

CERTIFICATE OF APPROPRIATENESS

Applicant: Romero Gerardo, owner; Ana S. Gamez, agent

Property: 8322 Glenloch Dr., 8,120 SF Lot; 1,482 SF House

Significance: Circa 1960 Contributing Mid-Century House in the Glenbrook Valley Historic District

Proposal: Alteration -new carport, new windows in front elevation, gable fenestration removed

Work started without COA or building permit

Public Comment: None at time of preparation of this report

Civic Association: None

Recommendation: Denial - does not satisfy criteria and issuance of a Certificate of Remediation to remove the carport, remove the 4 front windows and replace brickwork, and to re-open the front facing gable and install glass, as was originally constructed, final detailing to be approved by staff.

HAHC Action: -



Figure 1 - Inventory Photo 4/2/2010

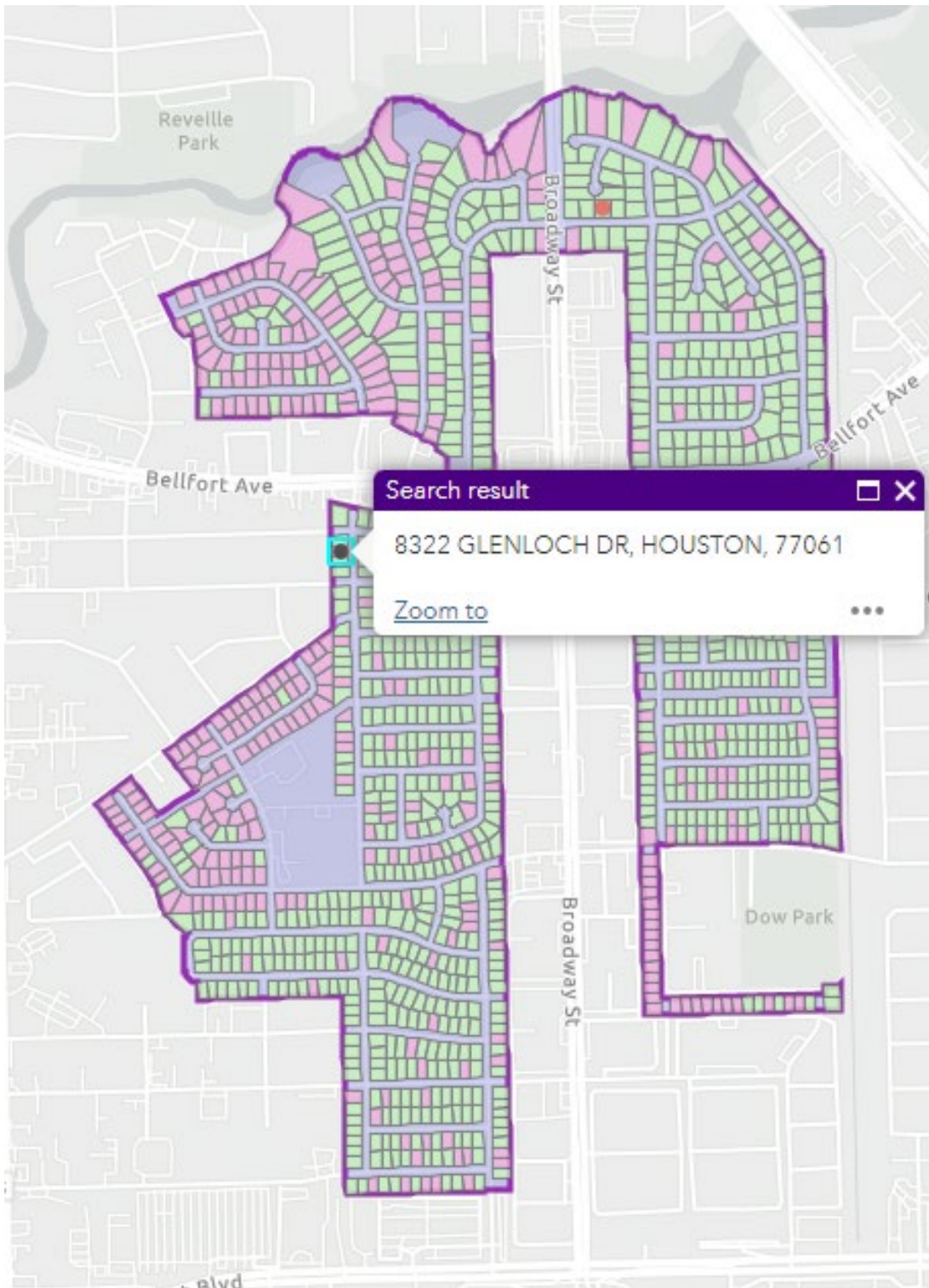


Figure 2 - District Map with Location



Figure 3 - 6/16/2020 First Violation Notice

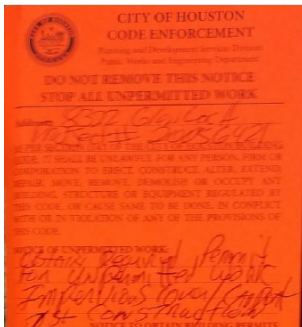




Figure 4 - Violation Notice July 2020


 10-26-20_4th_Notice_8322_Glenloch_Carport.pdf


 11-06-20_5th_Notice_8322_Glenloch_Carport.pdf


 12-04-20_6th_Notice_8322_Glenloch_Carport.pdf


 1-27-21_7th_Notice_8322_Glenloch_Carport.pdf


 3-25-21_FollowUp_Notice_8322_Glenloch_Carport.pdf


 6-17-21_8th_Notice_8322_Glenloch_Carport.pdf


 7-07-21_9th_Notice_8322_Glenloch_Carport.pdf


 8-11-21_10th_Notice_8322_Glenloch_Carport.pdf


 9-10-21_11th_Notice_8322_Glenloch_Carport.pdf

 10-16-21_13th_Notice_8322_Glenloch_Carport.pdf


 10-18-21_FollowUp_Notice_8322_Glenloch_Carport.pdf


 11-01-21_19th_Notice_8322_Glenloch_Carport.pdf

 12-06-21_14th_Notice_8322_Glenloch_Carport.pdf

 12-23-21_15th_Notice_8322_Glenloch_Carport.pdf



 1-13-22_16th_Notice_8322_Glenloch_Carport.pdf

 1-26-22_Fire_Damage_8322_Glenloch_Carport_and_Garage.pdf


 4-26-22_1st_Notice_8322_Glenloch.pdf

Figure 5 - Fire was January 23, 2022





Figure 6 - October 2019 Google Image



Figure 7 - From 6/16/21 Site Visit



Figure 8 - 1/26/22 After the Fire - Facade Intact from Violation Notice



Figure 9 -from 12/12/22 Site Visit

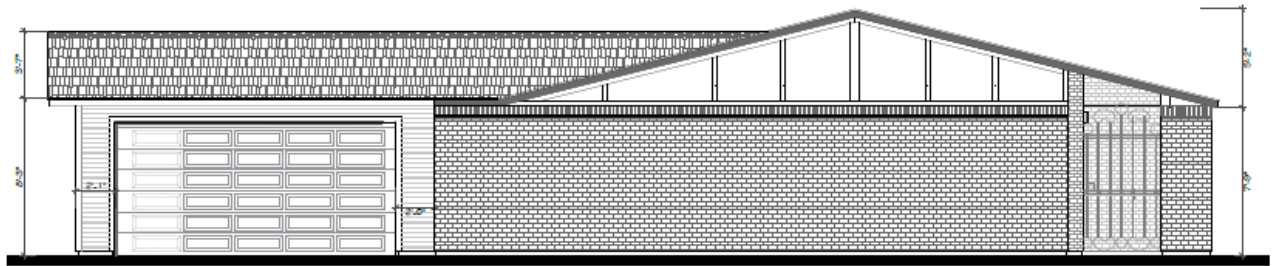
ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S **D** **NA** **S - satisfies** **D - does not satisfy** **NA - not applicable**

- | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property;
This contributing home was designed and constructed in the mid-century style. The clearstory gable windows that were filled in are a defining characteristic of the original building. The deep forward-facing eaves supported with cantilevered 4" x12" timbers were also a defining characteristic. The solid front wall below the gable was also a defining feature of the original structure and was characteristic of the mid-century style. The two adjacent masonry walls, constructed with the same brick as the house where integral to the design of the home as well; this is a form of mid-century house that is in the form of a patio style. Staff has not confirmed as of the time of this report, but it appears the masonry chimney may have been removed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
The reasons stated under criteria (1) above apply here as well. This contributing home was designed and constructed in the mid-century style. The clearstory gable windows that were filled in are a defining characteristic of the original building. The deep forward-facing eaves supported with cantilevered 4" x12" timbers were also a defining characteristic. The solid front wall below the gable was also a defining feature of the original structure and was characteristic of the mid-century style. The two adjacent masonry walls, constructed with the same brick as the house where integral to the design of the home as well; this is a form of mid-century house that is in the form of a patio style. Staff has not confirmed as of the time of this report, but it appears the masonry chimney may have been removed, this too would be a distinguishing characteristic of this mid-century style home. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
A distinctive stylistic exterior feature of this house is the protruding deep eaves with clearstory in the upper portion of the front wall, the gable. Filling in this cable with cementitious siding does not maintaining this stylistic feature. The deep forward-facing eaves supported with cantilevered 4" x12" timbers were also a defining characteristic. |

- (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension, and scale;
The lapped cementitious siding on the front gable and carport, as well as the white 6/6 simulated divided light windows with the mutons encased between glass, are all not compatible with the replaced materials.
- (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
- (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
- (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
The front facing wall has been perforated by the newly installed windows which if removed would not leave unimpaired the essential form of that wall.
- (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
The carport that was constructed, both the previous one prior to the fire and the one constructed there today are not compatible with the massing, size, scale material and character of the property nor the context area.
- (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.



FRONT ELEVATION

Figure 10 - Existing Front Elevation

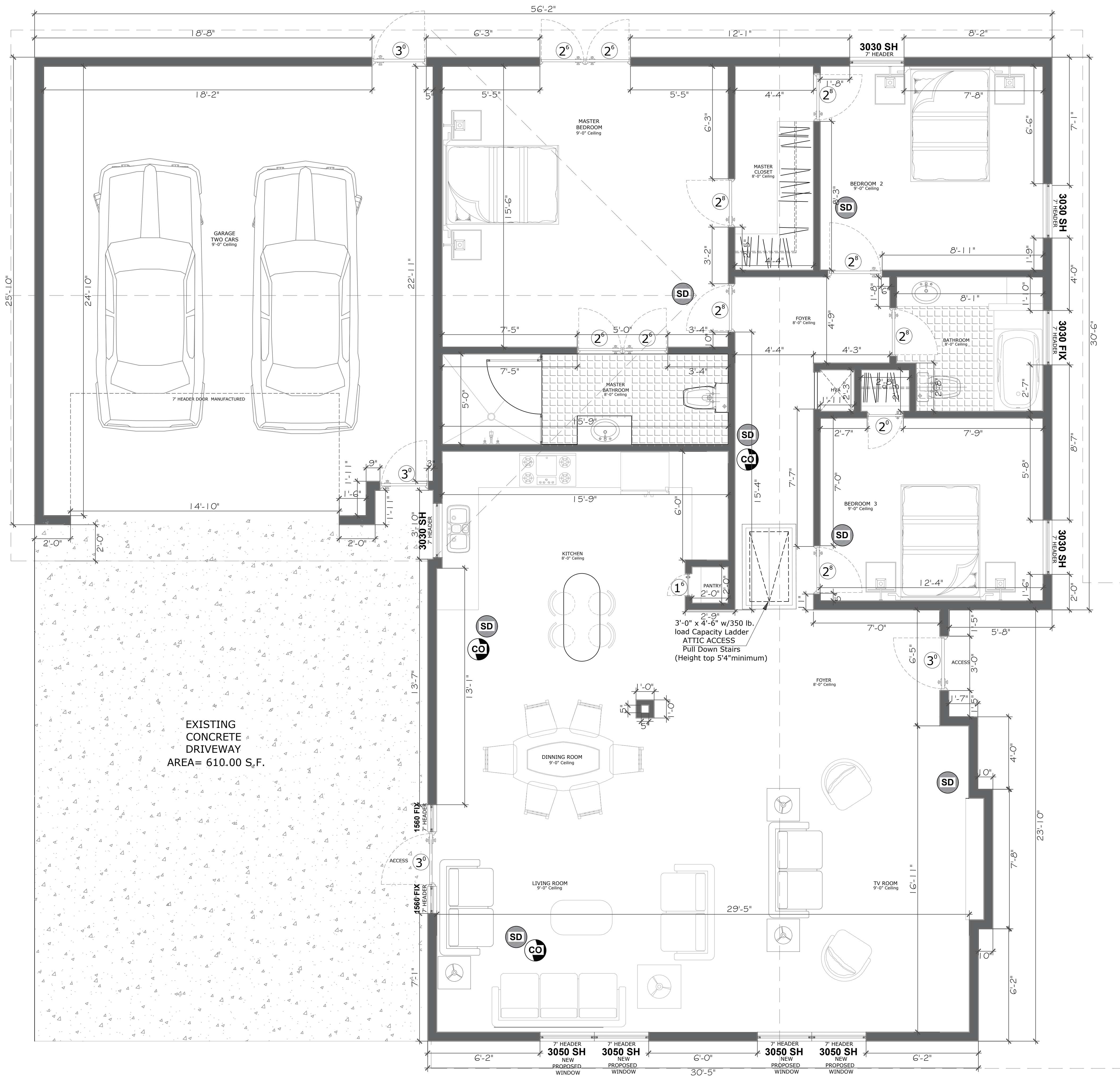


FRONT ELEVATION

Figure 11 - Proposed Front Elevation

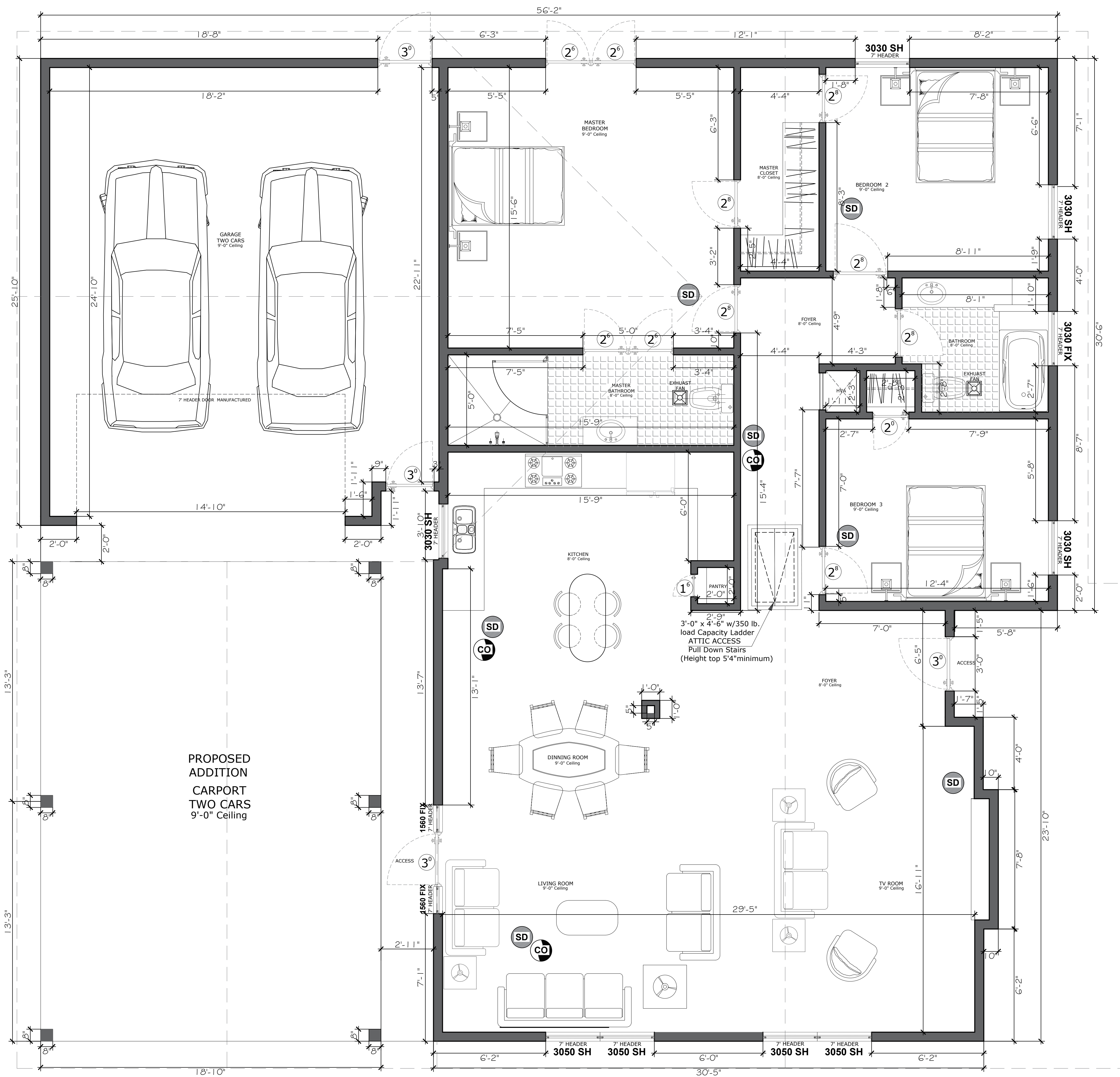
Additionally, eave braces were removed.

Please see drawings attached for additional details.



EXISTING
CONCRETE
DRIVEWAY
AREA= 610.00 S.F.

	OWNER:	PROJECT:	DATE:	DRAWN BY:	SHEET NO.:
	ROMERO GERARDO	RESIDENTIAL HOME REPAIR & ADDITION	12/10/2022	ACHIE	A1
	832 394 9301	8322 GLENLOCH DR HOUSTON TX. 77061			
					SCALE: 1/8" = 1'



PROPOSED
ADDITION
CARPORT
TWO CARS
9'-0" Ceiling

3'-0" x 4'-6" w/350 lb.
load Capacity Ladder
ATTIC ACCESS
Pull Down Stairs
(Height top 5'4" minimum)

	OWNER:	PROJECT:	SHEET NO.	
	ROMERO GERARDO	RESIDENTIAL HOME REPAIR & ADDITION	A4	
	DATE:	DATE:	BY:	SCALE:
	12/10/2022	12/10/2022	ACHIEVE	1/8" = 1'



GRAFIC SYMBOLS	
110 VOLT RECEPTACLE	TELEVISION ANTENNA
WATERPROOF RECEPTACLE	GAS OUTLET
CLG. 110 VOLT IN CLG.	HOSE BIB
GFI 110 VOLT W GROUND FAULT INTERRUPTOR	EXHAUST VENT
FLR. 110 VOLT IN FLOOR	TELEPHONE OUTLET
220 VOLT RECEPTACLE	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIM DIMMER SWITCH
	PUSH BUTTON
	SMOKE DETECTOR
	CARBON MONOXIDE ALARM
	THERMOSTAT
	CHIMES
	CEILING MOUNTED LIGHT FIXTURE
	HANGING LIGHT
	RECESSED CAN LIGHT
	WATERPROOF RECESSED CAN LIGHT
	RECESSED EYEBALL SPOT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	PORCELAIN FIXTURE W/ PULL CORD
	FLOOD LIGHTS
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN W/ HEAT LAMP
	EXHAUST FAN W/ HEAT LAMP & LT.
	CEILING FAN
	CEILING FAN W/ LIGHT
	CEILING LIGHT W/ FUTURE FAN
	2X4' FLUORESCENT LIGHT

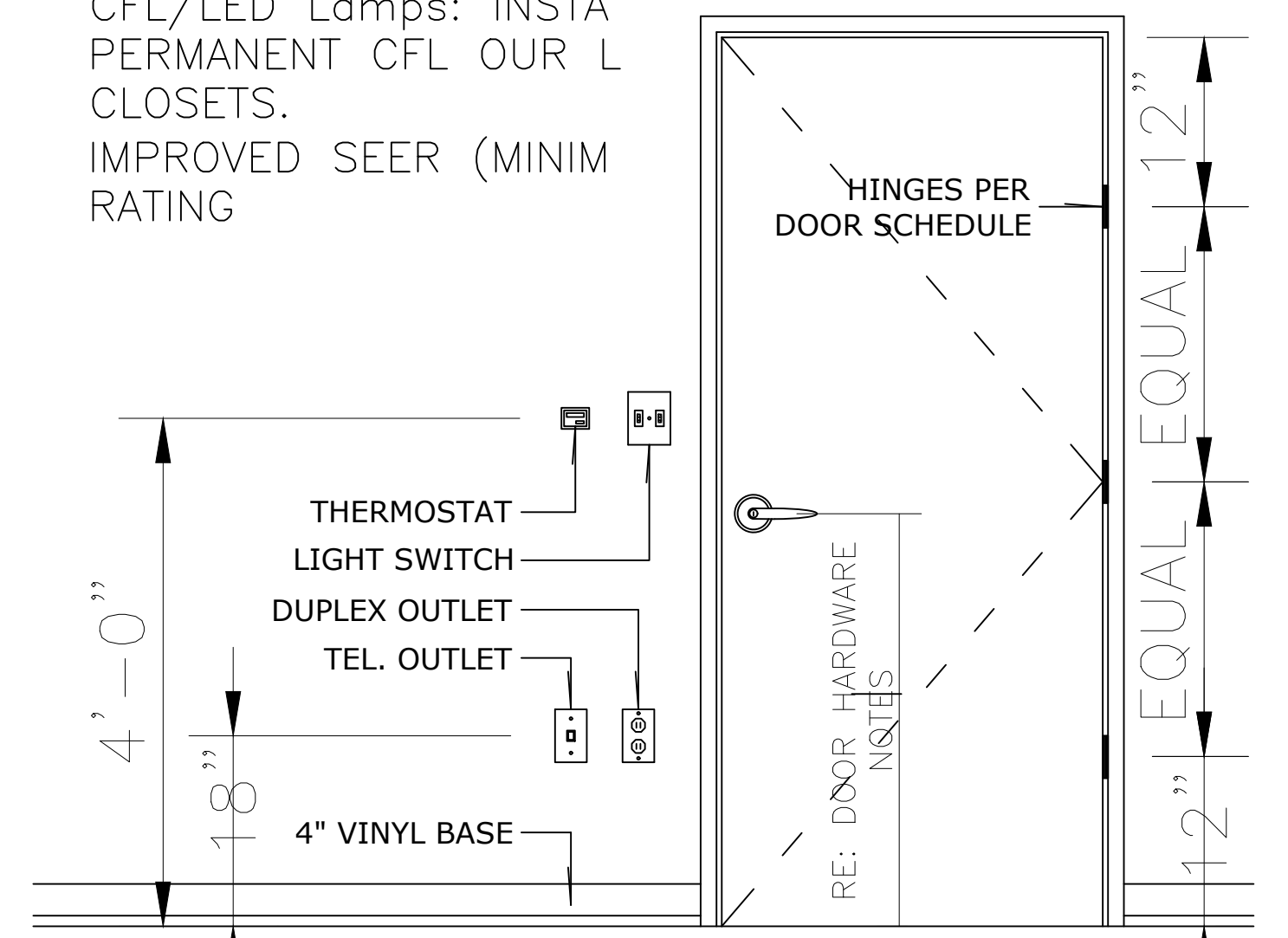
SD CO

For construction, an ap carbon monoxide alarm installed outside of each separa in the immediate vicini- bedrooms in dwelling u fuel-fired appliances a and in dwelling units the attached garages.

NOTE:
ALL SMOKE DETECTORS WILL BE HARDWIRED, INTERCONNECTED AND BATTERY BACK UP

NOTE 1
THE SMOCK DETECTOR INTERCONNECTED, AND IRC R317.1.OF IRC 2015

CFL/LED Lamps: INSTA PERMANENT CFL OUR L CLOSETS.
IMPROVED SEER (MINIM RATING



1 DOOR SCHEDULE

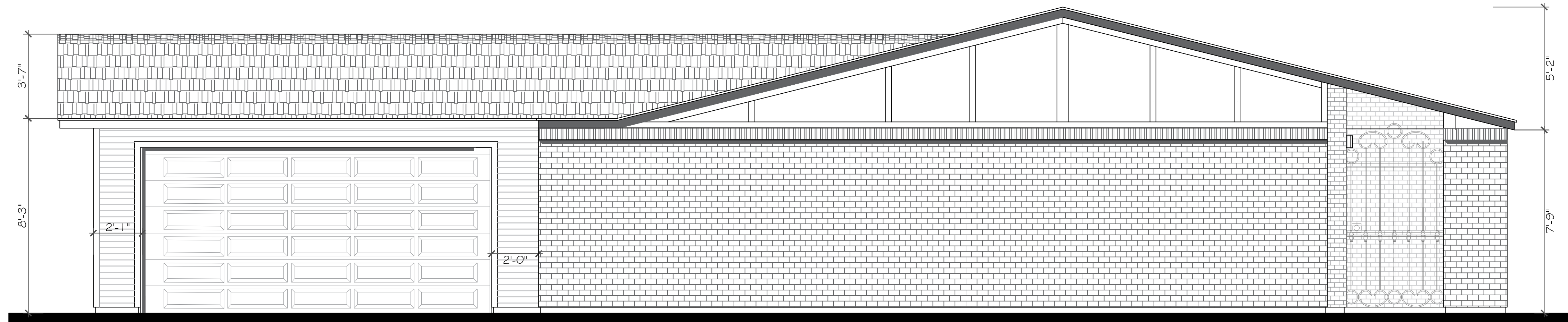
not/scale

ELECTRICAL NOTES

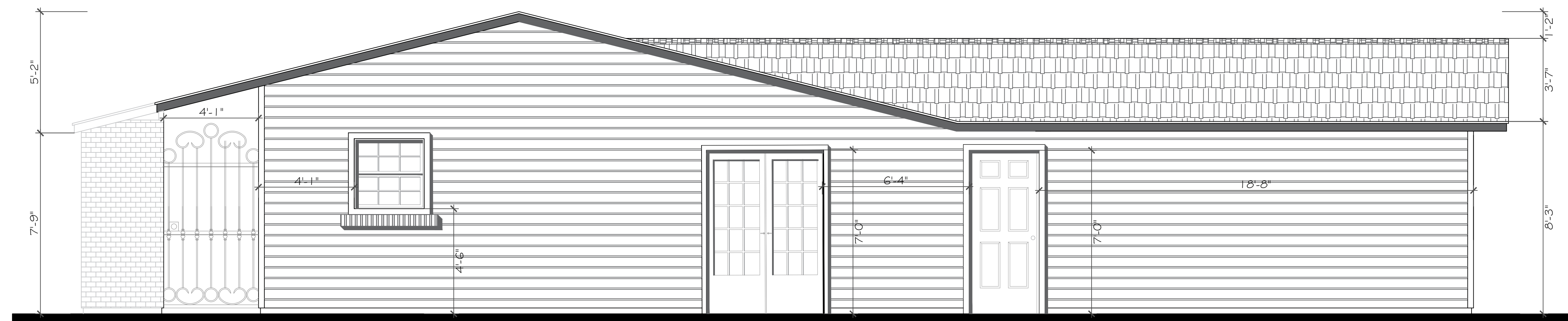
- ALL INSTALLATIONS TO BE IN ACCORDANCE WITH LOCAL CODES AND THE NATIONAL ELECTRICAL CODE NEC-2020
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED ELECTRICAL PERMITS AND INSPECTIONS.
- CONVENIENCE OUTLETS TO BE MOUNTED @ 12" A.F.F. UNLESS NOTED OTHERWISE.
- OUTLETS MOUNTED ABOVE CABINETS OT BE 8" ABOVE THE NOMINAL WORKING SURFACE, SPECIALTY OUTLETS AS NOTED OR ACCORDING TO STANDARD PRACTICE.
- REFRIGERATOR AND APPLIANCES OUTLETS TO BE @ 44" A.F.F.
- BATHROOM OUTLETS SHALL BE GFI AND MOUNTED @ 44" A.F.F. OR 8" ABOVE COUNTER (IF HIGHER THAN STD. 2'-8").
- ALL OUTLETS WITHIN 6' OF WET AREA TO BE GFI.
- MICROWAVE OUTLETS SHALL BE 20 AMP. SEPARATE RECEPTACLE @ 78" A.F.F.
- SWITCH BOXES TO BE MOUNTED @ 54" A.F.F. TO CENTER LINE OF BOX OR CLUSTER OF BOXES.
- ATTIC LIGHT SWITCH BOX MOUNTED @ 84" A.F.F.
- ATTIC LIGHT TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS.
- WASHER TO HAVE SEPARATE 20 AMP. DUPLEX OUTLET @ 44" A.F.F.
- DRYER TO HAVE SEPARATE 220V 30 AMP. SINGLE OUTLET @ 44" A.F.F.
- OUTLETS IN GARAGE TO BE GFI UNLESS NOTED FOR APPLIANCE.
- ALL EXTERIOR OUTLETS TO BE GFI AND WEATHER PROTECTED.
- TELEPHONE OUTLETS: PROVIDE BOX (MOUNT TYP. @ 12" A.F.F. OR 8" ABOVE COUNTER UNLESS NOTED OTHERWISE), COVER PLATE, 6/C WIRE, TERMINATE NEAR PANEL.
- CABLE OUTLETS: PROVIDE BOX (MOUNT TYP. @ 12" A.F.F. OR 8" ABOVE COUNTER UNLESS NOTED OTHERWISE), COVER PLATE, RGV6 WIRE, TERMINATE NEAR PANEL.

PROPOSED ADDITION
CARPORT
TWO CARS
9'-0" Ceiling

	OWNER:	PROJECT:	DATE:	E1
	ROMERO GERARDO 832-394-0201	RESIDENTIAL HOME REPAIR & ADDITION	10/10/2022	
TELS: (979) 750 1442 5600 NW CENTRAL DR SUITE 272 HOUSTON TX 77092	(832) 774 5596 HOUSTON TX 77092	ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061	PROJECT: 00000000	SCALE: 1/8" = 1'

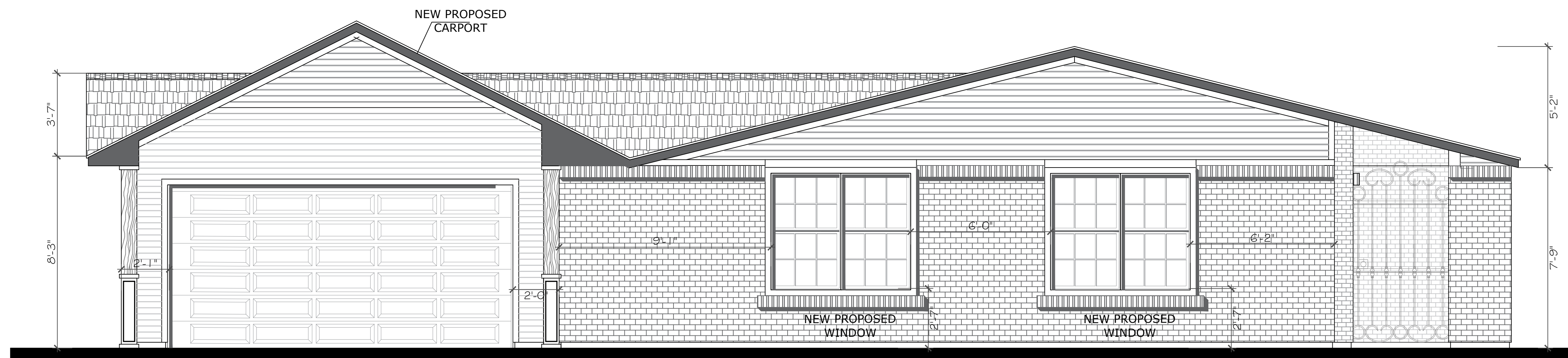


FRONT ELEVATION



REAR ELEVATION

	PLAN NAME: ELEVATION PLAN ACTUAL CONDITION	SHEET NO.: A2
	OWNER: ROMERO GERARDO	PROJECT: RESIDENTIAL HOME REPAIR & ADDITION
ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061	SCALE: 1/8" = 1'	PROJECT: 00000000



FRONT ELEVATION

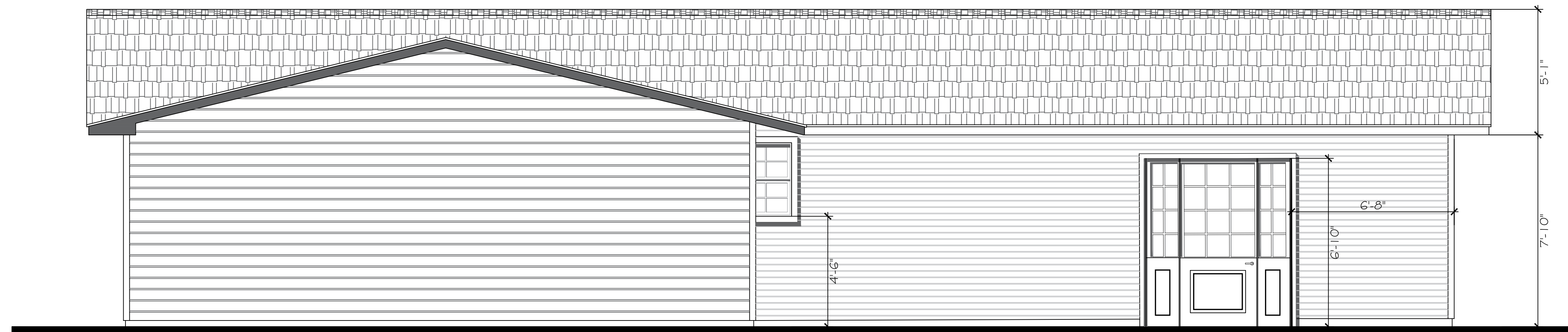


REAR ELEVATION

	PLAN NAME: ELEVATION PLAN w/ PROPOSED CARPORT ADDITION	SHEET NO.: A5
	PROJECT: RESIDENTIAL HOME REPAIR & ADDITION	OWNER: ROMERO GERARDO
ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061	SCALE: 1/8" = 1'	PROJECT: 00000000



LEFT ELEVATION

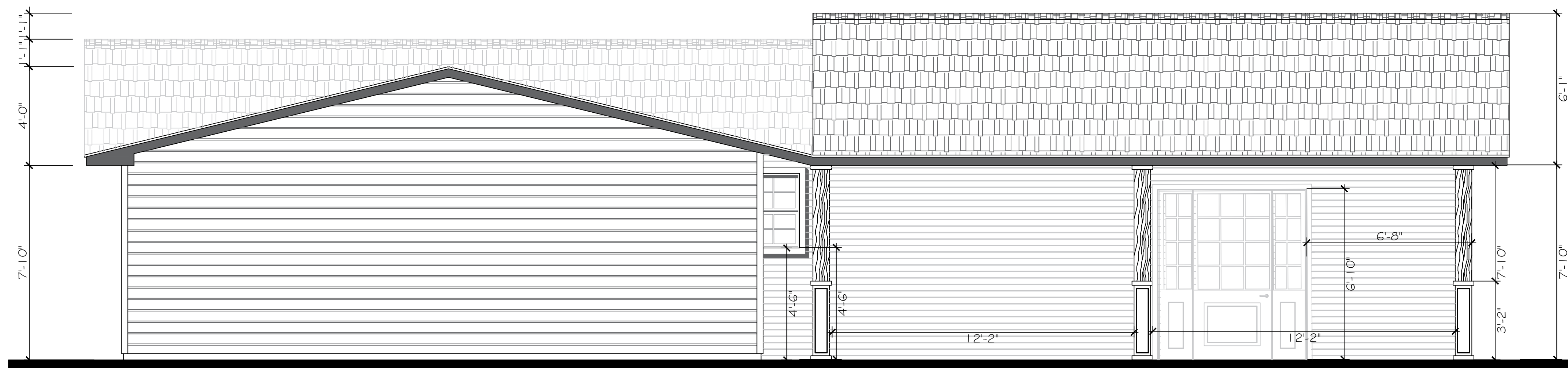


RIGTH ELEVATION

	PLAN NAME: ELEVATION PLAN ACTUAL CONDITION	SHEET NO.: A3
	PROJECT: RESIDENTIAL HOME REPAIR & ADDITION	OWNER: ROMERO GERARDO
ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061	SCALE: 1/8" = 1'	PROJECT: 00000000



LEFT ELEVATION



RIGHT ELEVATION

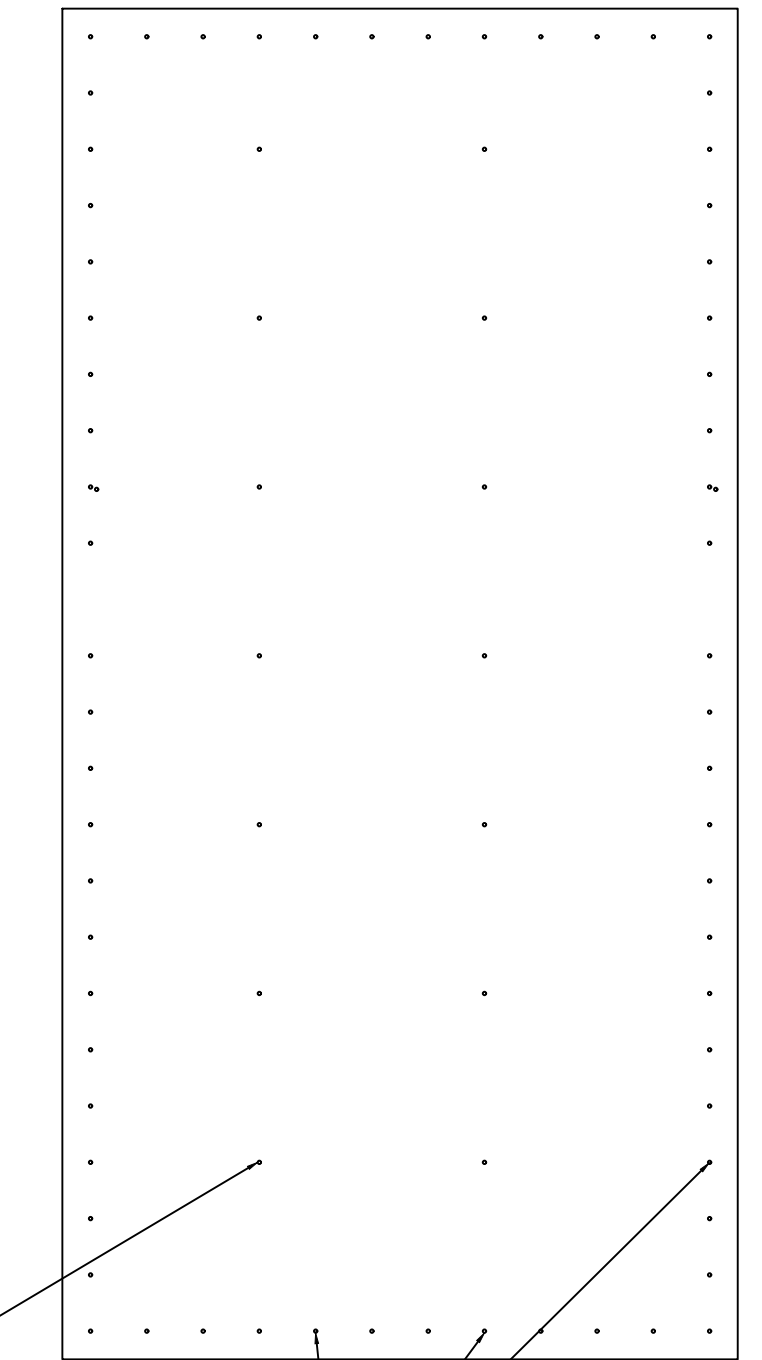
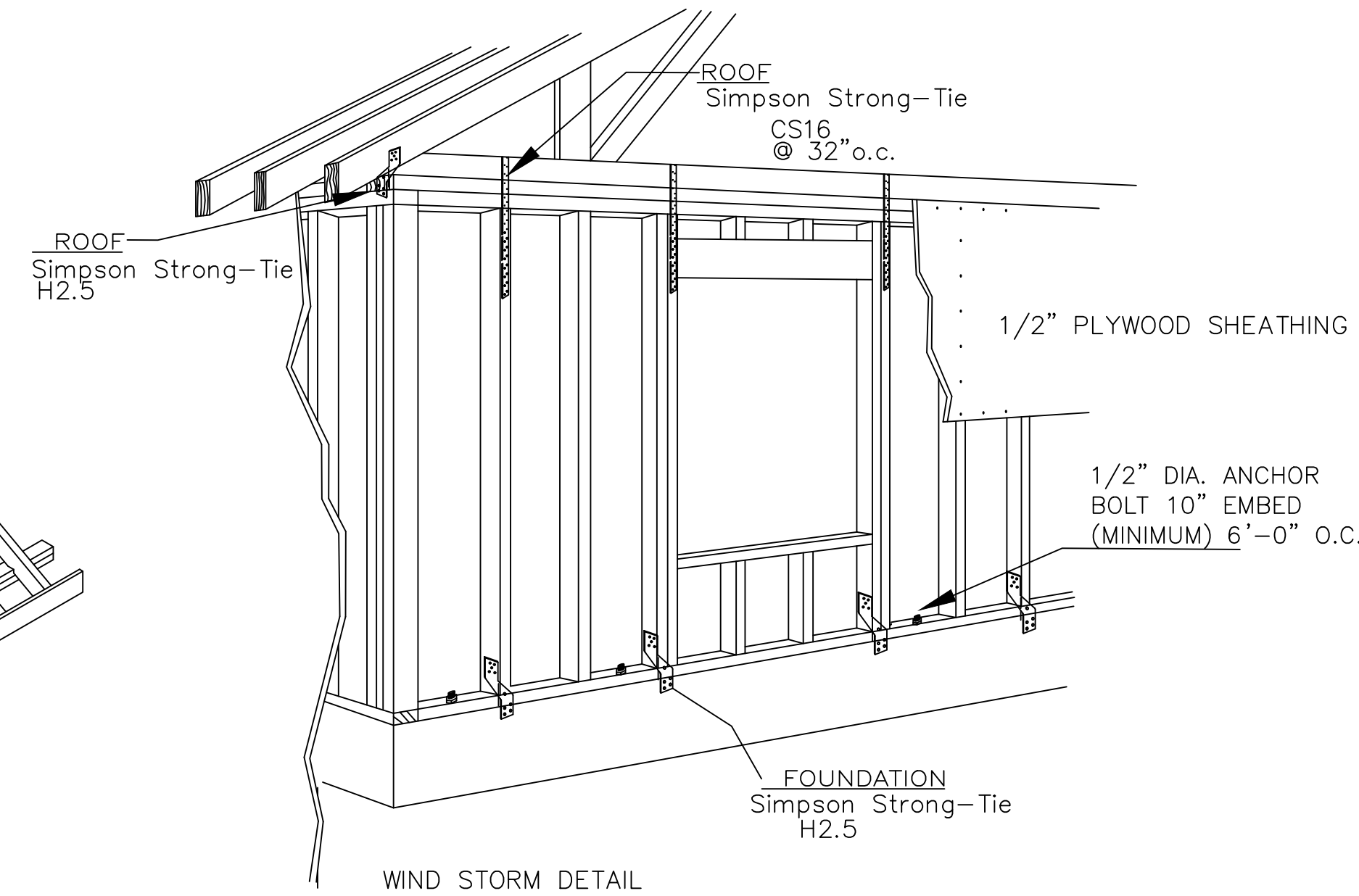
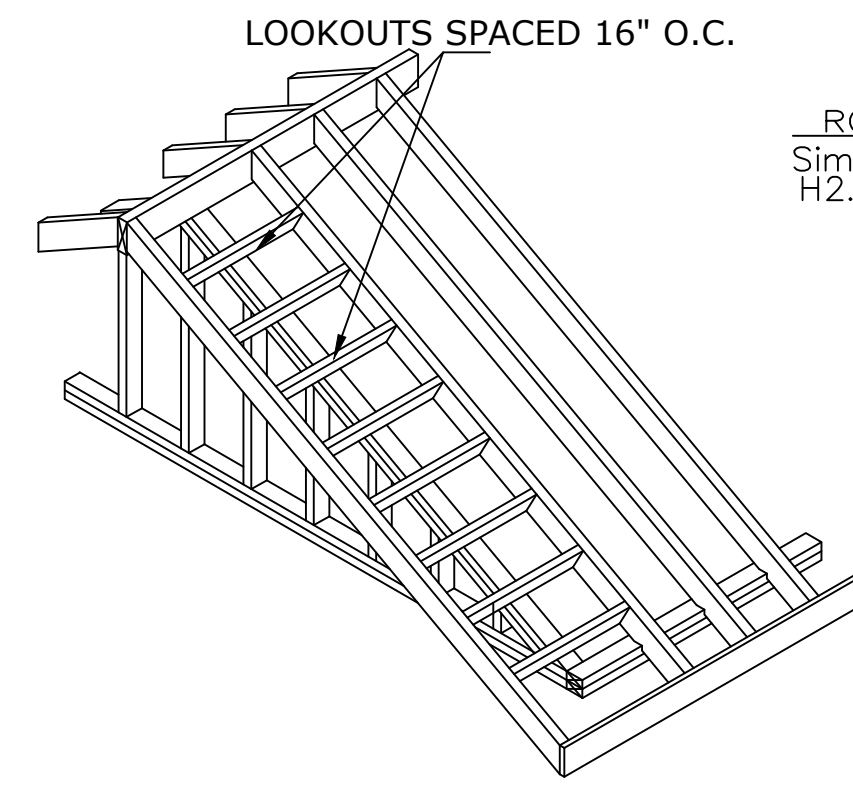
	PLAN NAME: ELEVATION PLAN w/ PROPOSED CARPORT ADDITION	SHEET NO.: A6
	PROJECT: RESIDENTIAL HOME REPAIR & ADDITION	OWNER: ROMERO GERARDO
ADDRESS: 8322 GLENLOCH DR HOUSTON TX. 77061	SCALE: 1/8" = 1'	PROJECT: 00000000

General Notes:

1. All work to be done as per the applicable Building Codes 2015 IRC, 2015 IFC, 2015 IECC and 2020 NEC.
2. Water resist gyp. board (full hgt.), @ shower, tub, and walls subject to water splash.
3. Tub and shower, if not fiber glass, shall be tiled to 70" above drain inlet.
4. Glazing in shower, tub enclosure, & door, shall be impact resistant (tempered).
5. Provide access panels @ plumbing walls, especially tub walls.
6. For installation of AHU see contractor.
7. All exhaust fans must be vented to the outside.
8. Provide G.F.I. where shown as per National Electrical Code.

9. Gas installations and appliances are to be consistent with applicable codes and manufacturer's specifications.
10. Hot water heater to be installed in mechanical room upstairs, and is to include metal pan with drain to the outside.
11. Fire box is to be installed as per 2015 I.F.C. Standard, and manufacturer's specifications are to be posted @ job site.
12. All exterior finishes shall be water resistant.
13. All french doors shall have safety (tempered).
14. At all guardrails and balustrade, can not have glass.

15. Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent Standard, and manufacturer's specifications are to surface. Such wall surfaces shall extend to a height of not less than 6 feet [1829mm] above the floor.
16. Attic access appliances (catwalk) M1305.1.3 2012 IRC Amendments provide an unobstructed passage-way not more than 20 feet in length when measured along the centerline of the passage way from the opening to the appliance with the minimum headroom height of 30 inches and a minimum width of 30 inches. Attic access appliance (clearance) M1305.1.3 2015 Amendments a level surface space at least 30 inches deep and 30 inches wide shall be present along all any passage at any point for a 4" sphere or larger.

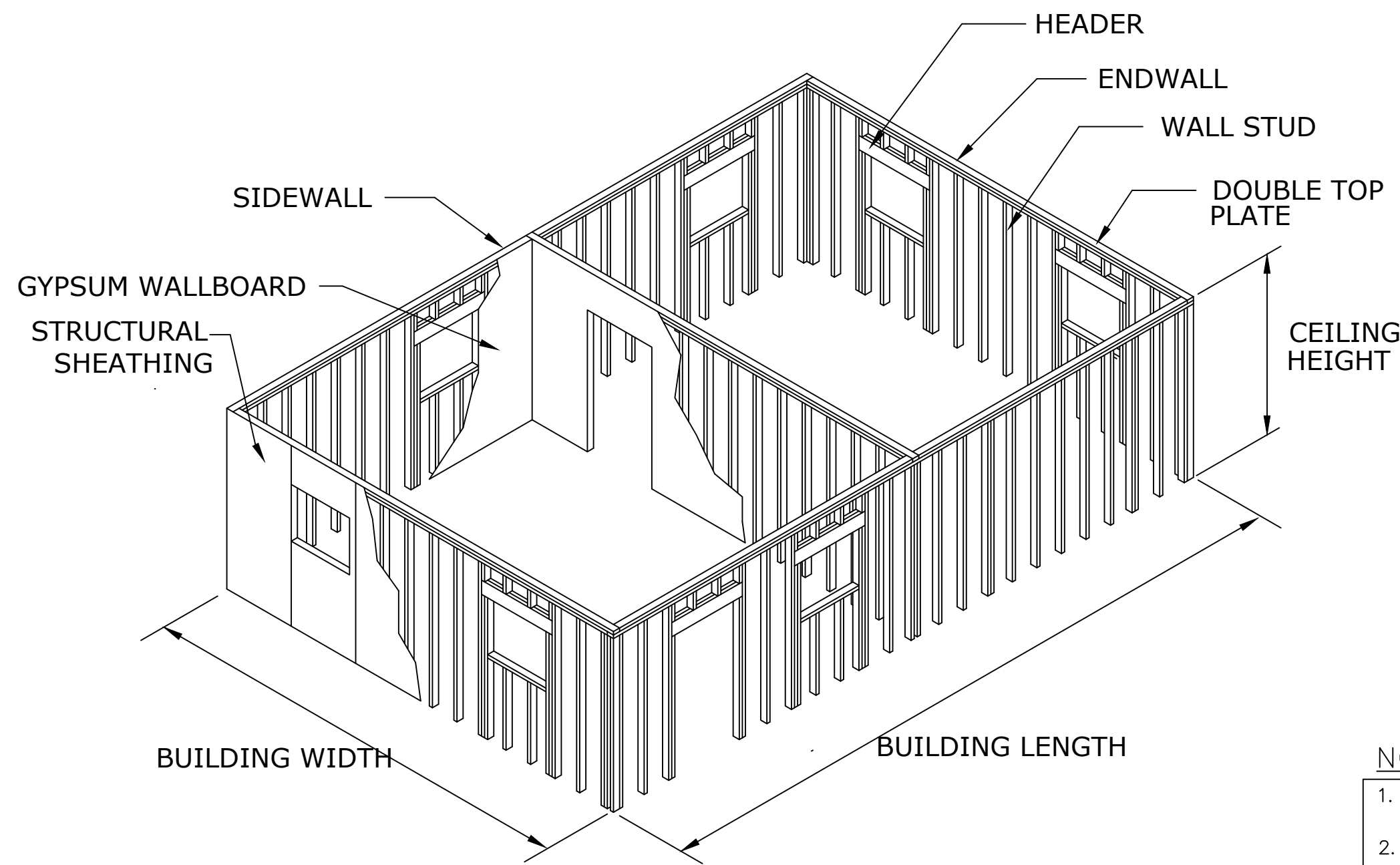


8d NAILS @12" O.C. ON PLYWOOD.

8d NAILS @4" O.C. ON PLYWOOD.

NOTE:

- COORDINATE THIS DRAWING WITH ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCY TO ARCHITECT/ENGINEER.
 - VERIFY ALL RECESS WITH ARCH. DRAWINGS.
 - ALL PIPES PENETRATING GRADE BEAM MUST BE SLEEVED.
 - REFER ARCH. PLANS FOR DROP LOCATION AND DEPTH.
- SIMPSON HOLDOWN HDU8.



USE LIVE LOAD

USE	LIVE LOAD
ATTICS W/ LIMITED STORAGE	20
ATTIC W/O STORAGE	10
DECKS	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	200i
GUARDRAILS IN-FILL COMPONENTS	50i
PASSENGER VEHICLE GARAGES	50a
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40c

- SITE OBSERVATIONS ARE REQUIRED FOR ALL PEIR WORK, FOUNDATION MAKE-UP AND COMPLETED FRAMING. THE USE OF THESE DRAWINGS SIGNIFIES THE OWNER/CONTRACTOR'S SHALL NOT BE LIABLE FOR ANY CONSTRUCTION THAT HAS NOT BEEN OBSERVED AND APPROVED IN WRITTING BY CONSULTING ENGINEERS, INC. IN ABSCENCE OF SUCH SITE OBSERVATION AND APPROVAL, CONSULTING ENGINEERS MAKES NO PRESENTATIONS OF SUITABILITY, EXPRESS OR IMPLIED, WITH REFERENCE TO THESE DRAWINGS.
- OWNER/CONTRACTOR AGREES TO INDEMNIFY AND HOLD HARMLESS CONSULTING ENGINEERS, FOR ALL DAMAGES, COSTS AND ATTORNEY'S FEES THAT CONSULTING ENGINEERS, MAY INCUR AS A RESULT OF ANY LITIGATION ARISING OUT OF THIS PROJECT IF CONSULTING ENGINEERS, INC. HAS NOT REVIEWED THE CONSTRUCTION WORK AND APPROVED IT. IN CHOOSING TO BUILD WITHOUT THIS SITE OBSERVATION AND APPROVAL, OWNER/CONTRACTOR AGREES THAT HE/THEY DESIRE TO LIMIT EXPENSE AND HE/THEY HAVE MADE AN INFORMED BUSINESS DECISION TO BE TOTALLY RESPONSIBLE FOR SAID CONSTRUCTION.

NOTES:

1. ALL EXTERIOR CORNER WALLS SHALL HAVE A MINIMUM OF ONE LAYER OF 1/2" PLYWOOD SHEATHING (STRUCTURAL GRADE) WITH 8d NAILS @ 4" o.c.
2. SEE DETAIL No. 2/S-2 FOR SHEAR WALLS. PROVIDE THE SHEATHING/NAILING PATTERN AS INDICATED ON THESE DRAWINGS.
3. 1/2" DRYWALL WITH 5d COOLER NAILS @ 7" o.c. AT EDGES PROVIDE THIS AS STANDARD CONSTRUCTION FOR BOTH SIDES OF ALL INTERIOR STUD WALLS.
4. PROVIDE BLOCKING AT ALL SHEATHING EDGES. PROVIDE DOUBLE STUDS w/ SIMPSON HD5A, HTT22 (OR EQUAL) AT EACH END OF THE SHEAR WALL.
5. PROVIDE 1/2" ANCHOR BOLTS @ 4'-0" MAX. OR AT LEAST 2 BOLTS IN THE MIDDLE OF EACH SHEAR WALL.
6. PROVIDE CONTINUOUS HURRICANE CLIPS FROM ROOF TO FOUNDATION AS REQUIRED BY LOCAL BUILDING CODE, AND AS SHOWN IN DETAIL #5/S-5.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

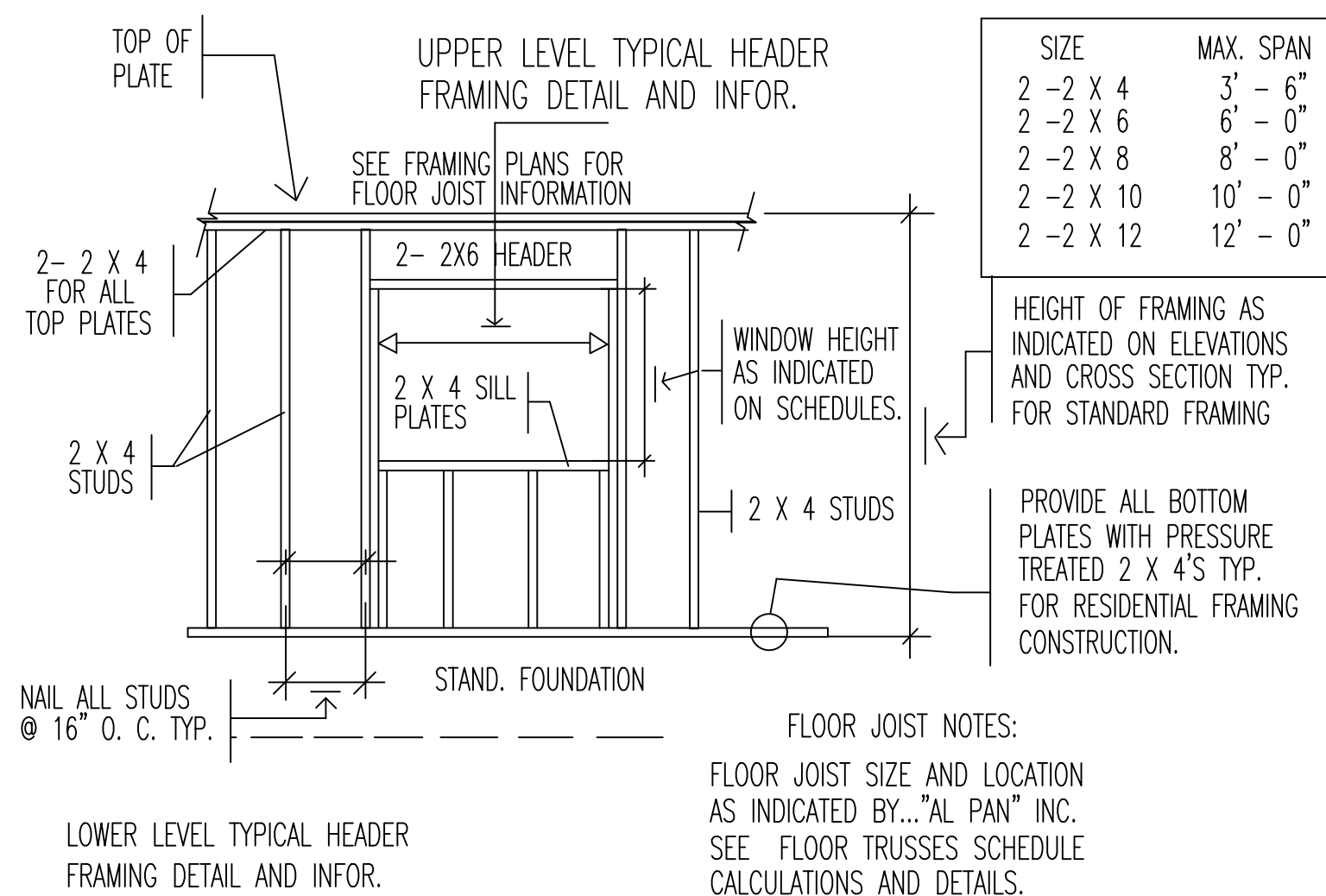
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & SEPTIC	CRAWL SPACE WALL R-VALUE
2	0.40	0	0.25	38	13	3/4	13	0	0	0

INSULATION & FENESTRATION REQUIREMENTS

CLIMA ZONE	FENESTRATION U-FACTOR	FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
2	0.40 (MAX)	0.25 (MAX)	38 (MIN)	13 (MIN)

NOTES AND DETAILS

SCALE: 1/2" = 1'-0"



WIND STORM NOTES:

1. RAFTER HURRICANE TIES- CONNECT ALTERNATE RAFTERS TO SUPPORTS WITH SIMPSON H2.5 HURRICANE TIE
2. ALIGN OPPOSING RAFTERS @ RIDGE AND CONNECT WITH SIMPSON LSTA STRAPS TIE WITH 10-10d NAILS (5 EA. SIDE)
3. ROOF BRACING- 2 X 6 PURLIN WITH 2 X 4 BRACE @ 48" O.C. TO BEAM OR WALL BELOW
4. CEILING JOIST- SYP. # 2 2 X 8 @ 16" O.C. U.N.O.
5. ALL BEAM CONNECTIONS SIMPSON HGB OR HGLT
6. PROVIDE FULL BEARING UNDER BEAMS CONTINUOUSLY TO FOUNDATION
7. DL- 5 PSF LL 10 PSF UNIFORM DIST. LOAD FROM WALL ABOVE #/LF POINT LOAD FROM WALL OR COLUMN ABOVE # ALL NON LOAD BEARING TRUSSES @ 120 #/LF MIN. PLUS LOAD FROM WALL ABOVE ALL FLUSH BEAM CONNECTIONS SIMPSON HGB OR HGLT ALL FLUSH STEEL TO STEEL BEAMS CONNECTIONS 2- L 4" X 4" X 1/4" X 9" WITH 6- 3/4" @ A307 BOLTS

ROOF AND FLOOR ANCHORAGE AT EXTERIOR WALLS

BASIC WIND SPEED (MPH) x 1.61 FOR KPH	LOCATION	NUMBER OF NAILS		
		B	C	D
137	ROOF TO WALL	10-10d	12-10d	12-10d
	FLOOR TO FLOOR	8-10d	10-10d	10-10d
	FLOOR TO FOUNDATION	6-10d	8-10d	8-10d

RIDGE TIE-STRAP NAILING

BASIC WIND SPEED (MPH) x 1.61 FOR KPH	NUMBER OF NAILS		
	B	C	D
137	12-10d	14-10d	16-10d



PLAN NAME: GENERAL NOTES PLAN
 PROJECT: RESIDENTIAL HOME REPAIR & ADDITION
 OWNER: ROMERO GERARDO
 8322 GLENLOCH DR HOUSTON TX. 77061

SHEET NO. G1
 DATE: 10/10/2022
 DRAWN BY: JACQUE
 SCALE: 1/8" = 1'