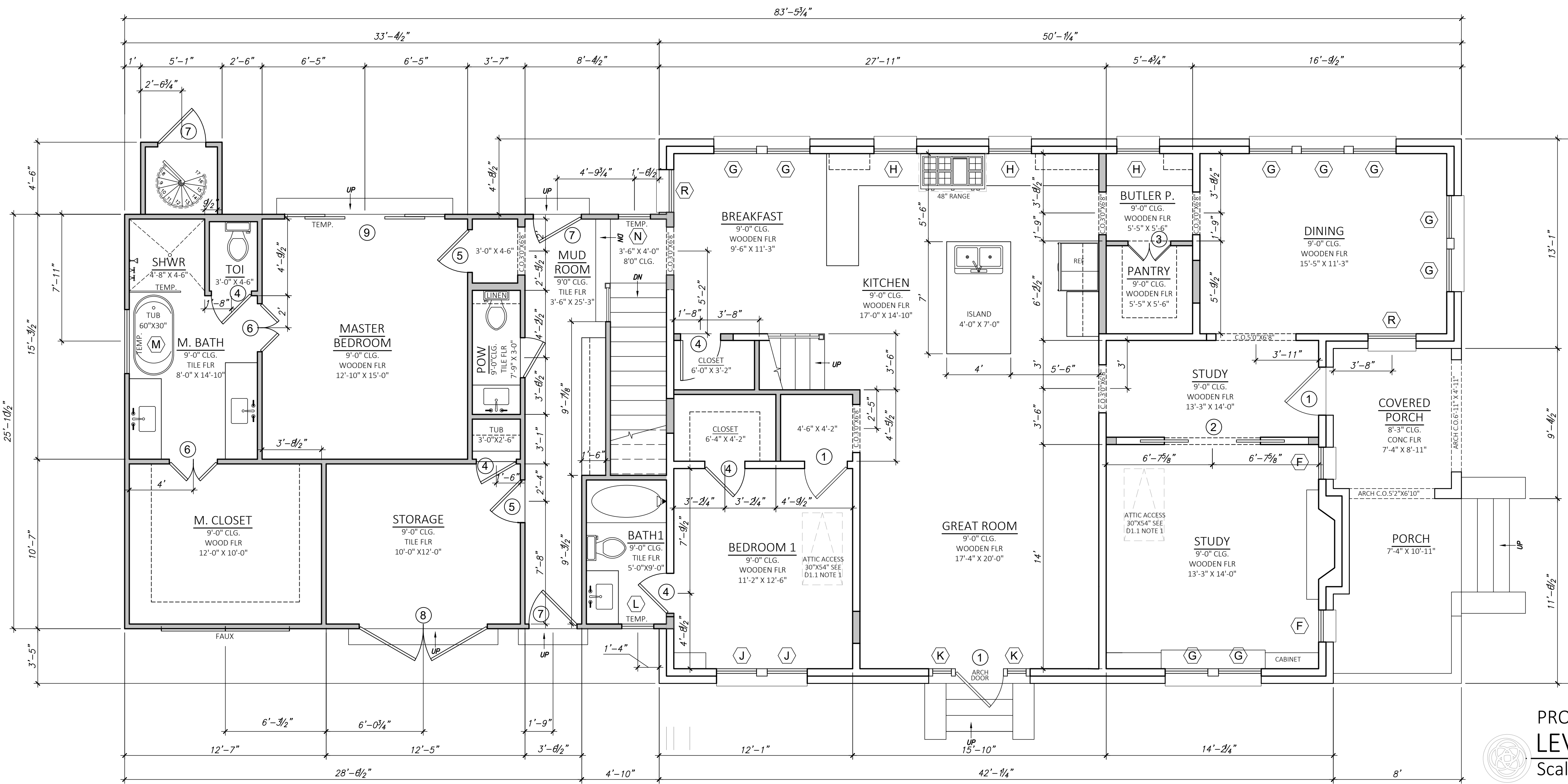
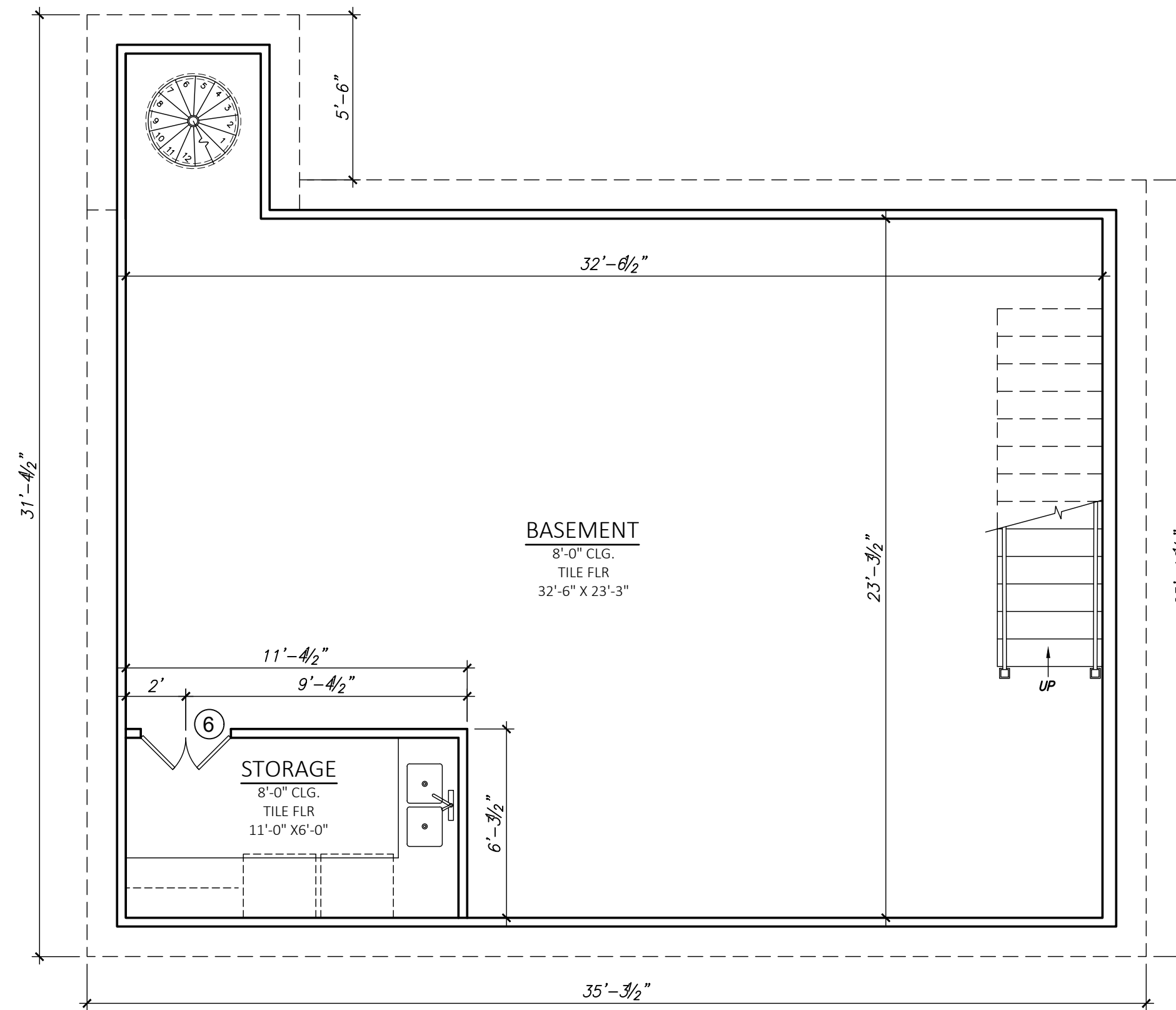
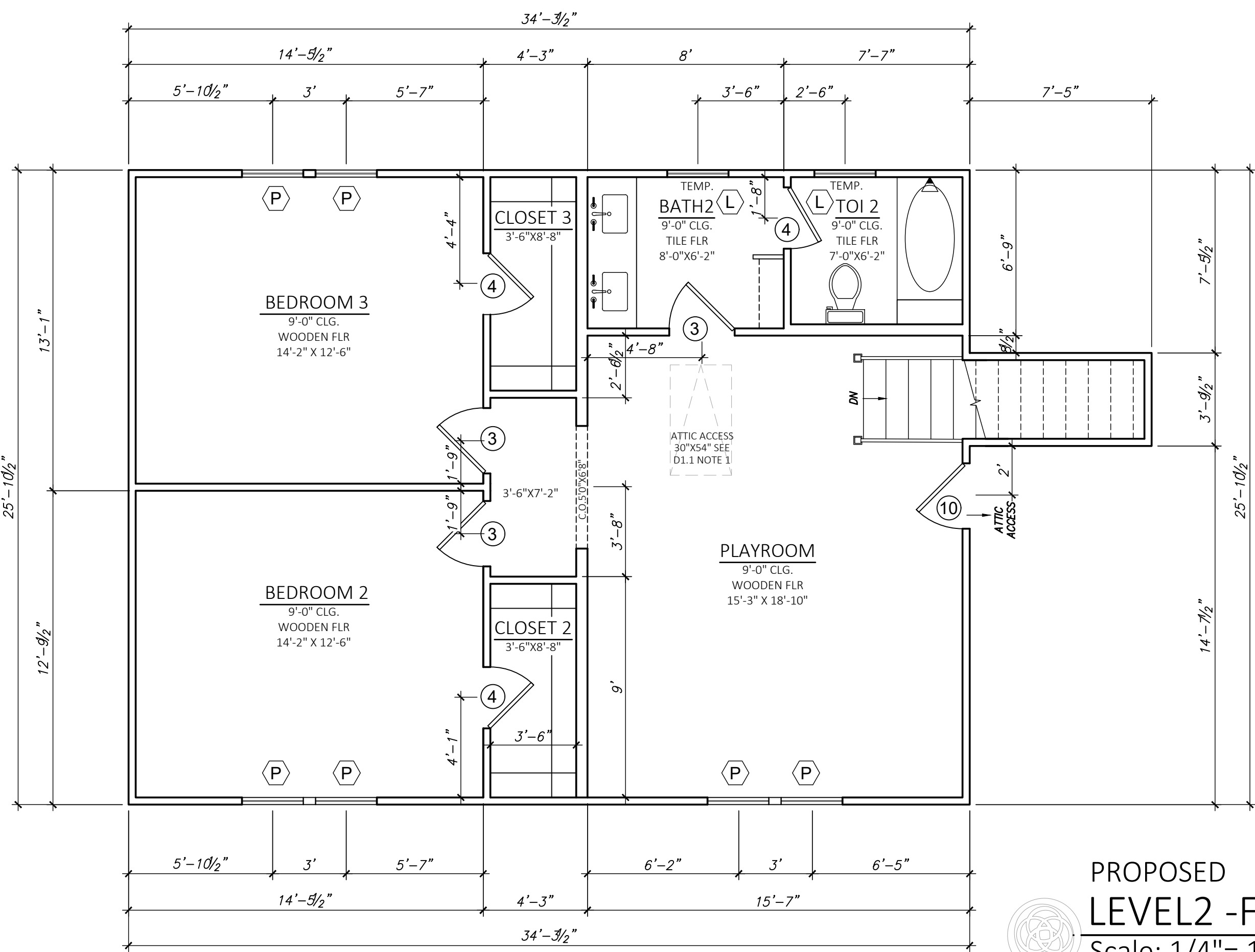


DEMO
LEVEL1 -FLOOR PLAN
Scale: 1/4"= 1'-0"



DOOR SCHEDULE				
DOOR NO.	QTY	WIDTH	HEIGHT	DESCRIPTION
X				TO DEMOLISH
1				REMAIN TO EXISTING

WINDOW SCHEDULE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
(A)	4	2'-8"	5'-0"	SINGLE HUNG	TO DEMO
(B)	1	2'-2"	2'-6"	SINGLE HUNG	TO DEMO
(C)	1	2'-6"	2'-10"	SINGLE HUNG	TO DEMO
(D)	9	2'-5"	4'-9"	SINGLE HUNG	TO DEMO
(E)	2	2'-5"	2'-8"	SINGLE HUNG	TO DEMO
(F)	2	2'-5"	5'-0"	SINGLE HUNG	TO REMAIN
(G)	9	2'-8"	5'-0"	SINGLE HUNG	TO REMAIN
(H)	3	2'-8"	2'-9"	SINGLE HUNG	TO REMAIN
(J)	2	2'-6"	5'-0"	SINGLE HUNG	TO REMAIN
(K)	2	1'-2"	5'-0"	SINGLE HUNG, ARCH	TO REMAIN



NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER SPHERE. DEVICES SHALL COMPLY WITH IRC 2012 R613.2 AND MEET ASTM F2090-10 STANDARD.

DOOR SCHEDULE				
DOOR NO.	QTY	WIDTH	HEIGHT	DESCRIPTION
X				TO DEMOLISH
1				REMAIN TO EXISTING
2	1	6'-0"	7'-0"	(2)3070 INTERIOR SLIDING DOOR
3	4	2'-8"	7'-0"	(2)1470 INTERIOR, PAIR DOOR
4	8	2'-6"	7'-0"	INTERIOR DOOR
5	2	2'-8"	7'-0"	INTERIOR DOOR
6	3	3'-0"	7'-0"	(2)1670 INTERIOR, PAIR DOOR
7	3	3'-0"	7'-0"	EXTERIOR DOOR WITH GLASS PANEL, TEMP.
8	1	8'-0"	7'-0"	(2) 4070 EXTERIOR PAIR DOOR
9	1	10'-0"	7'-0"	EXTERIOR TEMP
				(2)2670 FIX + (2)2670 SLIDING DOOR
10	1	2'-8"	6'-0"	INTERIOR DOOR

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
A	4	2'-8"	5'-0"	SINGLE HUNG TO DEMO
B	1	2'-2"	2'-6"	SINGLE HUNG TO DEMO
C	1	2'-6"	2'-10"	SINGLE HUNG TO DEMO
D	9	2'-5"	4'-9"	SINGLE HUNG TO DEMO
E	2	2'-5"	2'-8"	SINGLE HUNG TO DEMO
F	2	2'-5"	5'-0"	SINGLE HUNG TO REMAIN
G	9	2'-8"	5'-0"	SINGLE HUNG TO REMAIN
H	3	2'-8"	2'-9"	SINGLE HUNG TO REMAIN
J	2	2'-6"	5'-0"	SINGLE HUNG TO REMAIN
K	2	1'-2"	5'-0"	SINGLE HUNG, ARCH TO REMAIN

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
L	3	2'-0"	3'-0"	SINGLE HUNG, TEMP NEW
M	1	4'-0"	3'-0"	FIXED, TEMP NEW
N	1	2'-0"	3'-10"	SINGLE HUNG, TEMP NEW
P	6	2'-6"	5'-0"	SINGLE HUNG NEW
R	2	2'-8"	5'-0"	SINGLE HUNG NEW

SQUARE FOOTAGE			
NAME	EXIST.	+/-	NEW.
1ST. FLOOR PLAN	1,543	+729	2,272
2ND. FLOOR PLAN	579	+309	888
TOTAL LIVING	2122	+1038	3,160
BASEMENT	-	+823	823
BASEMENT VEST	-	+23	23
FRONT PORCH	161	+0	161
GARAGE	579	-579	0
STORAGE	57	+78	135
TOTAL UNHEATED	797	+345	1142
TOTAL COVERED	2919	+1,362	4,302

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802 WEST TEMPLE
HOUSTON, TEXAS

SHEET TITLE
PROPOSED FLOOR PLAN

SHEET NO.
A1.3

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HOUSTON, TEXAS

SHEET TITLE
EXISTING ELEVATION

SHEET NO.
A2.1



EXISTING
REAR ELEVATION
Scale: 1/4" = 1'-0"



EXISTING
RIGHT ELEVATION
Scale: 1/4" = 1'-0"



EXISTING
FRONT ELEVATION
Scale: 1/4" = 1'-0"



EXISTING
LEFT ELEVATION
Scale: 1/4" = 1'-0"

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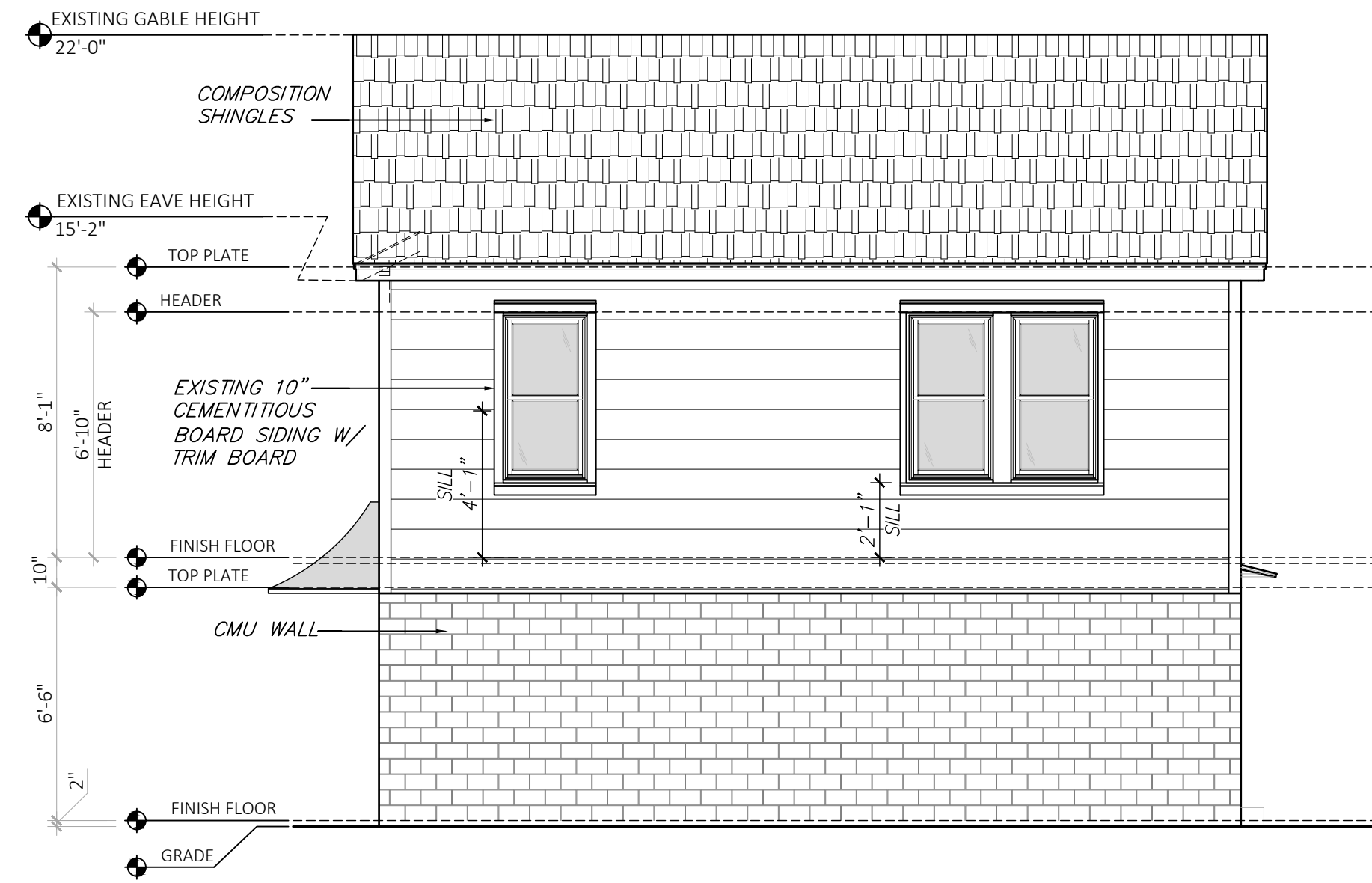
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MARK	DATE	DESCRIPTION	ISSUED FOR

WALDO RESIDENCE
802 WEST TEMPLE
HOUSTON, TEXAS

SHEET TITLE
EXISTING ELEVATION

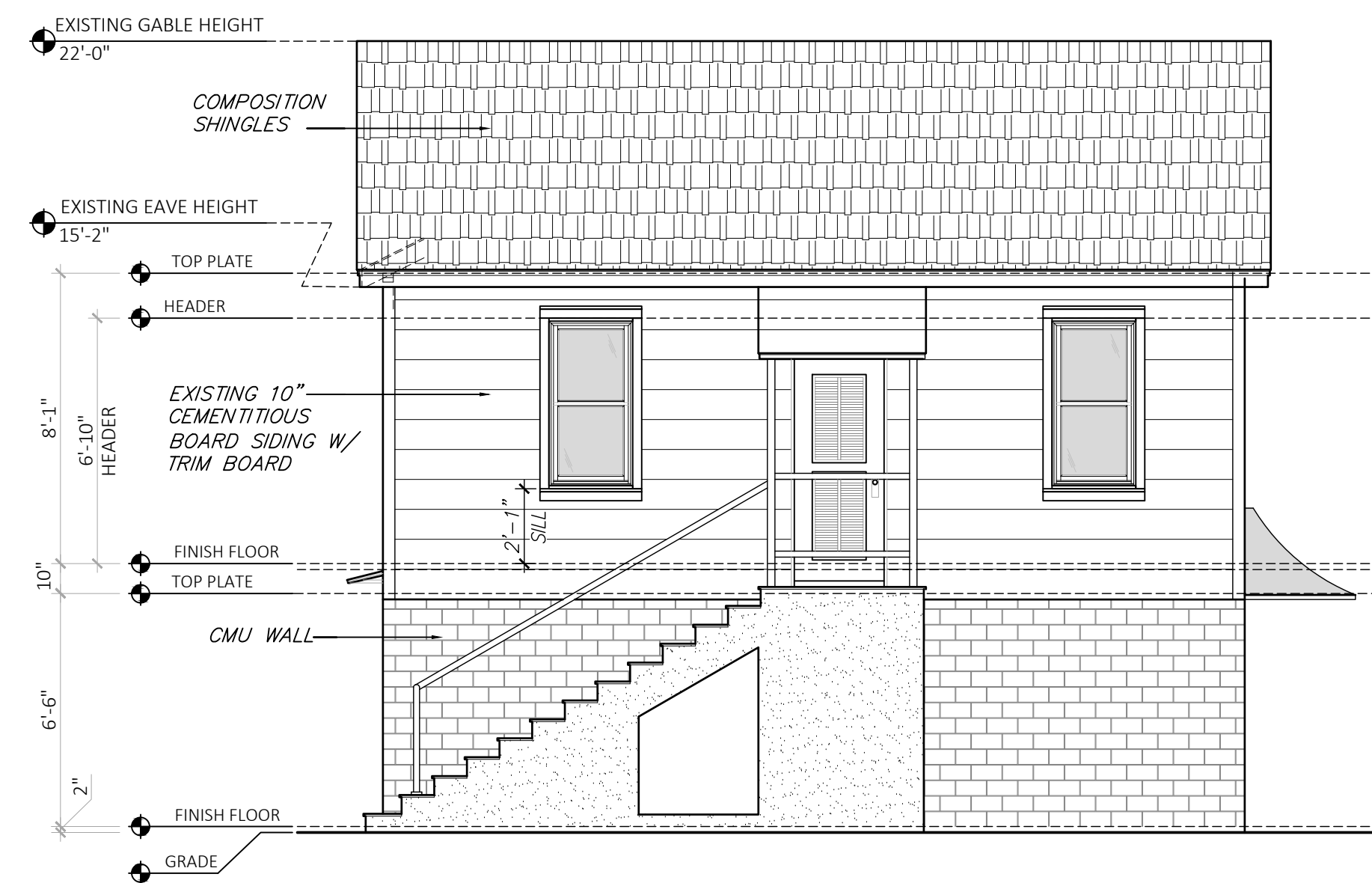
SHEET NO.
A2.2



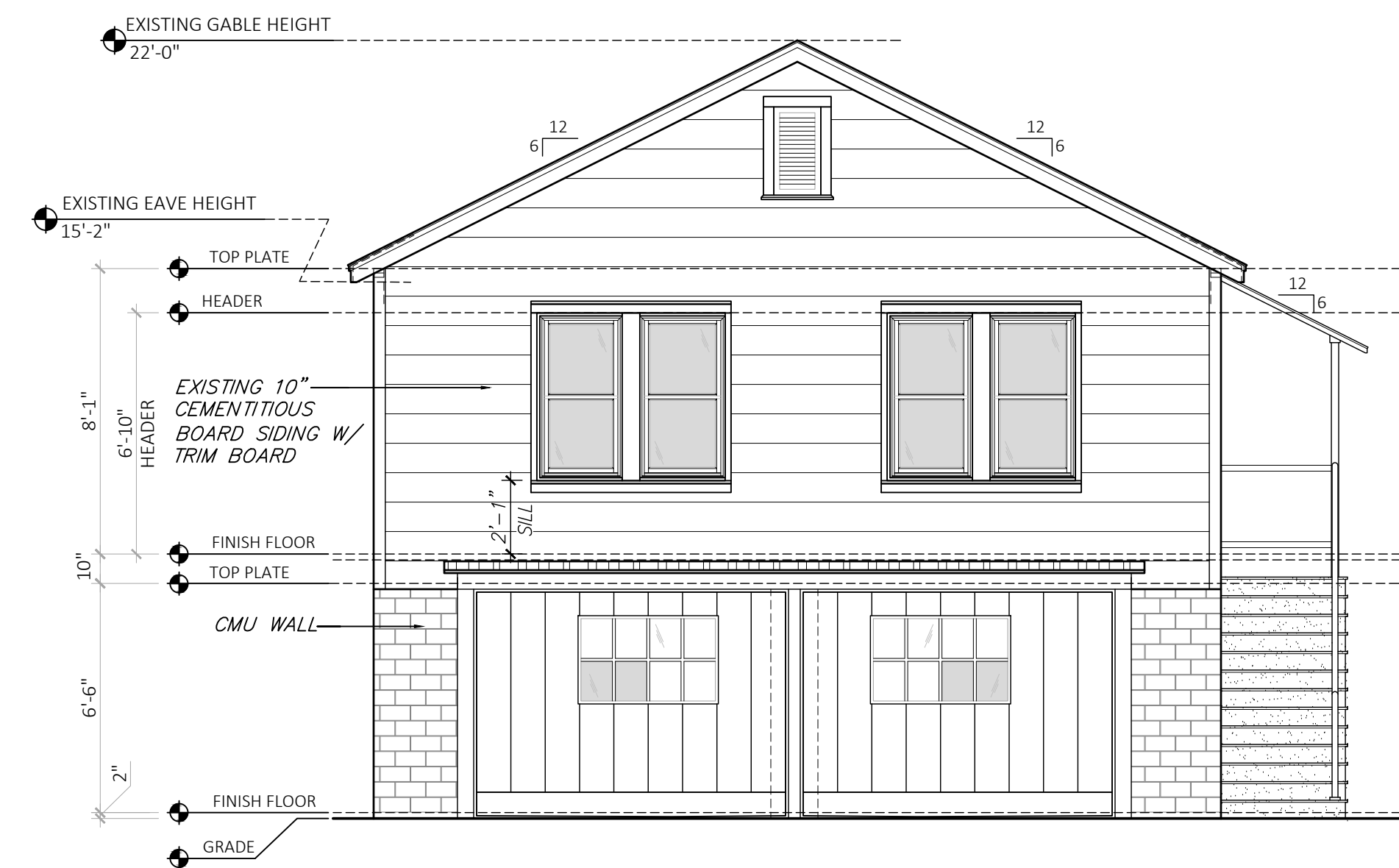
EXISTING GARAGE
REAR ELEVATION
Scale: 1/4" = 1'-0"



EXISTING GARAGE
RIGHT ELEVATION
Scale: 1/4" = 1'-0"



EXISTING GARAGE
FRONT ELEVATION
Scale: 1/4" = 1'-0"



EXISTING GARAGE
LEFT ELEVATION
Scale: 1/4" = 1'-0"

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MARK	DATE	DESCRIPTION	DATE	DESCRIPTION

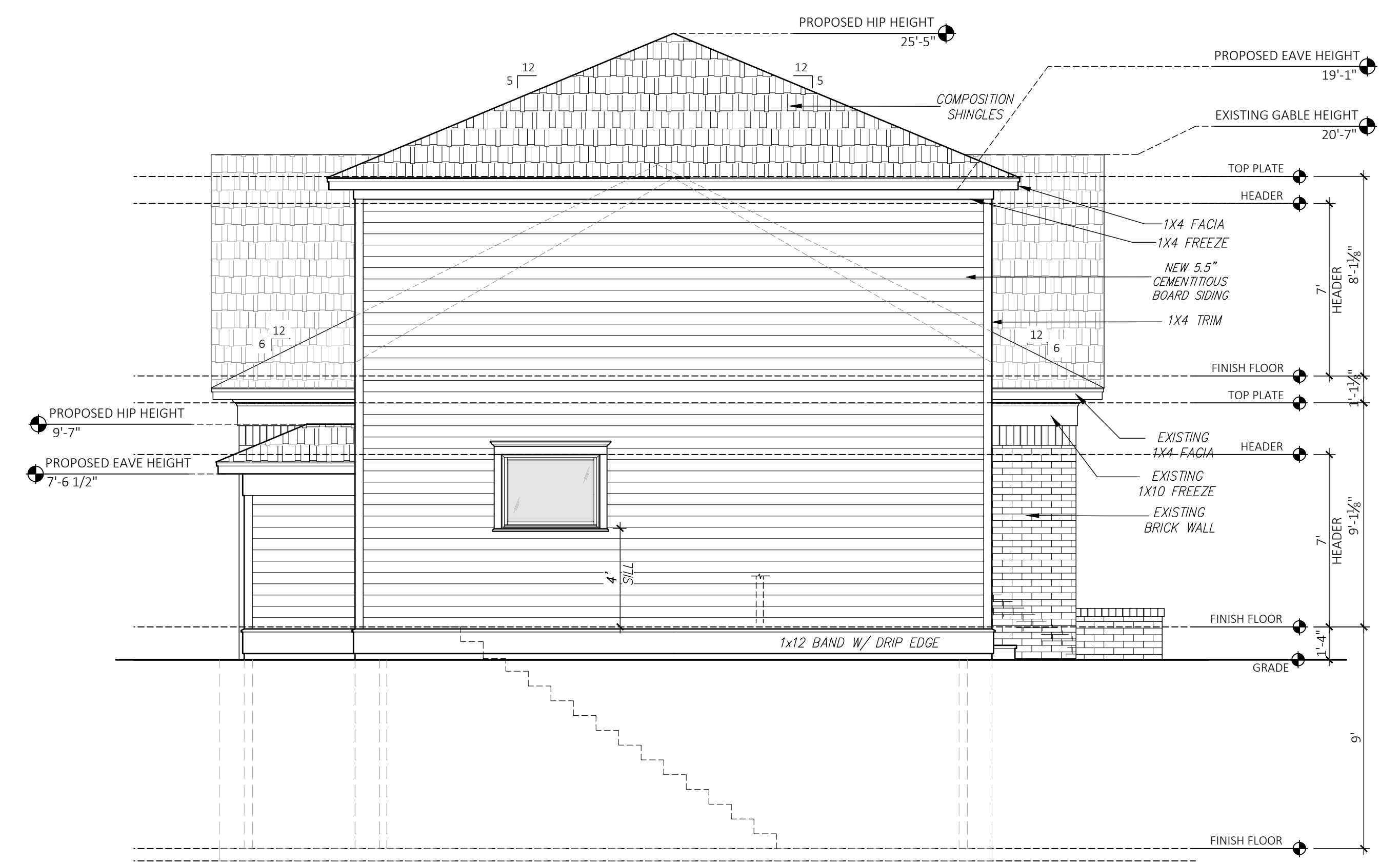
WALDO RESIDENCE
802 WEST TEMPLE HOUSTON, TEXAS

SHEET TITLE
PROPOSED ELEVATION

SHEET NO.
A2.3



PROPOSED LEFT ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION	DATE	DESCRIPTION
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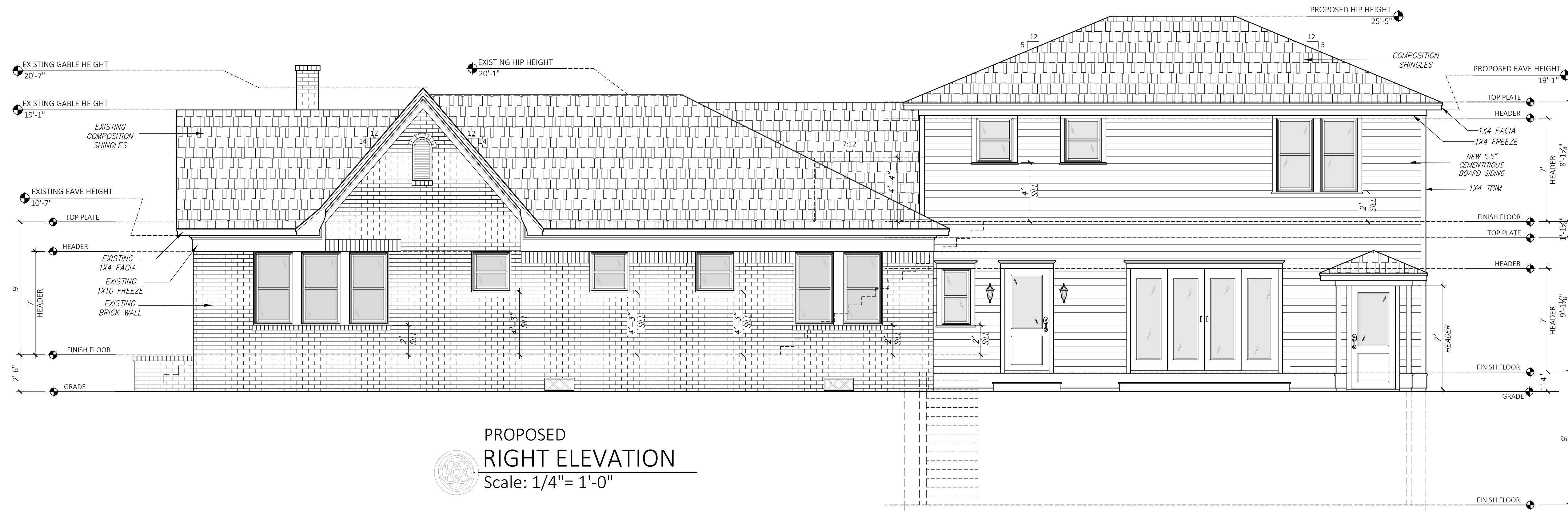
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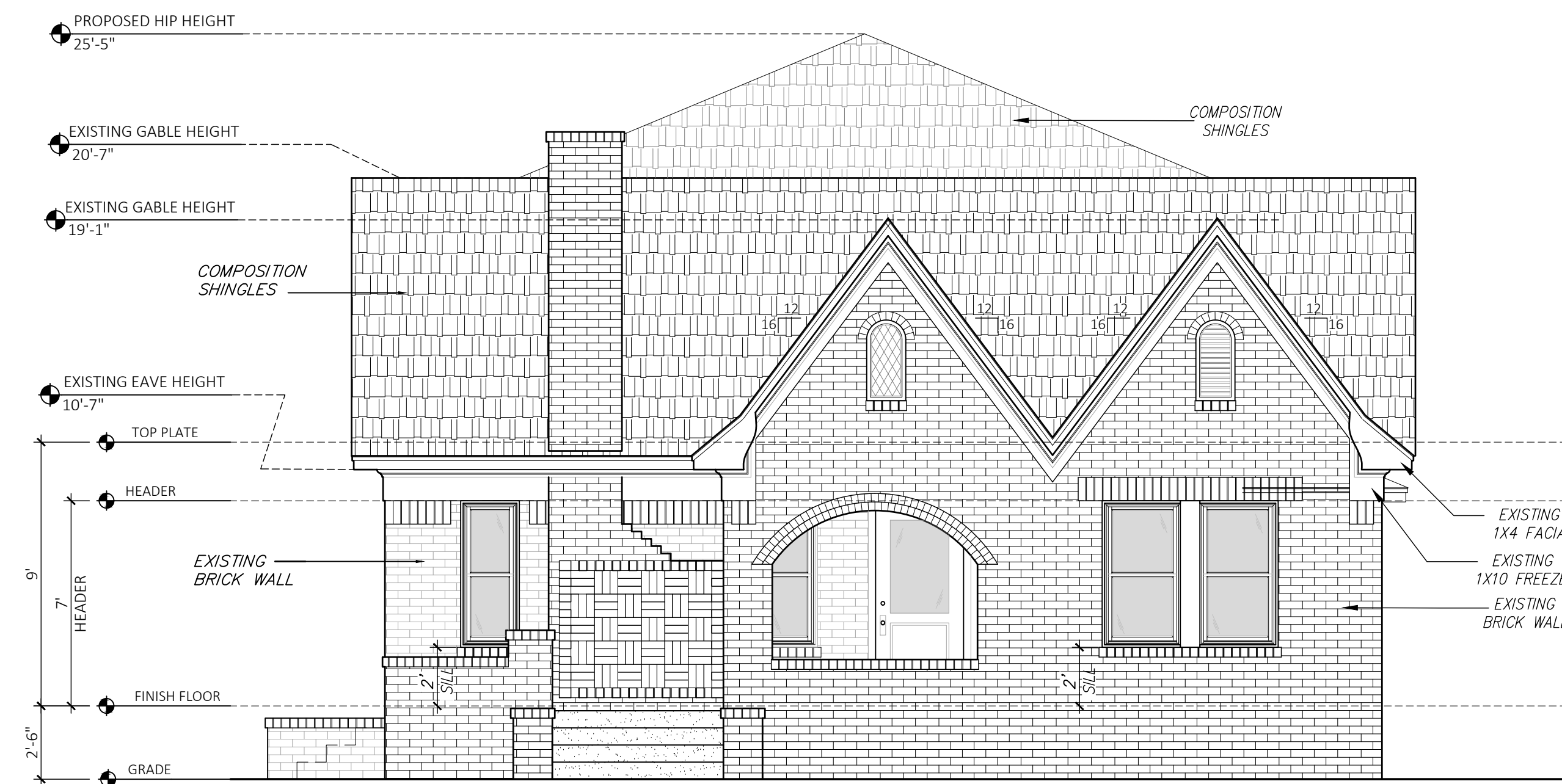
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SHEET TITLE
PROPOSED ELEVATION

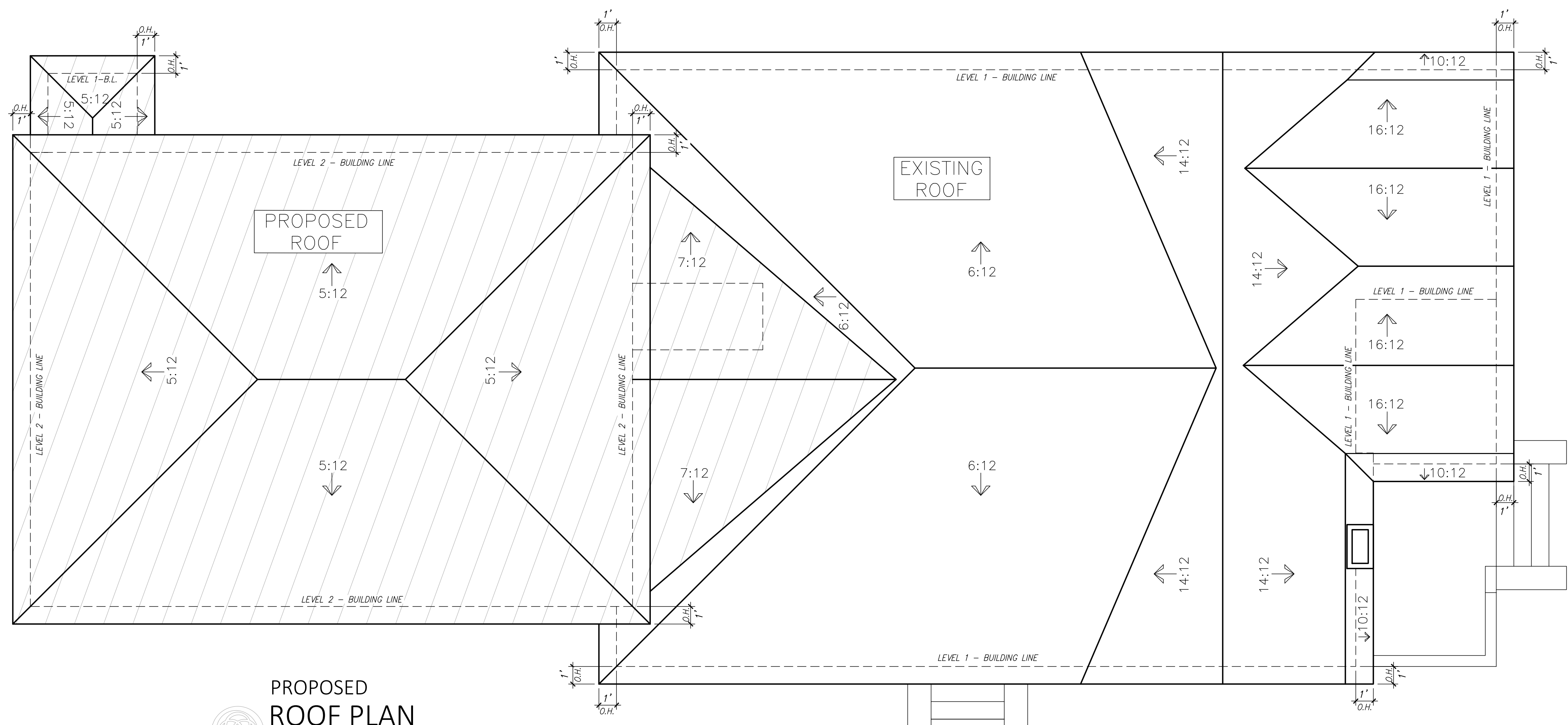
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A2.4



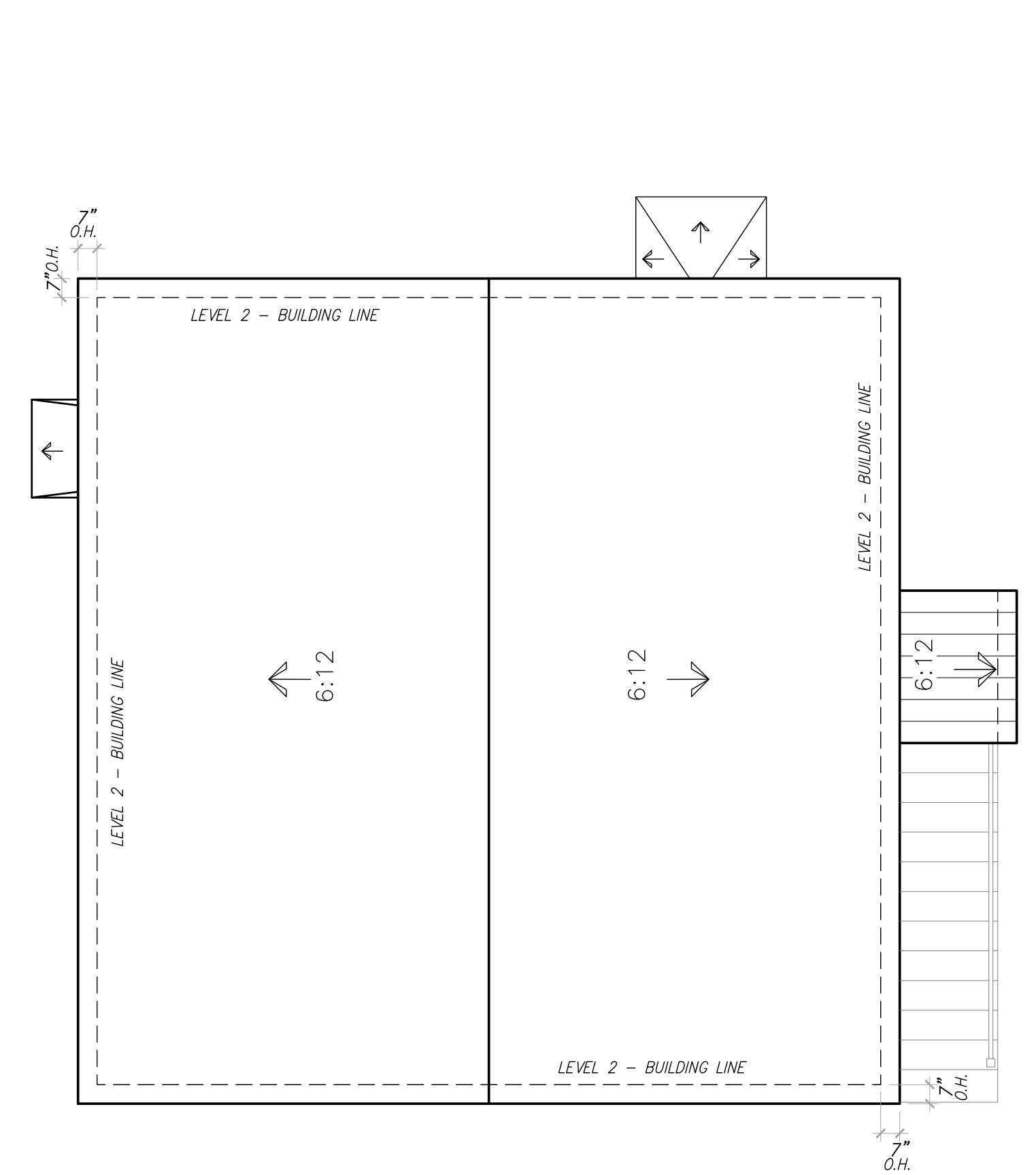
PROPOSED RIGHT ELEVATION
Scale: 1/4" = 1'-0"



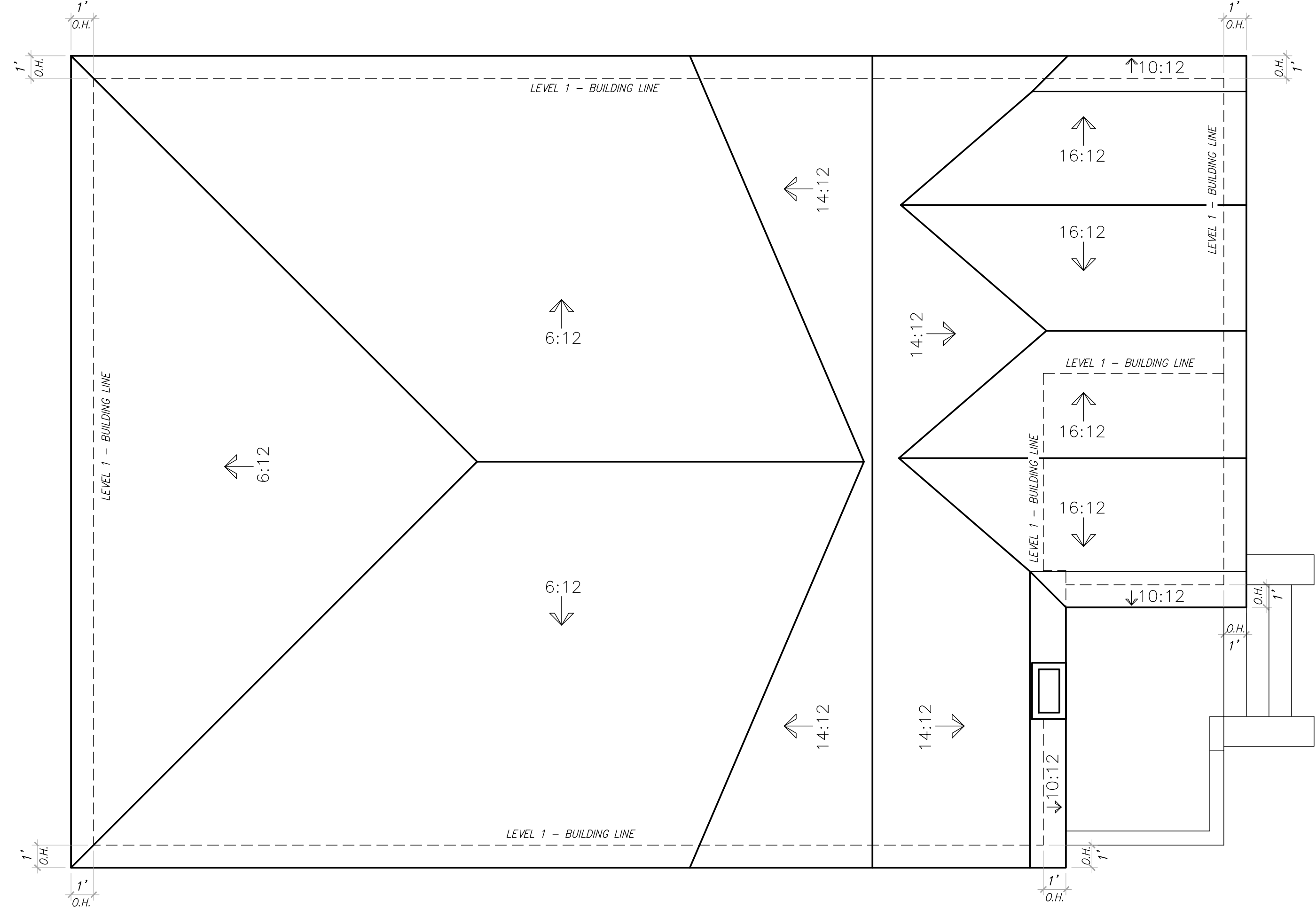
PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED
ROOF PLAN
 Scale: 1/4" = 1'-0"



EXISTING APARTMENT GARAGE
ROOF PLAN
 Scale: 1/4" = 1'-0"



EXISTING HOUSE
ROOF PLAN
 Scale: 1/4" = 1'-0"

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 HOUSTON, TEXAS

SHEET TITLE
ROOF PLANS

SHEET NO.
A3.1

WINDOW AND DOOR NOTES:

- 1) CONTRACTOR SHALL REVIEW ALL DOOR AND WINDOW TRIM AND INSTALLATION DETAILS AND CONDITIONS PRIOR TO ROUGH FRAMING AND CUTTING OPENING.
- 2) CONTRACTOR SHALL NOTIFY CREOLE DESIGN LLC OF ANY FIELD CONDITIONS THAT DO NOT PERMIT THE INSTALLATION OF ANY DOOR OR WINDOW UNIT DUE TO ANY CONFLICTS.
- 3) CONTRACTOR SHALL COORDINATE THE NECESSARY ROUGH OPENING DIMENSIONS FOR THE SPECIFIC WALL ASSEMBLY AND THE DOOR AND WINDOW UNIT FOR INSTALLATION.
- 4) ALL GLAZING SHALL BE INSULATED WITH MULTI-LAYER LOW-E COATED GLAZE.
- 5) CONTRACTOR SHALL COORDINATE INSTALLATION OF FINISH HARDWARE WITH DOOR MANUFACTURER
- 6) ALL GLASS AND GLAZING SHALL CONFORM TO ALL APPLICABLE CODES

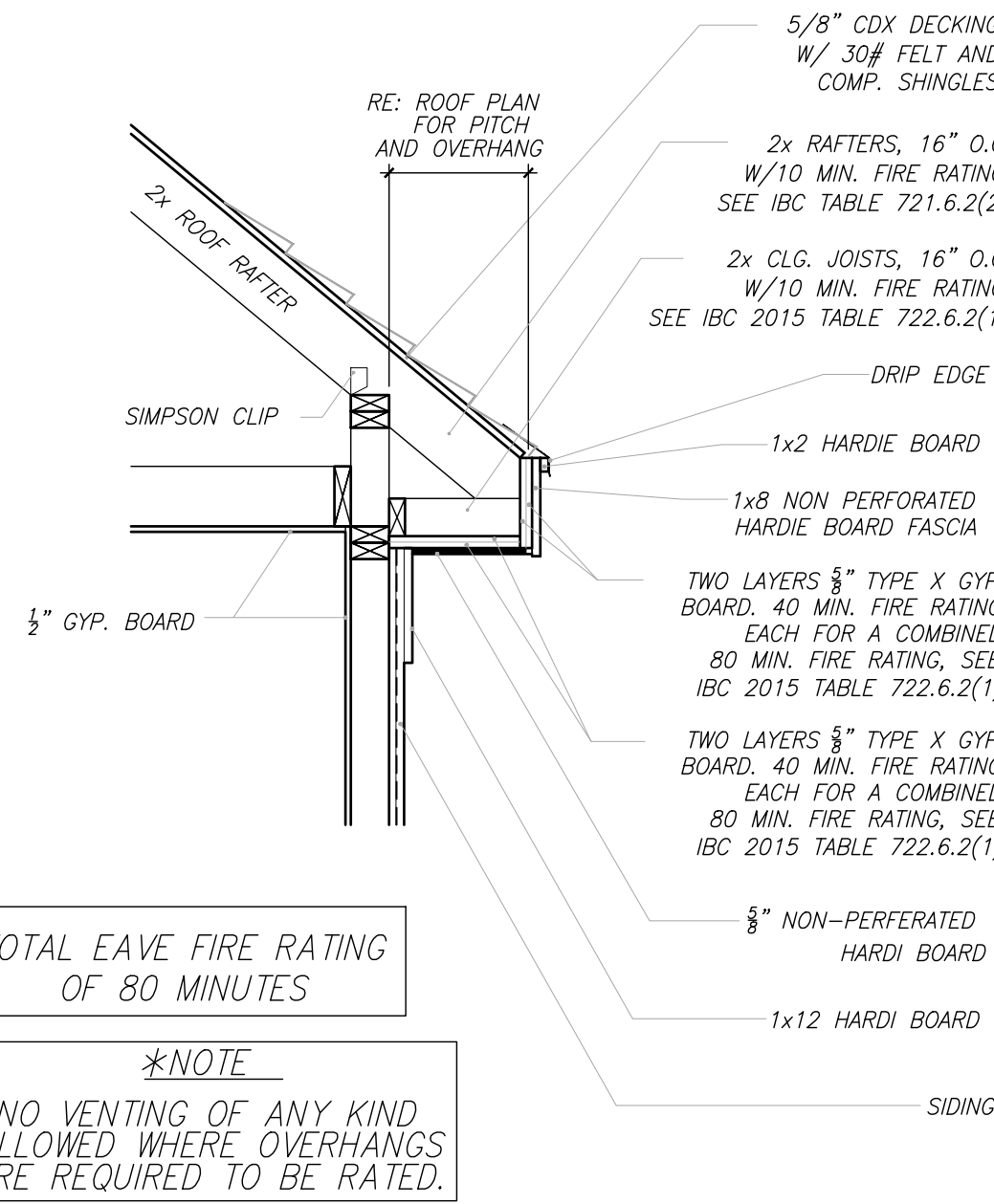
NOTES:

1. ATTIC ACCESS ROUGH OPENING 30"x54". STAIR CAPACITY A MINIMUM OF 350 POUNDS CAPACITY
2. SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE AS REQUIRED BY IRC 2015 TABLE 302.6. INSTALLATION OF NOT LESS THAN A 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. 5/8" TYPE 'X' GYPSUM BOARD FOR THE GARAGE CEILING BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 6 INCHES ON CENTER BY MINIMUM 1-7/8" 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS. (TABLE 702.3.5). WHEN GARAGE AND DWELLING ARE LESS THAN 3 FEET APART, A LAYER OF GYP. BD. NOT LESS THAN 1/2" TO BE APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA. OPENINGS IN GARAGE WALLS NOT FACING THE DWELLING SHALL COMPLY WITH SECTION 302.5.
3. SILL HEIGHT AT BEDROOM WINDOWS SERVING AS EMERGENCY ESCAPE AND RESCUE OPENINGS NOT TO BE MORE THAN 44" HIGH. R310.2 IRC 2015
4. TILE TO BE THIN SET ON APPROPRIATE BACKER BOARD.
5. CONTRACTOR TO PROVIDE ATTIC VENTILATION, MIN. 100 CFM
6. GUTTERS AND DOWNSPOUTS AS REQUIRED
7. AS PER SECTION R302.7 IRC 2015 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE ALL WALLS, UNDER STAIR SURFACE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
8. WHERE WOOD FRAME WALLS ARE SUBJECT TO WATER SPLASH, FRAMING TO BE PROTECTED WITH WATERPROOF PAPER PER SECTION 703.1.1 IRC 2015.
9. CONTRACTOR TO PROVIDE LINTELS ABOVE ALL OPENINGS WITH BRICK ABOVE
10. SHOWER STALL WALLS TO BE FINISHED WITH NON-ABSORBENT SURFACE TO MIN. HEIGHT OF 72" ABOVE DRAIN INLET PER SECTION R307.2 IRC 2015
11. REFERENCE TABLE R602.3.1 IRC 2015 FOR FASTENER SCHEDULE
12. STRUTS MIN. 2x4 8'-0" MAX. LENGTH MIN 45' FROM HORIZONTAL
13. A LEVEL SERVICE SPACE A MIN. 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG SERVICE SIDE OF APPLIANCE(S) IN ATTIC WHERE ACCESS IS REQUIRED PER SECTION M1305.1.3 IRC 2015
14. EVERY DWELLING UNIT TO HAVE KITCHEN & BATHROOM WITH HOT & COLD RUNNING WATER.
15. EVERY DWELLING UNIT TO HAVE HEATING FACILITIES
16. NOT USED
17. THE SIZE, HEIGHT AND SPACING OF STUDS SHALL CONFORM TO SECTION 602.3.1 IRC 2015, TABLE 602.3.5
18. WHEN WATER HEATER IS LOCATED IN ATTIC, PLACE ABOVE A LOAD BEARING PARTITION IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE INSTALLATION PER SECTION P2803 IRC 2015.
19. NOT USED
20. KITCHEN SINK WITH DISPOSAL.
21. HANDRAILS SHALL BE NO LESS THAN 34" MIN., NO MORE THAN 38" INCHES ABOVE THE NOSING OF TREADS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS PER SECTION R311.7.7 IRC 2015
22. OPEN GUARDRAIL AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER SECTION R311.7.8.1 IRC 2015
23. REQUIRED GUARDRAILS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS THAT RESULT IN A LADDER EFFECT.
24. ALL EXTERIOR WALL AND MAIN CROSS STUDS PARTITIONS SHALL BE EFFECTIVELY BRACED AT EACH END, OR AS NEAR TO END AS POSSIBLE PER R602 IRC 2015
25. PROVIDE FIRE-STOPPING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS ALONG THE LENGTH OF THE WALL PER SECTION R302 IRC 2015
26. ALL BEDROOM WINDOWS MEET EGRESS REQUIREMENTS AS STATED IN R310.1.1, R310.1.2, R310.1.3 & R310.1.4 IRC 2015
27. ALL WINDOW WELLS TO COMPLY WITH R310.2 IRC 2015
28. SELF CLOSING TIGHT FITTING DOOR 1 3/8" THICK OR A SELF-CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION OF 20 MINUTES BETWEEN THE RESIDENCE AND GARAGE. PER R302.5.1 IRC 2015
29. ATTIC DISAPPEARING STAIRS MAY BE INSTALLED IN THE GARAGE CEILING PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 3/8" THICK FIRE RETARDANT TREATED PLYWOOD OR COVERED WITH A MINIMUM OF 16 GAGE SHEET METAL PER SECTION R807 IRC 2015
30. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT R312.1.1. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS PER SECTION R312.1.2 IRC 2015

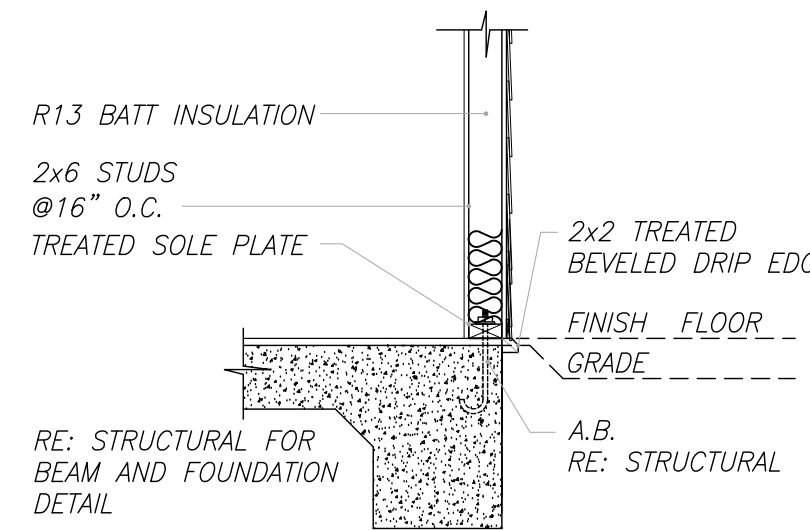
2015 IECC COMPLIANT

SCALE: N.T.S. NOTES

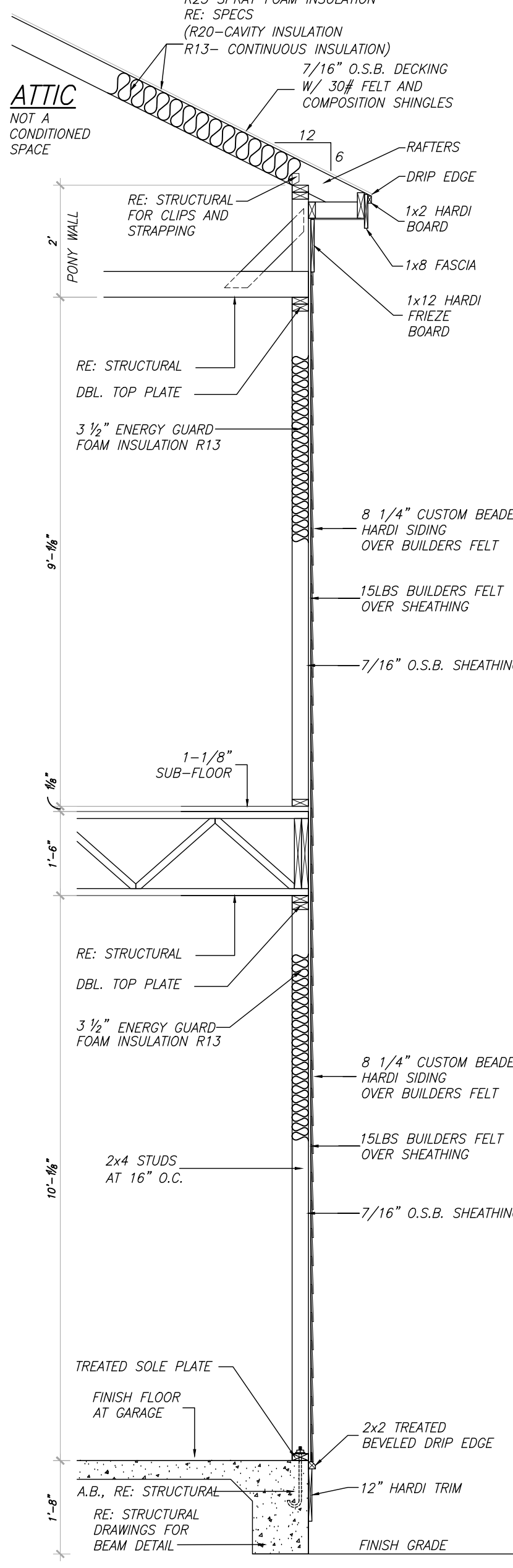
1 HR FIRE RATED EAVE DETAIL



SCALE: N.T.S. FIRE RATED SOFFIT DETAIL



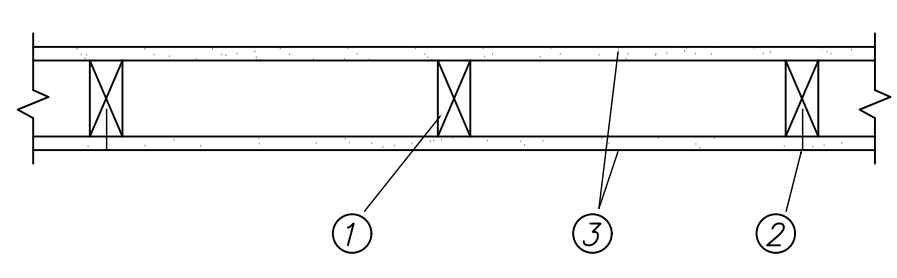
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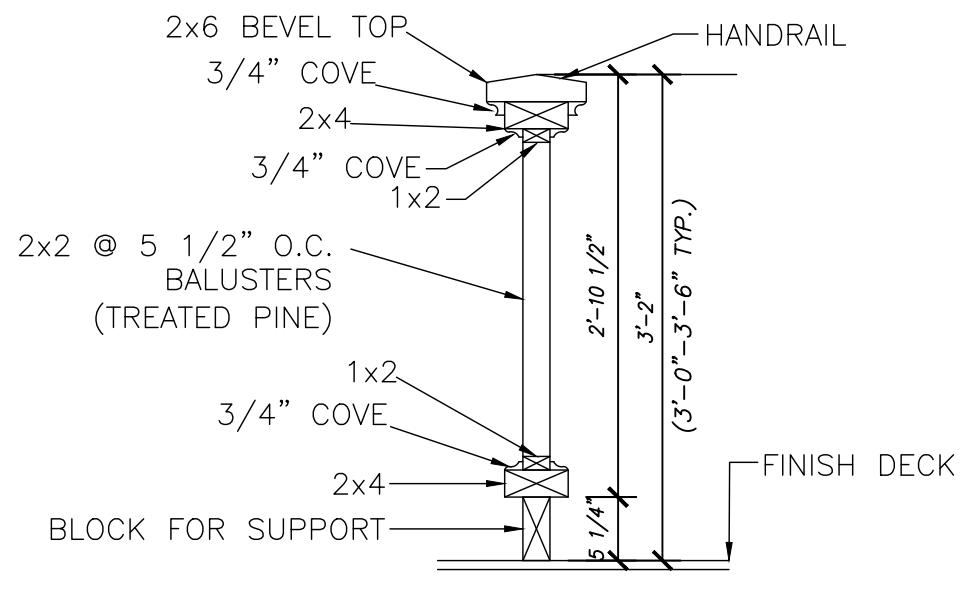
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FIRE RESISTANCE RATINGS

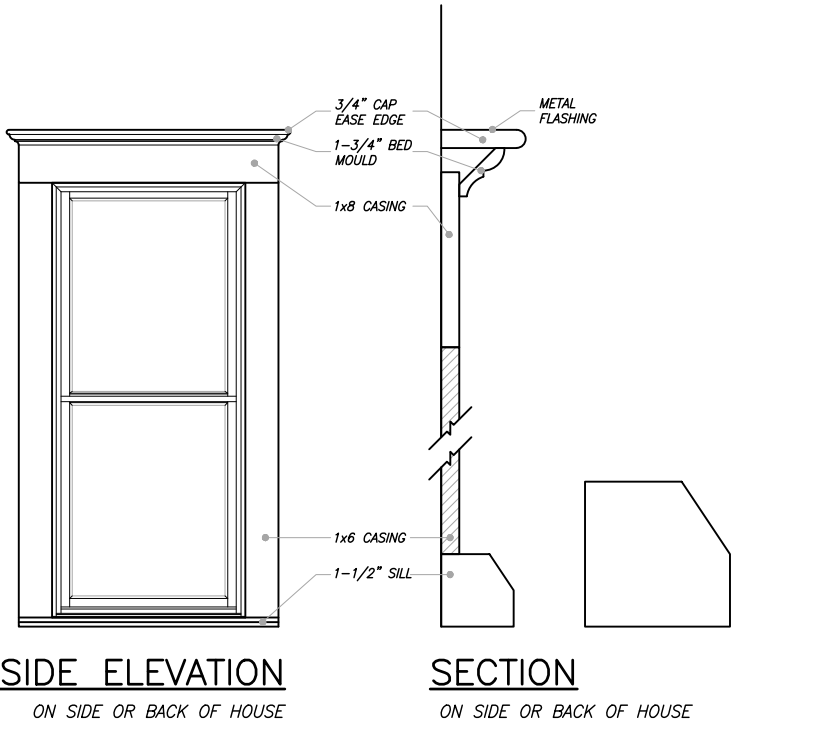
UL 263/ DESIGN NO. U305/ 1 HR. FIRE RATED WALL



SCALE: N.T.S. 1 HR. RATED DETAIL 12



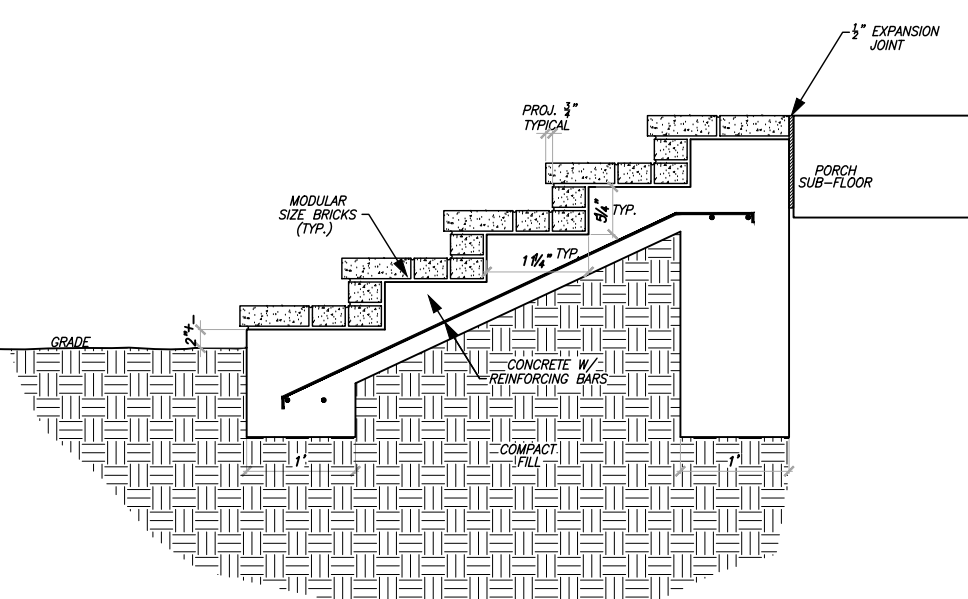
SCALE: N.T.S. HANDRAIL DTL. 11



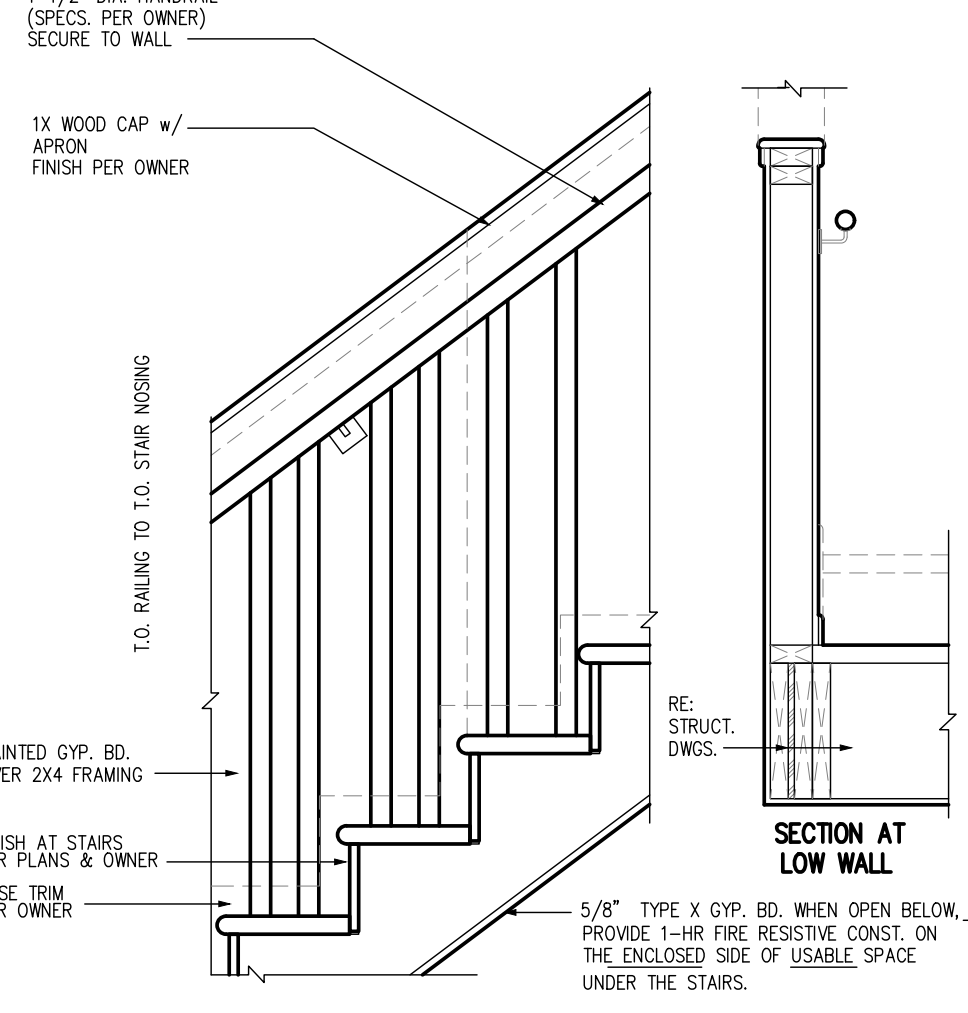
SCALE: N.T.S. WINDOW DETAIL 7

- 1) Wood Studs- Nominal 2 by 4 in. spaced 16 in. OC max, effectively firestopped.
- 2) Joints and Nail Heads- Exposed or covered with fiber tape and joint compound, except where required for specific edge configuration. For tapered, rounded-edge gypsum board, joints covered with joint compound or fiber tape and joint compound. As an alternate, non 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced. Nailheads exposed or covered with joint compound.
- 3) Gypsum Board- 5/8 in. thick paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 15/64 in. diam heads. When used in widths other than 48 in., gypsum panels are to be installed horizontally.

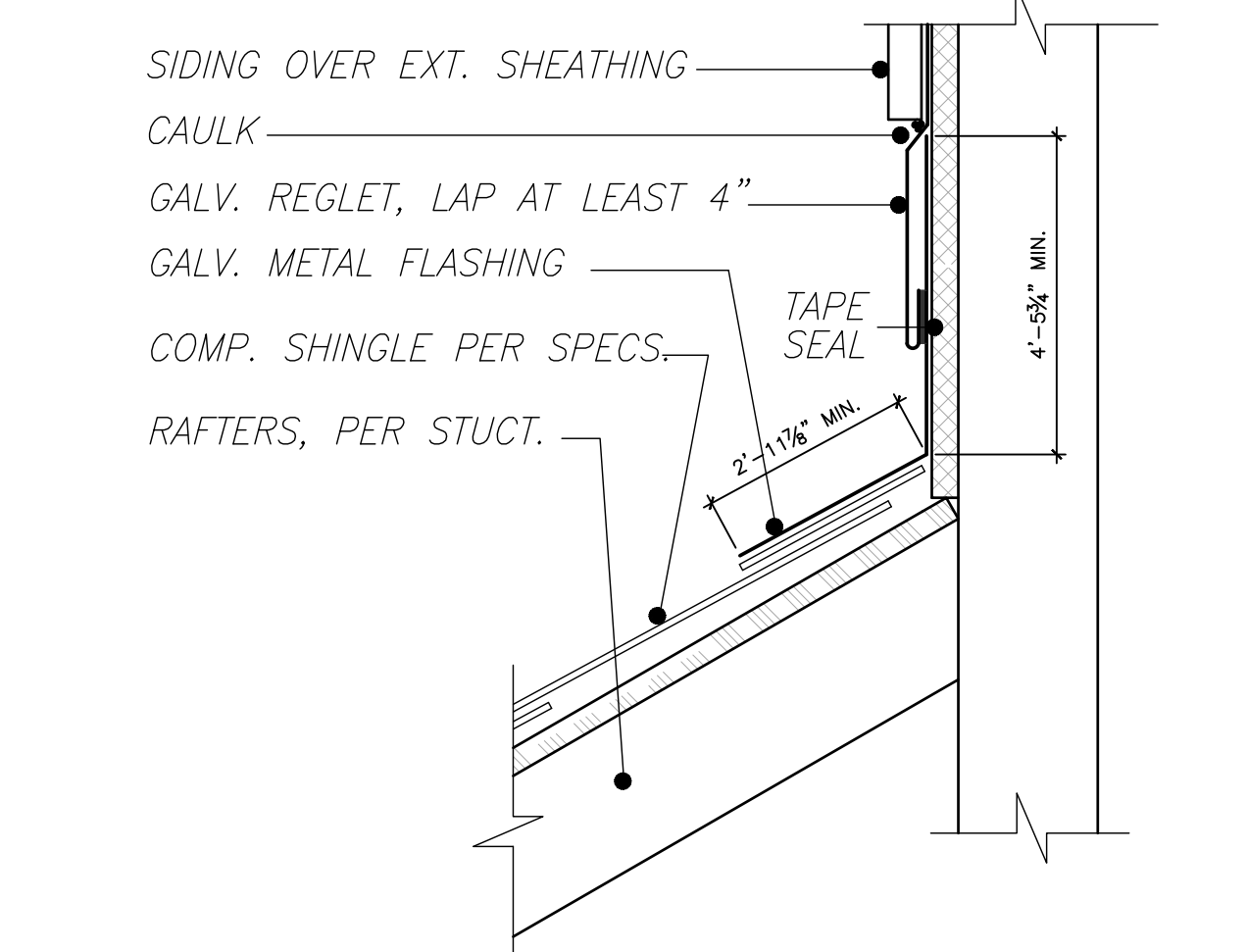
SCALE: N.T.S. 1 HR. RATED DETAIL 12



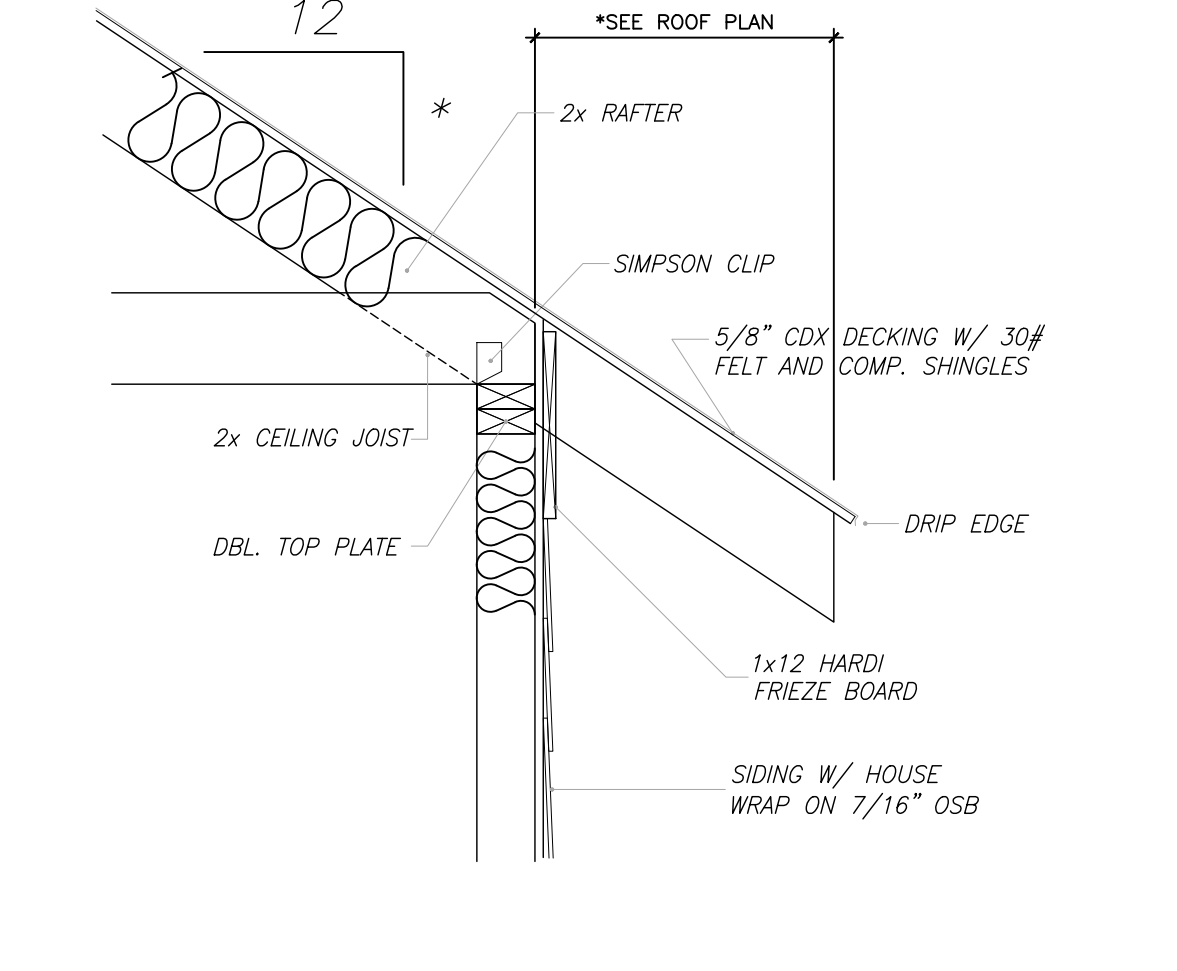
SCALE: N.T.S. BRICK STEPS DTL. 10



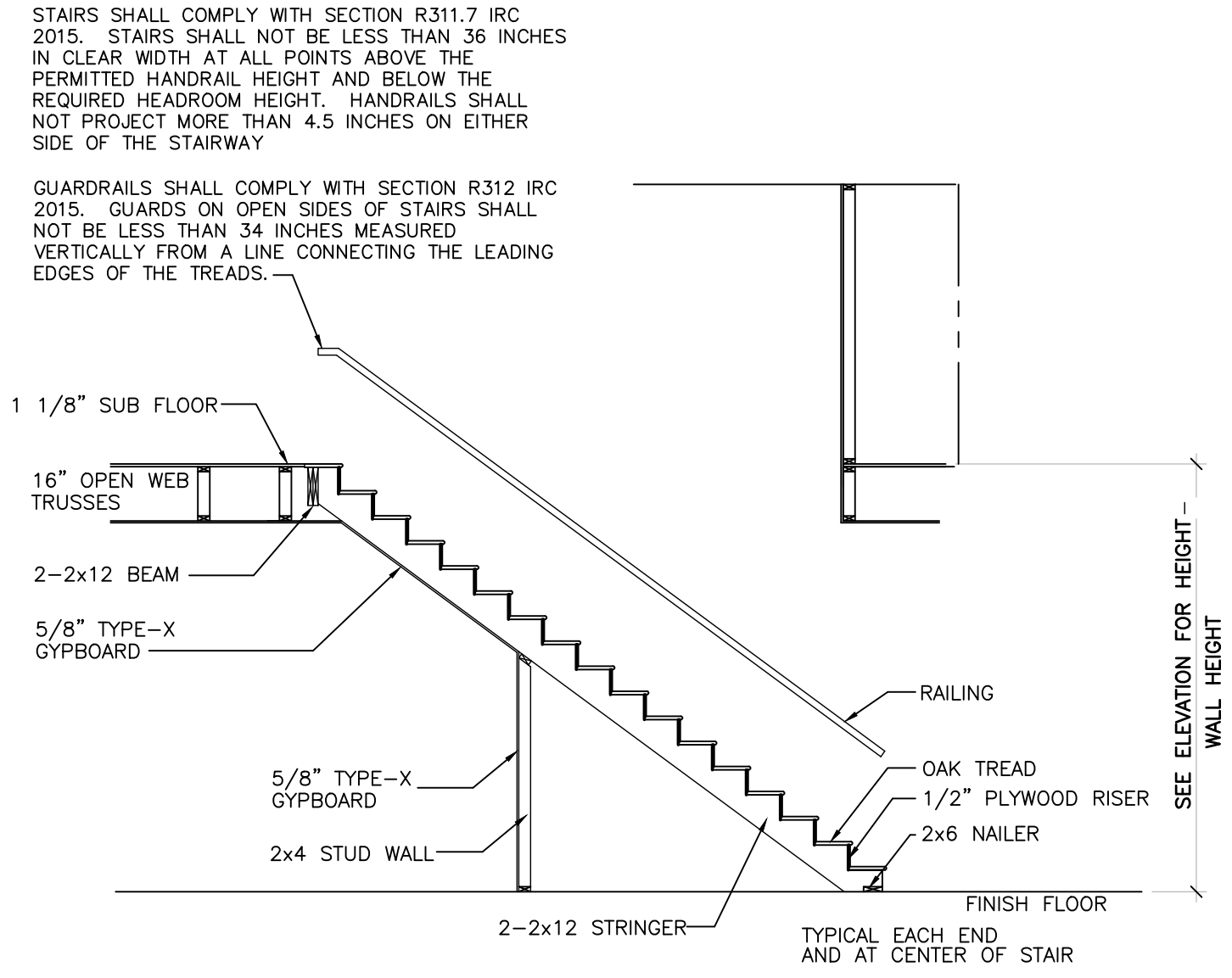
SCALE: N.T.S. STAIR DETAIL 6



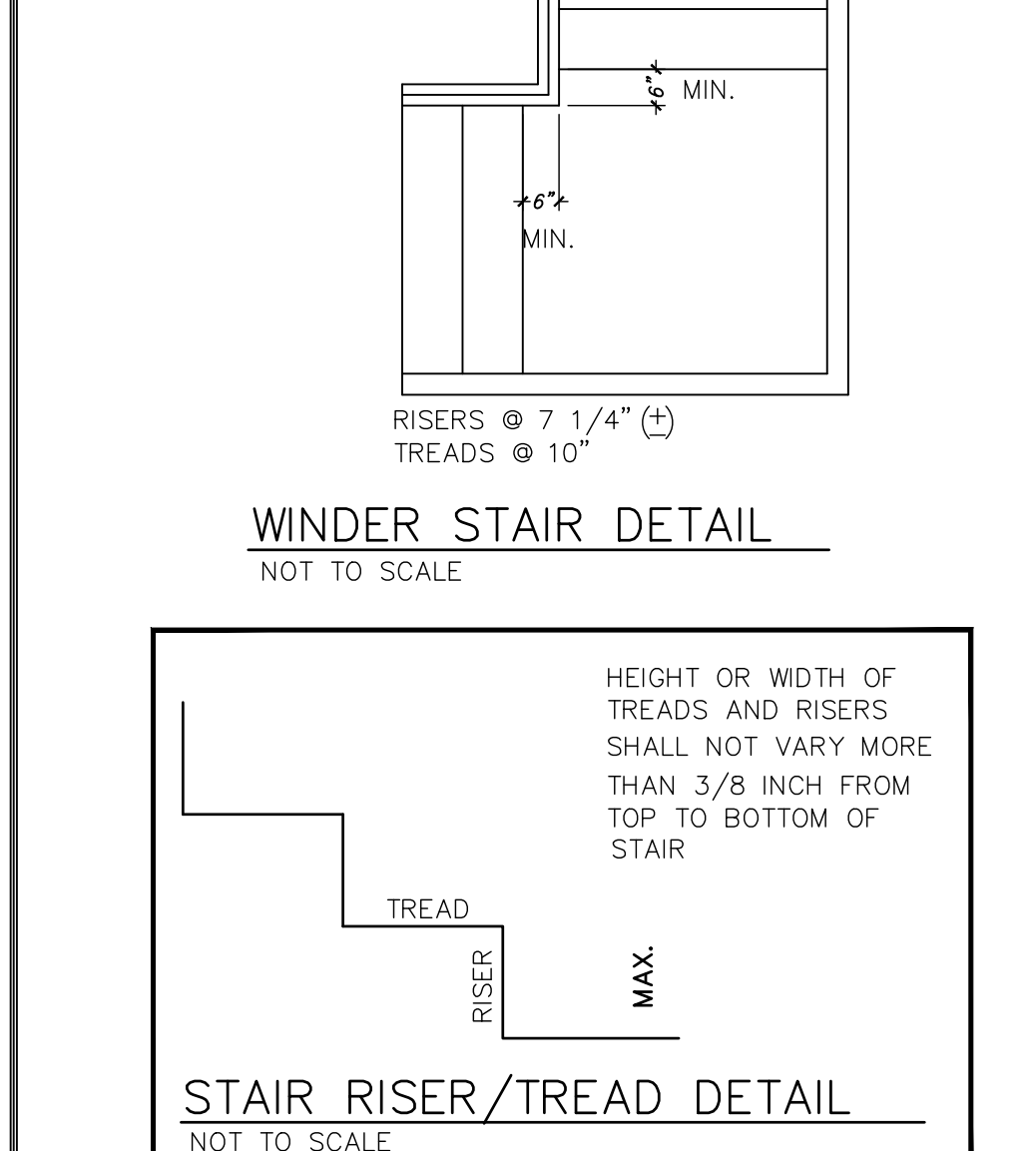
SCALE: N.T.S. FLASHING DETAIL 5



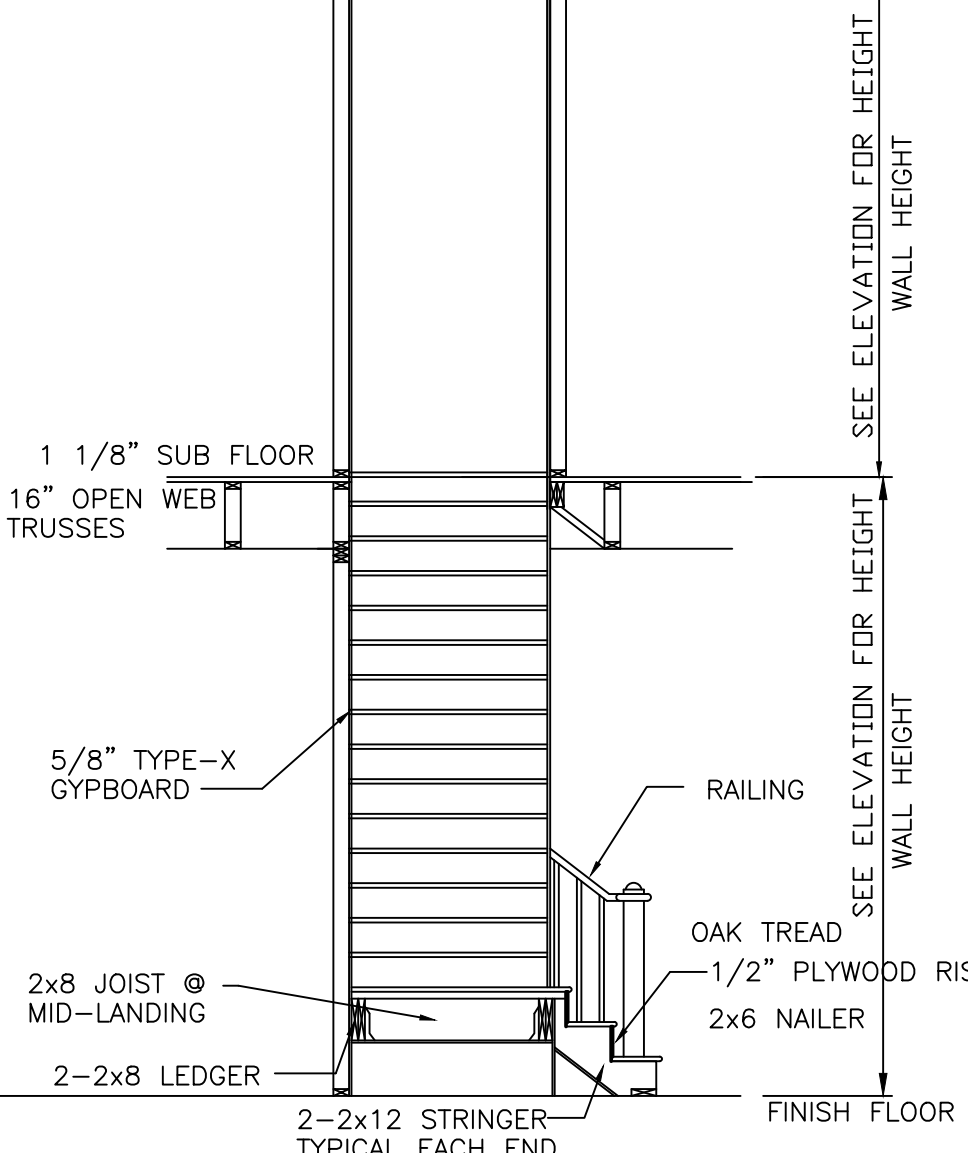
SCALE: N.T.S. EAVE DETAIL 4



SCALE: N.T.S. STAIR SECTION 3



SCALE: N.T.S. STAIR DETAIL 2



SCALE: N.T.S. STAIR DETAIL 1

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MARK	DATE	DESCRIPTION	MARK	DATE	DESCRIPTION
1	06/28/2022	ISSUED FOR PH/C			

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WALDO RESIDENCE
802 WEST TEMPLE
HOUSTON, TEXAS

SHEET TITLE
DETAILS

SHEET NO.
D1.1

From: [Zach Hall](#)
To: [McAllen, Roman - PD](#)
Subject: 802 Temple St
Date: Wednesday, July 27, 2022 3:13:10 PM

[Message Came from Outside the City of Houston Mail System]

Hi,

I am good friends with the Waldo's who have submitted plans for renovations at 802 Temple Street. I grew up in Houston and have lived in the heights for the past 4 years now. We really love the historic aspects of the Waldo's new home and the aesthetics it brings to Proctor park where I enjoy walking with my wife and daughter and playing the occasional tennis match (although the heat has definitely put a dampener on my game this summer). Anyways, we have reviewed the renovation plans with the Waldo's and sincerely believe that the plans will both preserve and enhance the historical charm of the home and Proctor park. The Waldo's are an amazing family, and we are excited to welcome them into the neighborhood as new homeowners.

I hope it helps to hear from some fellow Heights folk and we thank you for the work you do for our neighborhood. Please feel free to reach out if you have any questions.

Best,

Zach Hall
832-818-4507

From: [Parker Hiscox](#)
To: [PD - Historic Preservation](#); [McAllen, Roman - PD](#)
Subject: 802 W Temple St - Renovation
Date: Wednesday, July 27, 2022 3:22:39 PM

[Message Came from Outside the City of Houston Mail System]

Good afternoon Roman & Houston Archaeological and Historical Commission,

I wanted to reach out to you regarding the property at 802 W Temple St. The current owners (The Waldos) have taken me around the historical neighborhood, shown me the interior and exterior of the existing property, and walked me through their architectural renovation plans. I was impressed with the plans and believe they would fit well into the surrounding historical neighborhood.

Please let me know if you have any questions as you review their plans.

All the best,
M. Parker Hiscox 512.431.0022

From: [Anish Hariharan](#)
To: [McAllen, Roman - PD](#)
Subject: Norhill Renovations
Date: Wednesday, July 27, 2022 3:04:20 PM

[Message Came from Outside the City of Houston Mail System]

Roman,

My wife and I know the young family which is planning some work at 802 W Temple in the Houston Heights. We live on Bayland Avenue a few streets south of their home, and we have spent a lot of our free time in the Norhill neighborhood and around Proctor Park. We have seen the renovation plans which have been submitted to this Commission for 802 W Temple, and we wanted to reach out and indicate our support for the project. It is obvious to us that the family loves the house and is doing their utmost to retain all of the charm and character which makes Norhill so special, and we think the plans for the house will only enhance that charm. Thanks very much for your consideration.

Anish Hariharan
Senior Vice President
EDF Energy NA

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From: [Regina Abramova](#)
To: [McAllen, Roman - PD](#)
Subject: Recommendation - 802 W Temple (Norhill)
Date: Wednesday, July 27, 2022 3:00:51 PM

[Message Came from Outside the City of Houston Mail System]

Good Afternoon,

Upon review of the new blueprints designed for the Waldo residence, I wanted to provide this formal recommendation to the Houston Historic Preservation. I have visited the current home several times since closing and believe the current blueprints will not only maintain the integrity of the original home, but will add tremendous value to the Norhill community. Please let me know if I can be of any further assistance to you.

Warm Regards,

Regina Abramova

From: [judith holmes](#)
To: [McAllen, Roman - PD](#)
Subject: Renovation on 802 Temple Street
Date: Wednesday, July 27, 2022 3:39:31 PM
Attachments: [image001.png](#)

[Message Came from Outside the City of Houston Mail System]

Good Afternoon Mr. McAllen,

I am writing you in regards to my clients home renovation on 802 West Temple Street. After reviewing the plans sent to me by my client Tom Waldo it seems that all is in compliance with regulations from the historic preservation. The homes renovation will be an enhancement to the area. Also, Creole who is doing the renovation is very reliable and professional and do many renovations in the Heights. My clients are a lovely couple who are expanding their family and look at this home as their forever home to raise their children. Thank you for your time and consideration.

With Kind Regards,

Judith Holmes

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Judith Holmes

CNE | Realtor®

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C I R C A
REAL ESTATE

From: [Austin Hahn](#)
To: [PD - Historic Preservation](#); [McAllen, Roman - PD](#)
Subject: Support for 802 West Temple St Certificate of Appropriateness Applications
Date: Wednesday, July 27, 2022 3:29:26 PM
Attachments: [Support for 802 West Temple St Certificate of Appropriateness Applications.pdf](#)

[Message Came from Outside the City of Houston Mail System]

Dear Committee Members,

Please find attached a letter in support of the Waldo Family's Certificate of Appropriateness Applications for their residence located at 802 West Temple St.

As members of the Norhill community, we have thoroughly reviewed their redevelopment plans and are fully supportive of the proposal; we are confident that their plans will preserve the historic character and traditional image of the home.

All the best,
Austin Hahn and Brooke Kaiser