

CERTIFICATE OF APPROPRIATENESS

Applicant: Evan Michaelides, on behalf of Rutherford B. H. Yates Museum

Property: 1218 Wilson Street, Lots 9 & 10, Block 23, Castanie Addition. The property includes a historic single-family residence situated on a 10,000 square foot corner lot.

Significance: The J. Vance Lewis House is a protected landmark residence located within the Freedmen’s Town National Register District. This one-story wood-frame cottage was constructed circa 1907 for J. Vance Lewis and his wife, Pauline Gray Lewis.

Proposal: Alteration – front and rear porch, front entry steps

- Replace the non-original concrete front steps with period-appropriate wooden steps and concrete capped brick cheek walls with metal railing. Brick to match pedestals and piers.
- Restore front porch based on existing remaining elements. See sketch for wood handrail system.
- Reopen the non-original back porch, which was enclosed several decades after the building was constructed based on the Sanborn Maps and material differentiation (see photos). Applicant will follow details same handrail system as the front porch, but with simplified wood columns.
- A lift at the rear porch will be installed for handicap accessibility – see updated sketches.
- Rear doors and transoms will remain in place. The non-historic door will be replaced with a more period appropriate door once an option is located.
- Previous repairs and routine maintenance such as the roof and piers are exempt and were necessary for stabilization of the structure.

Public Comment: No public comment received at this time.

Civic Association: No comment received.

<p>Recommendation: Approval</p> <p>HAHC Action: -</p>
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APPROVAL CRITERIA**ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS**

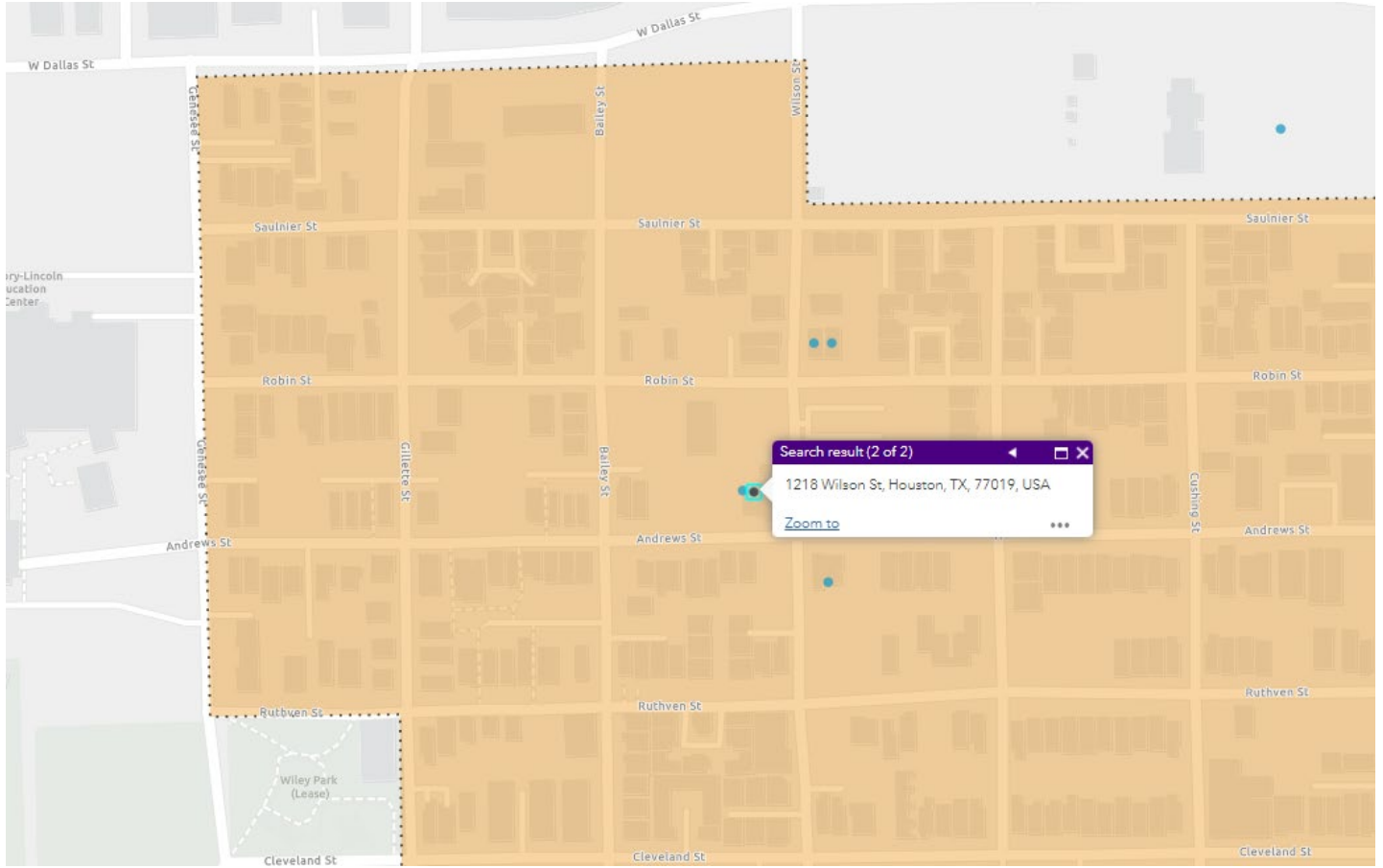
Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | S - satisfies | D - does not satisfy | NA - not applicable |
|-------------------------------------|--------------------------|--------------------------|----------------------|---|----------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) | The proposed activity must retain and preserve the historical character of the property; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) | The proposed activity must contribute to the continued availability of the property for a contemporary use; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) | The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) | The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) | The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) | New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) | The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) | Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) | The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) | The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) | The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. | |



PROPERTY LOCATION

Freedmen's Town National Register District



PRE-ROOF REPAIR PHOTO



INVENTORY PHOTO

(NO INVENTORY PHOTO C. 2007 FOR NOMINATION) – GOOGLE STREET VIEW C. 2007

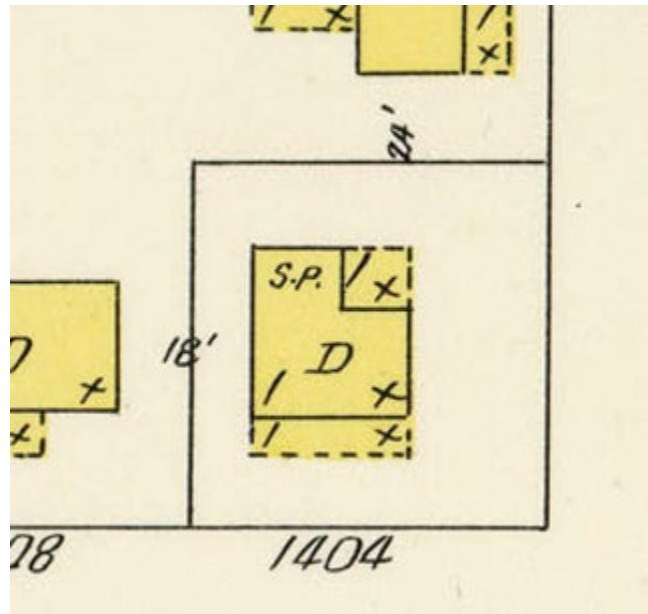


INVENTORY PHOTO

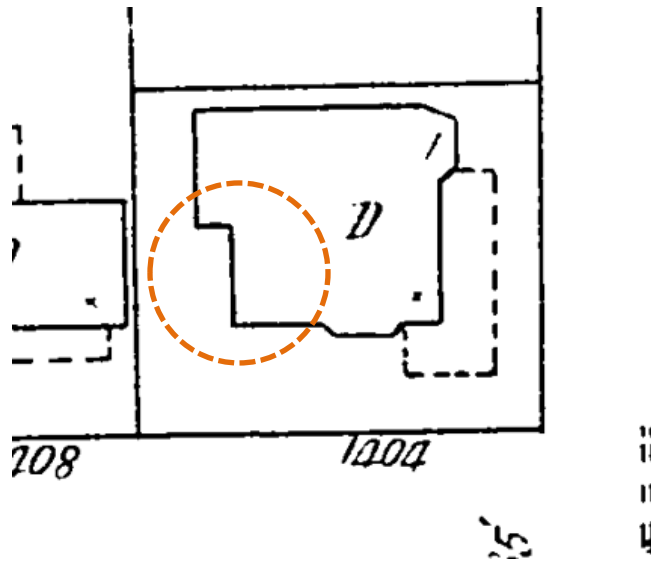
(NO INVENTORY PHOTO C. 2007) – GOOGLE STREET VIEW C. 2007



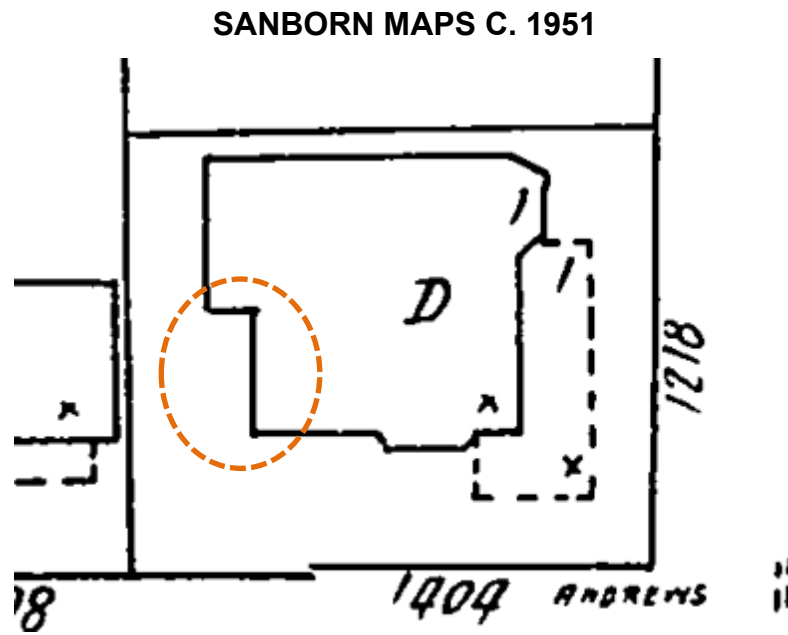
SANBORN C. 1907 – NOT EXISTING BUILDING



SANBORN C. 1925



Rear Porch not original, probably constructed c. 1950



***REAR PORTION OF HISTORIC FOOTPRINT WAS ENCLOSED SOME TIME BETWEEN 1950S TO PRESENT DAY**



AVAILABLE AERIAL

CURRENT PHOTOS



RESTORED COLUMNS TO BE REINSTALLED

CURRENT PHOTOS



CURRENT PHOTOS



CURRENT PHOTOS



CURRENT PHOTOS



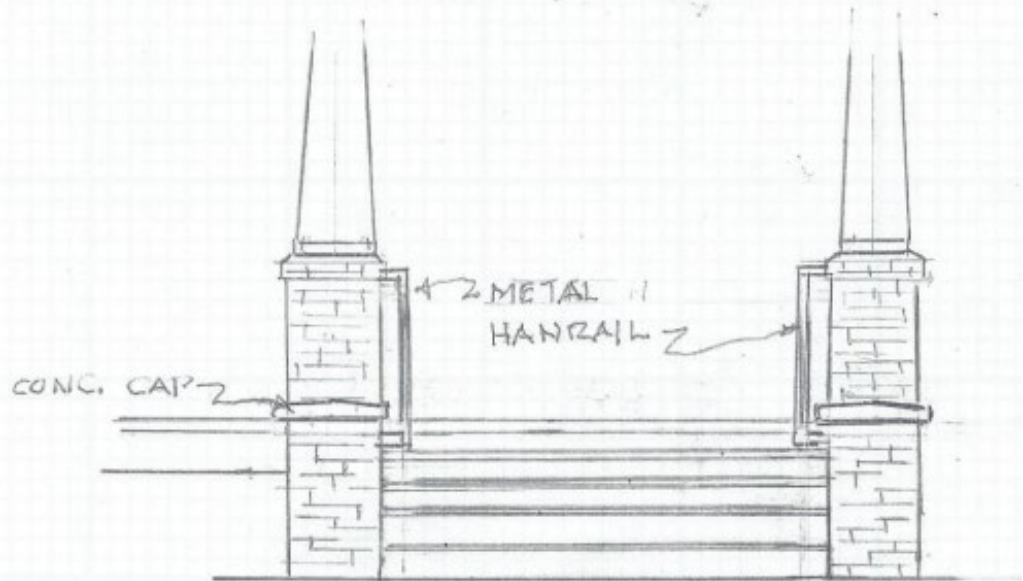
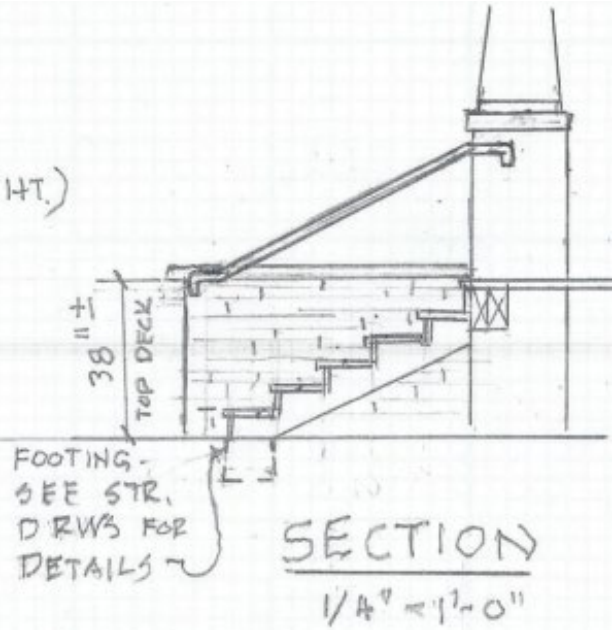
CURRENT PHOTOS



FRONT STAIR/ENTRY ALTERATION WITH RESTORED COLUMNS

STAIR NOTES

- A. RAISER CAL.
38" ÷ 6 R @ 6.33" (CONFIRM 38" HT.)
- B. TREAD
1x12 W BELVED 1/8" NOSING
TREAD TO PROJECT 1" BEYOND RAISER
- C. HAND RAIL
CLEARANCE NOT LESS THAN 1/2". MIN HT 34"
- D. STRINGERS
16" O.C. MAX; SLOPE TO DRAIN
- E ALL WOOD TO BE TREATED

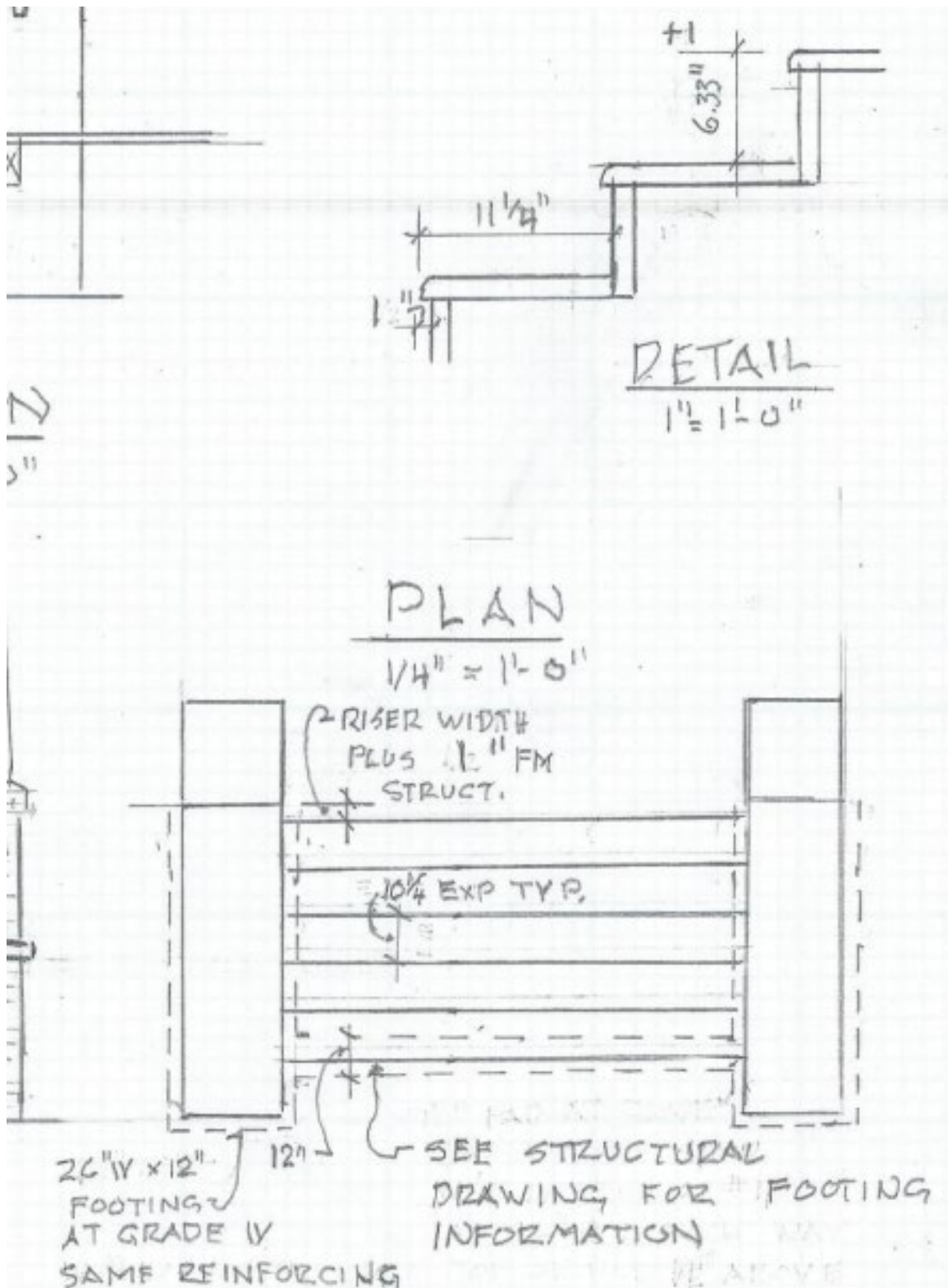


JVL STEPS

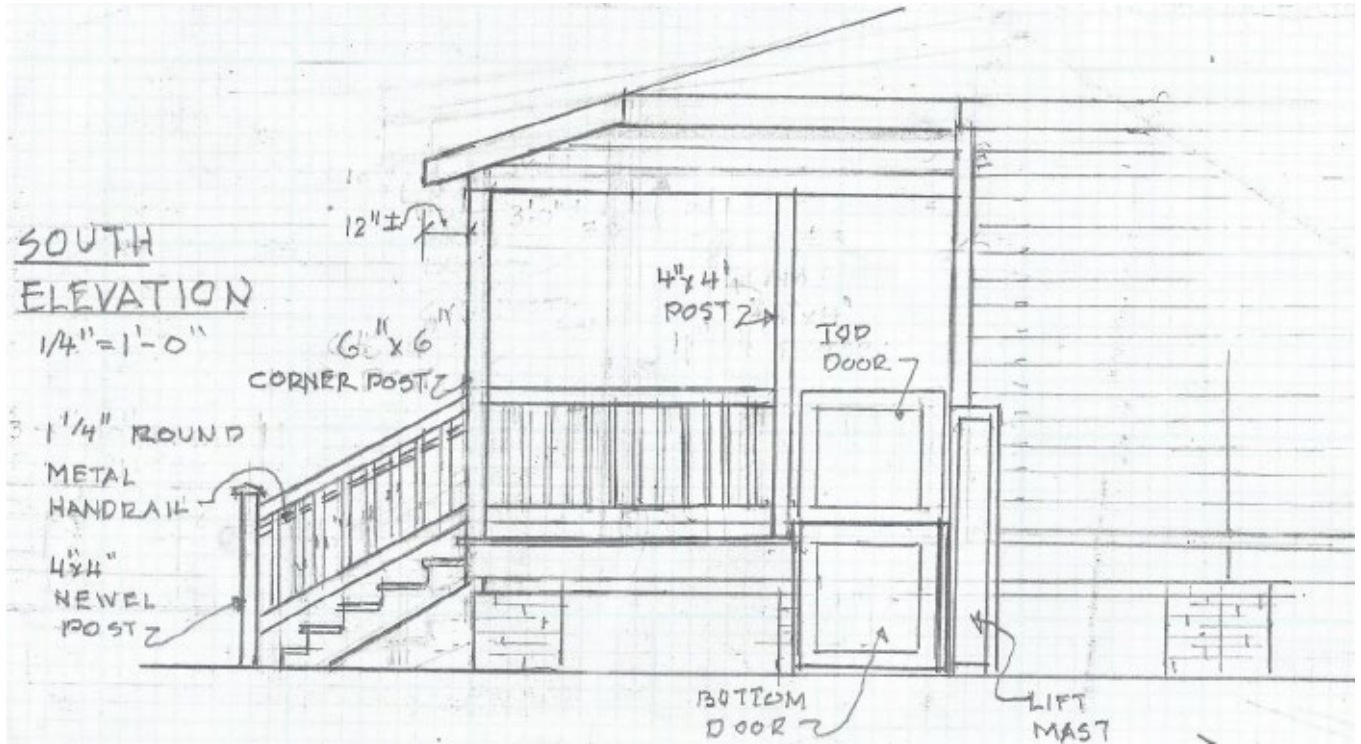
11/27/21 1/3/22 1/7/22

26" W
FOO
AT C
SAM

FRONT STAIR/ENTRY ALTERATION DETAILS – SEE BACK PORCH FOR HANDRAILS



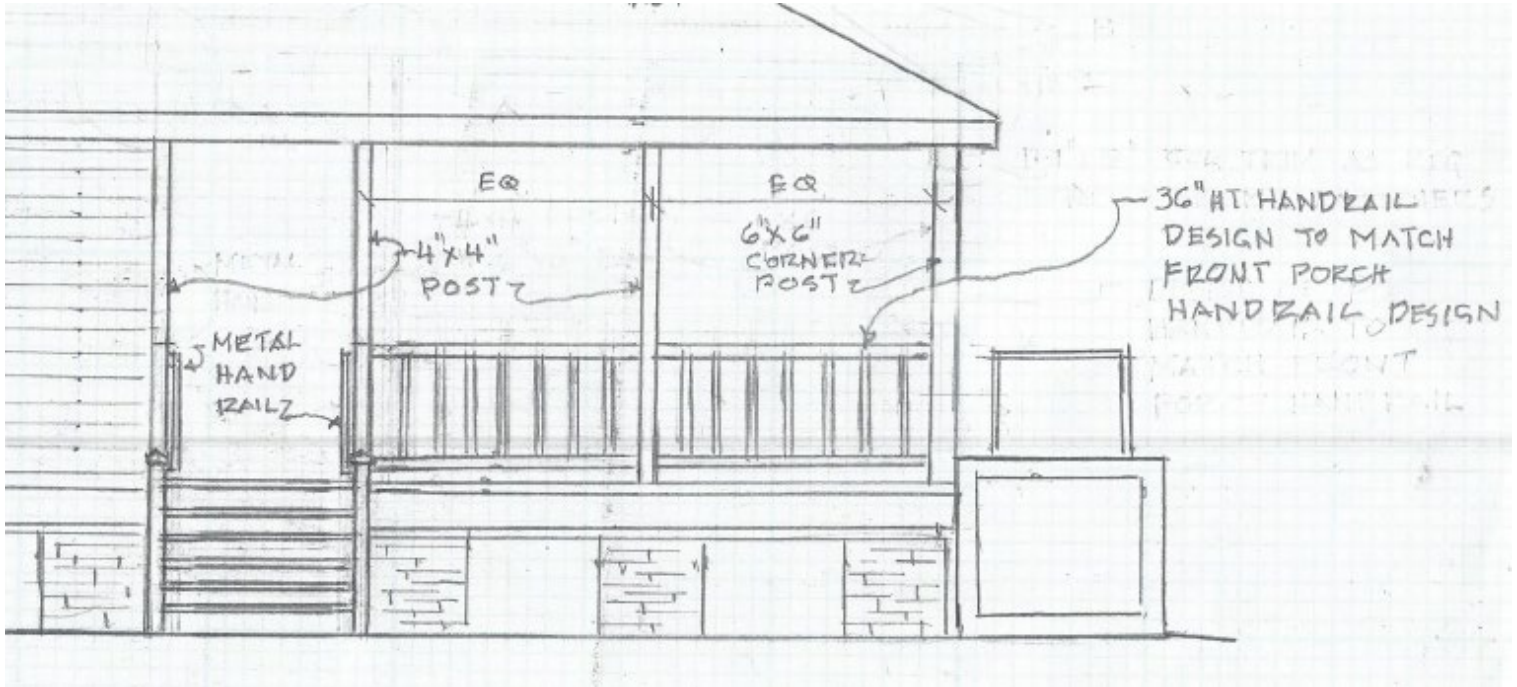
REAR PORCH ALTERATION – PREVIOUSLY NON-ORIGINAL ENCLOSED PORCH C.1950



JVL
BACKPORCH
 SCALE 1/4"=1'-0"
 11/20/21
 12/20/21
 1/3/22
 1/7/22
 1/19/22
 2/21/22

NOTE:
 1. POST & CEILING BEAMS
 TO BE CLAD SO NO
 FASTENERS ARE EXPOSED

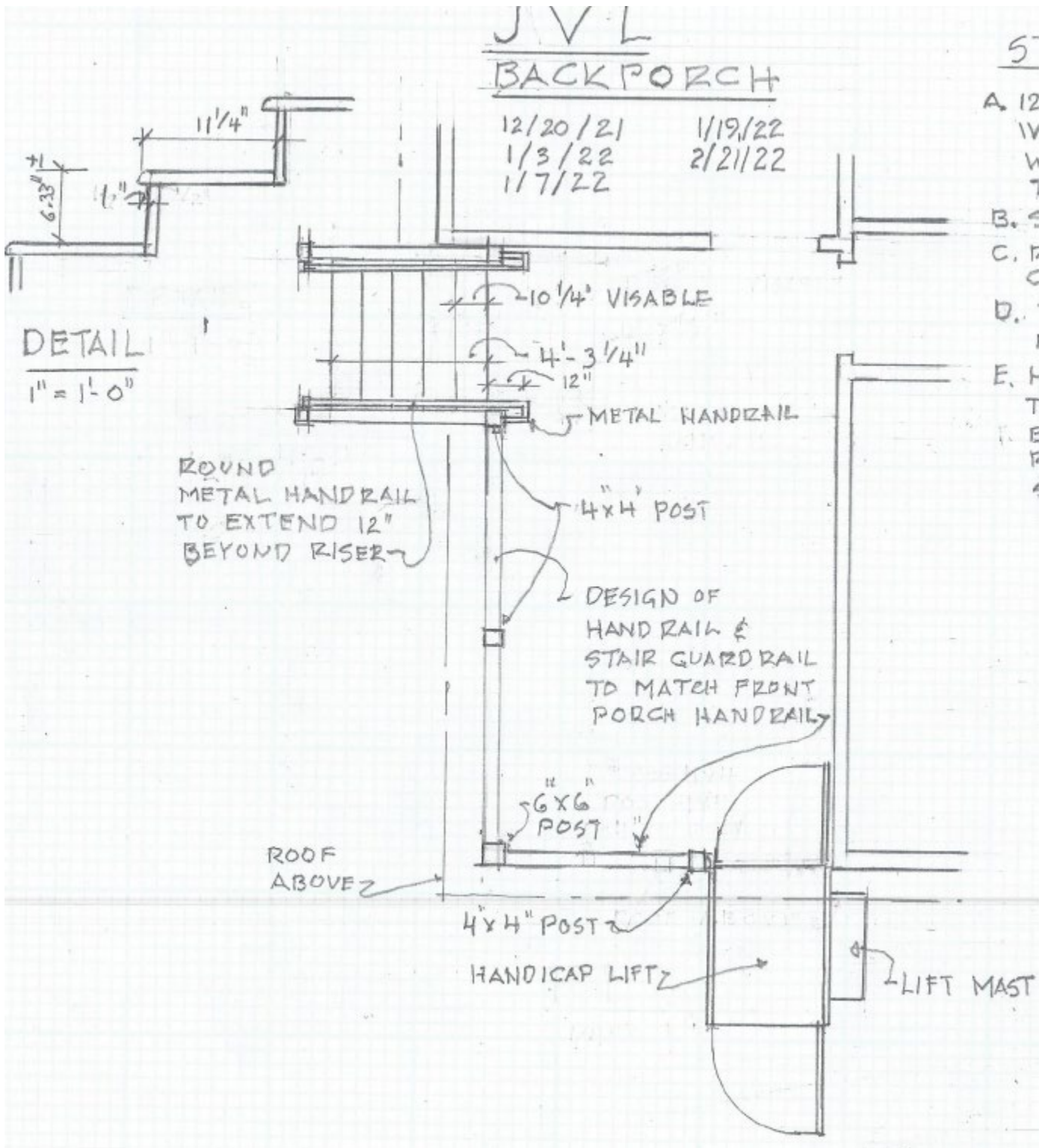
**REAR PORCH ALTERATION – PREVIOUSLY NON-ORIGINAL ENCLOSED PORCH C.1950
WEST ELEVATION (REAR)**



36" HT HANDRAIL
DESIGN TO MATCH
FRONT PORCH
HANDRAIL DESIGN

REAR PORCH ALTERATION – PREVIOUSLY NON-ORIGINAL ENCLOSED PORCH C.1950

PLAN VIEW



ADDITIONAL NOTES FROM ARCHITECT:STAIR NOTES

- A. 12" x 12" PAD TO SUPPORT STRINGERS
W 2 LAYERS OF # 4 @ 12" O.C, EA
WAY. TOP OF PAD 3/4" ABOVE GRADE
TO MATCH FUTURE WALK
- B. STRINGERS - 16" O.C. MAX $\frac{1}{2}$ " PITCH TO DRAIN
- C. RAISERS - 38" \pm GR TRD @ 6.33" \pm
CONFIRM 38"
- D. TREADS - 5- 1" x 12" TRD W 1/8"
BELVED NOSING $\frac{1}{2}$ " BEYOND RISER
- E. HANDRAIL CLEARANCE NOT LESS
THAN 1 1/2" & MIN HT. 34"
- F. EXTEND RAIL 12" BEYOND LAST
RAISER. RETURN RAIL AT TOP OF
STEPS TO 4" x 4" POST