

CERTIFICATE OF APPROPRIATENESS

- Application Date:** January 23, 2022
- Applicant:** Gordon Stenger, owner / Jose Ramirez, agent
- Property:** 515 Columbia St, Lot 9, Block 287, Houston Heights Subdivision. The property includes a historic 820 square foot, one-story wood frame single-family residence and a detached garage situated on a 6,600 square foot (50' x 132') interior lot.
- Significance:** Contributing Gable-front Cottage residence, constructed circa 1910, located in the Houston Heights South historic district.
- Proposal:** Alteration and Addition:
 - Restore the original contributing structure
 - Repair the foundation as needed
 - Restore, repair, and replace (as needed) existing damaged siding
 - Restore, repair, and replace (as needed) existing windows
 - Restore, repair, and replace (as needed) existing doors
 - Construct a 1,965 square foot two-story addition to the rear of the home bringing the total square footage to 2,754.
 - Addition is inset and all 4 original corners shall be preserved
 - Install wood siding at proposed addition
 - Proposed maximum ridge height shall be 26'-9" (approximately)

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with conditions:

The proposed plate height and eave height meet the measurable standards

- 1) Proposed First Floor Plate Height meet 10'-0" measurable standard requirement
- 2) Proposed Eave Height (2 story) meet the 20'-0" measurable standard requirement

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

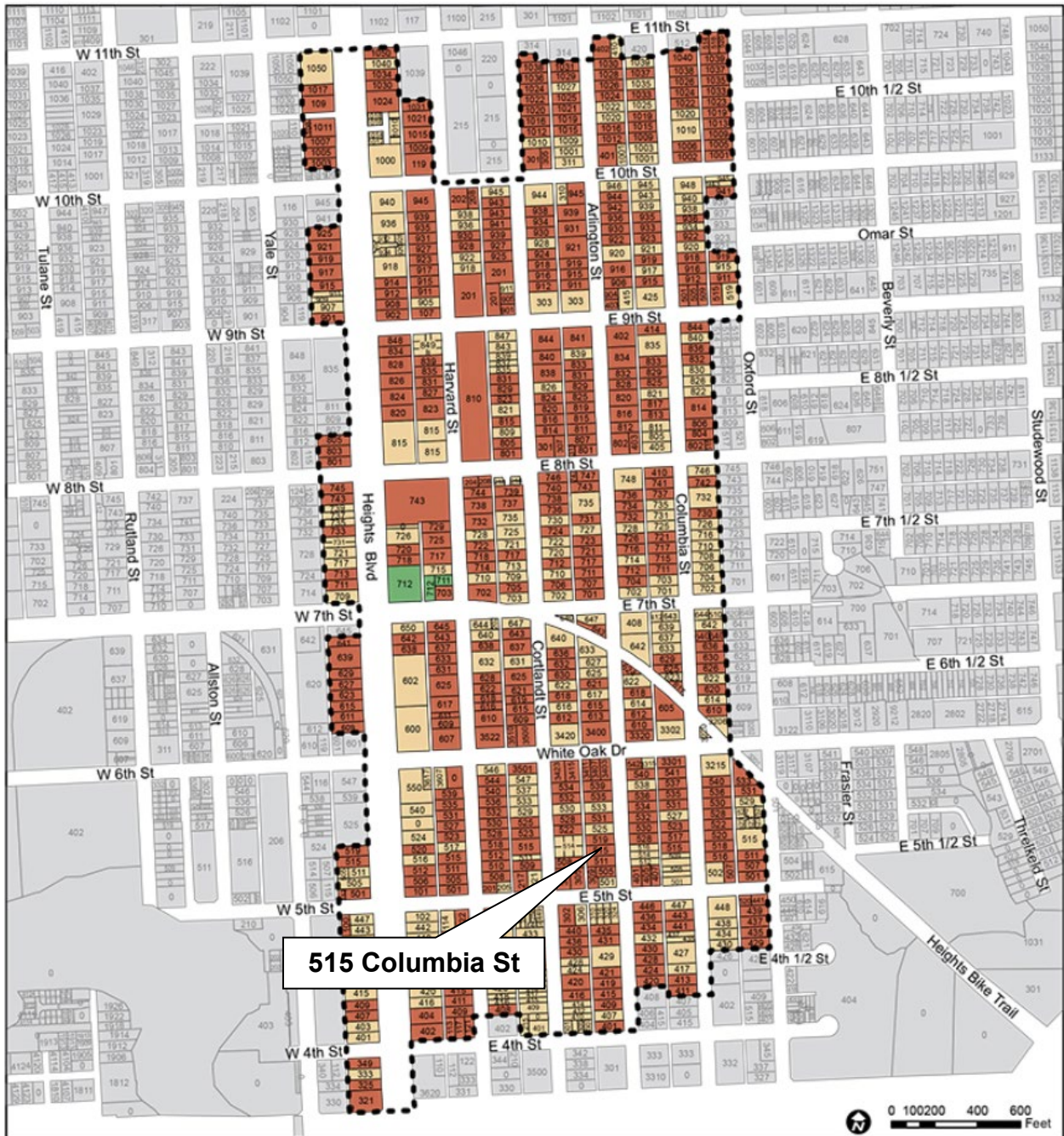
- | S | D | NA | S - satisfies D - does not satisfy NA - not applicable |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |

HEIGHTS DESIGN GUIDELINES

- | | | | |
|--------------------------|-------------------------------------|--------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines. |
|--------------------------|-------------------------------------|--------------------------|---|



PROPERTY LOCATION
HEIGHTS SOUTH HISTORIC DISTRICT



- Contributing
- Non-Contributing
- Park

HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

Maximum Lot Coverage (Addition and New Construction)

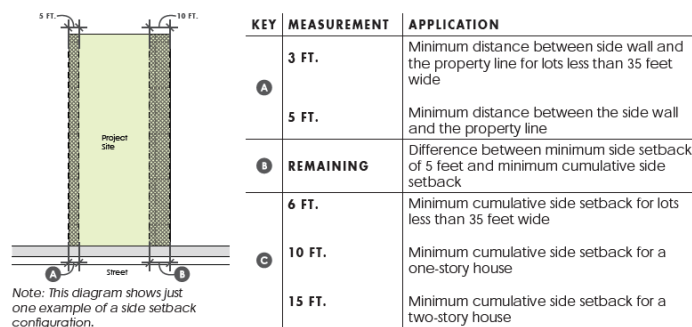
| LOT SIZE | MAXIMUM LOT COVERAGE |
|------------------|----------------------|
| <4000 | .44 (44%) |
| 4000-4999 | .44 (44%) |
| 5000-5999 | .42 (42%) |
| 6000-6999 | .40 (40%) |
| 7000-7999 | .38 (38%) |
| 8000+ | .38 (38%) |

Existing Lot Size: 6,750 sq ft

Proposed Lot Coverage: 2,187 sq ft

Proposed Percentage: Less than 40% (max lot coverage 2,700 sq ft)

Side Setbacks (Addition and New Construction)



Proposed side setback (1): 6'-3" ft

Proposed side setback (2): 23'-4" Ft

Cumulative side setback: 29'-7" ft

Maximum Floor Area Ratio (Addition and New Construction)

| LOT SIZE | MAXIMUM FAR |
|-----------|-------------|
| <4000 | .48 |
| 4000-4999 | .48 |
| 5000-5999 | .46 |
| 6000-6999 | .44 |
| 7000-7999 | .42 |
| 8000+ | .40 |

Existing Lot Size: 6,750 sq ft

Proposed FAR: .44 (2,754 sq ft)

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Side Wall Length and Insets (Addition and New Construction)

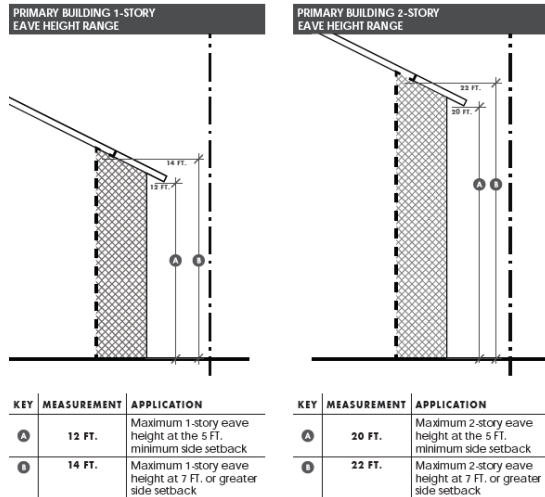
| MEASUREMENT | APPLICATION |
|-------------|---|
| 50 FT. | Maximum side wall length without inset (1-story) |
| 40 FT. | Maximum side wall length without inset (2-story) |
| 1 FT. | Minimum depth of inset section of side wall (1-story) |
| 2 FT. | Minimum depth of inset section of side wall (2-story) |
| 6 FT. | Minimum length of inset section of side wall |

Inset depth: 2'-0"

Inset length: 6'-0"



Eave Height (Addition and New Construction)



Proposed eave height: 20'-10" (2 story)



Building Wall (Plate) Height (Addition and New Construction)

| MEASUREMENT | APPLICATION |
|-------------|---|
| 36 IN. | Maximum finished floor height (as measured at the front of the structure) |
| 10 FT. | Maximum first floor plate height |
| 9 FT. | Maximum second floor plate height |

Proposed first floor plate height: 10'-6"

Proposed second floor plate height: 9'-0"

Existing first floor plate height: 10'-6"

The following Measurable Standards do not apply:

- Front Setbacks
- Rear Setbacks (significant distance from rear property line)
- Porch Eave Height
- Front Wall Width and Insets
- Front Porch Width and Depth
- Detached Garage Ridge Height

INVENTORY PHOTOS



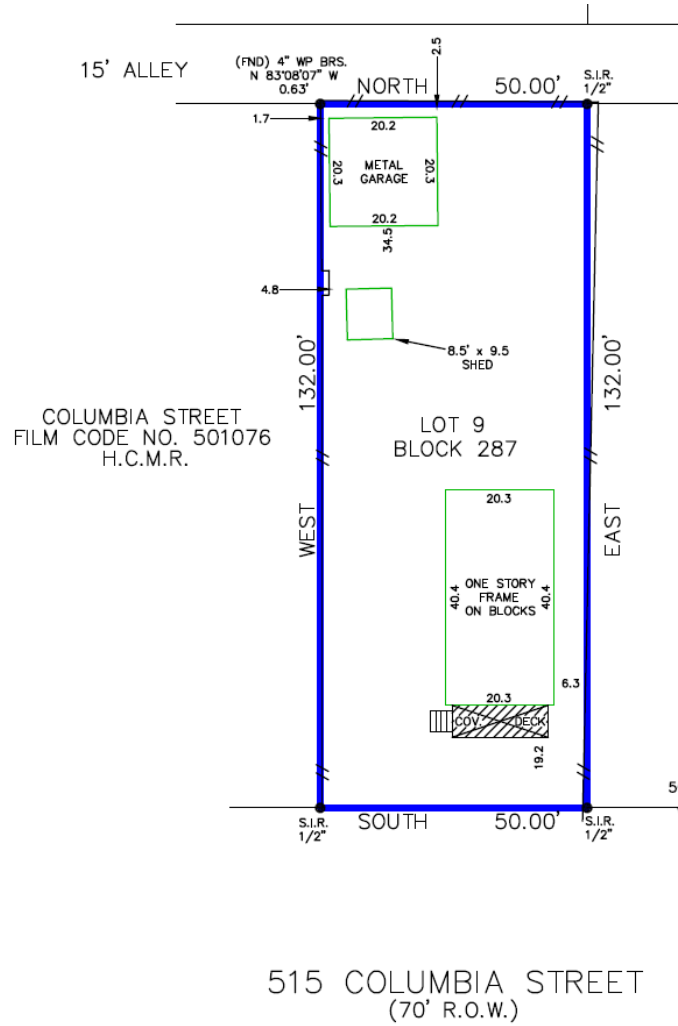
CURRENT PHOTOS





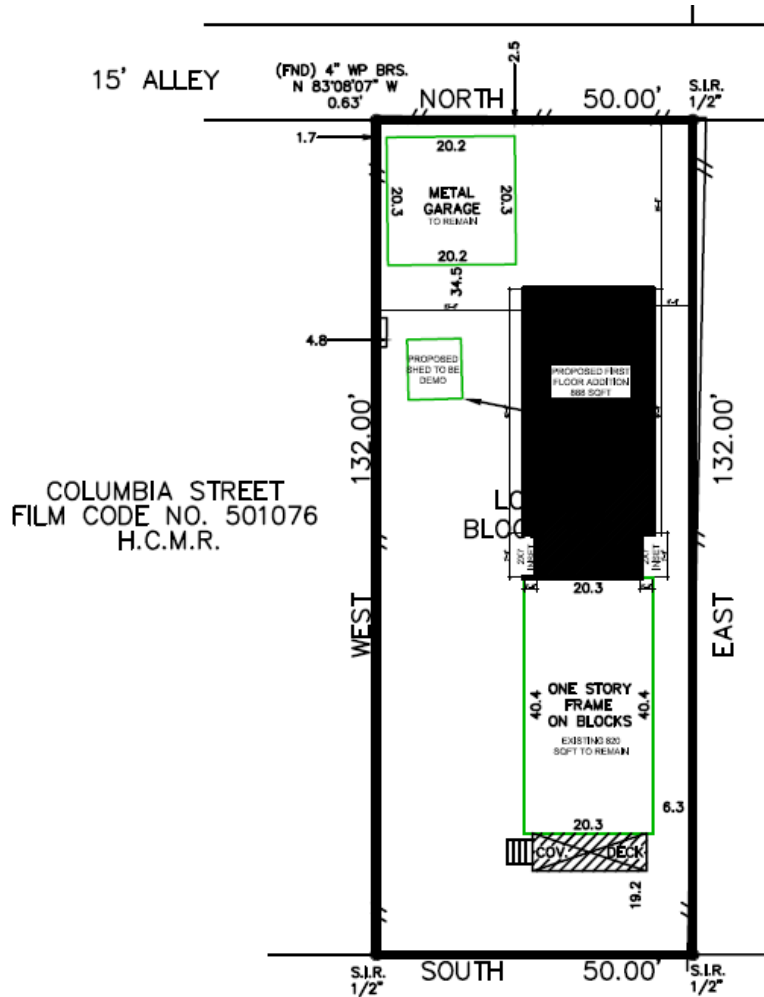


SURVEY
EXISTING



SURVEY

PROPOSED

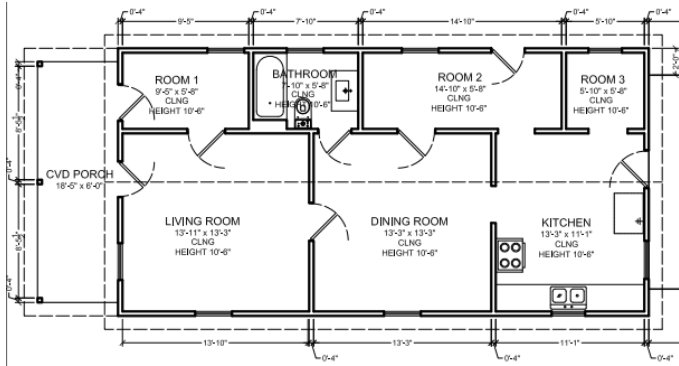


COLUMBIA STREET
FILM CODE NO. 501076
H.C.M.R.

515 COLUMBIA STREET
(70' R.O.W.)

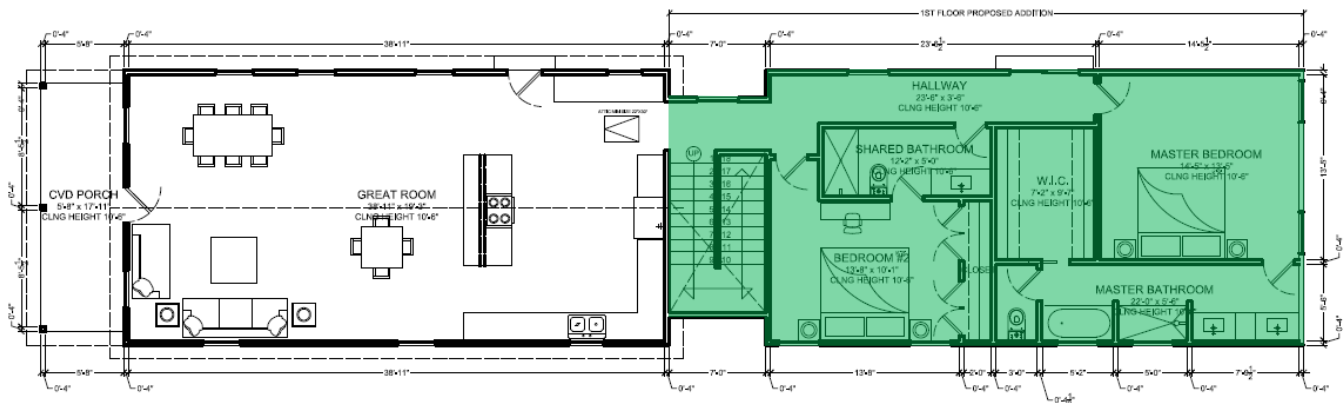
FIRST FLOOR PLAN

EXISTING



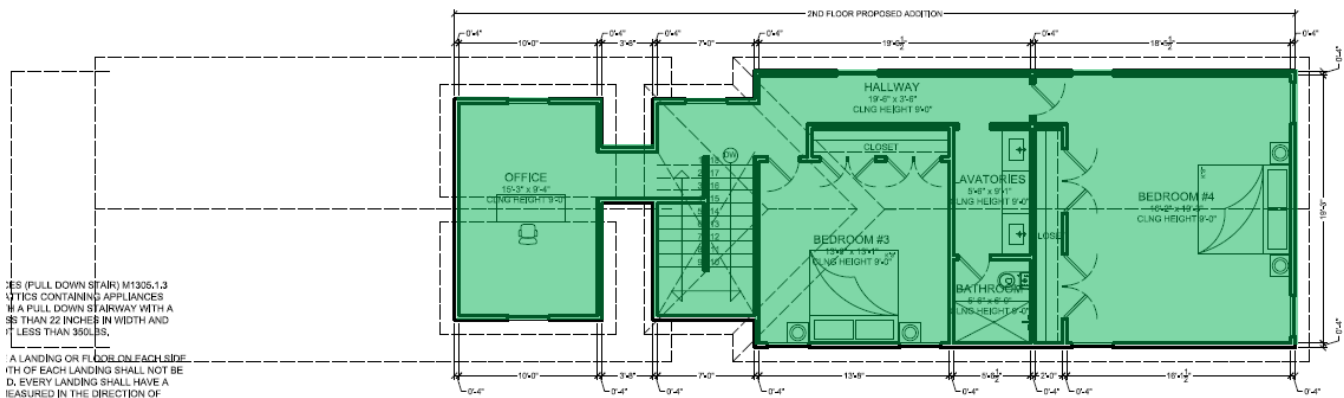
FIRST FLOOR PLAN

PROPOSED



SECOND FLOOR PLAN

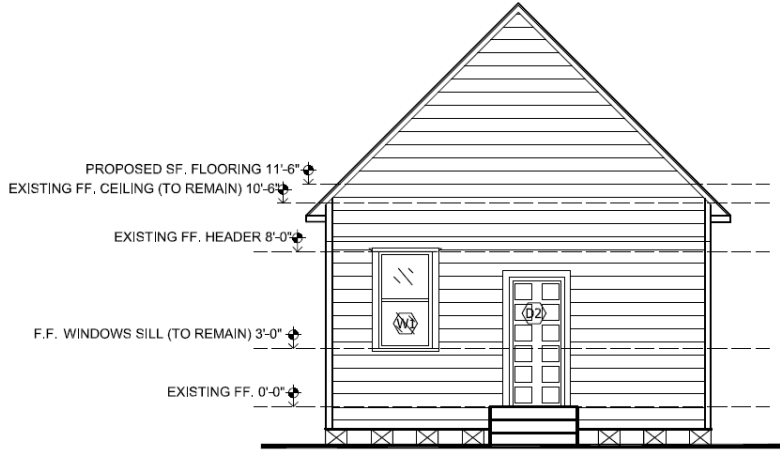
PROPOSED



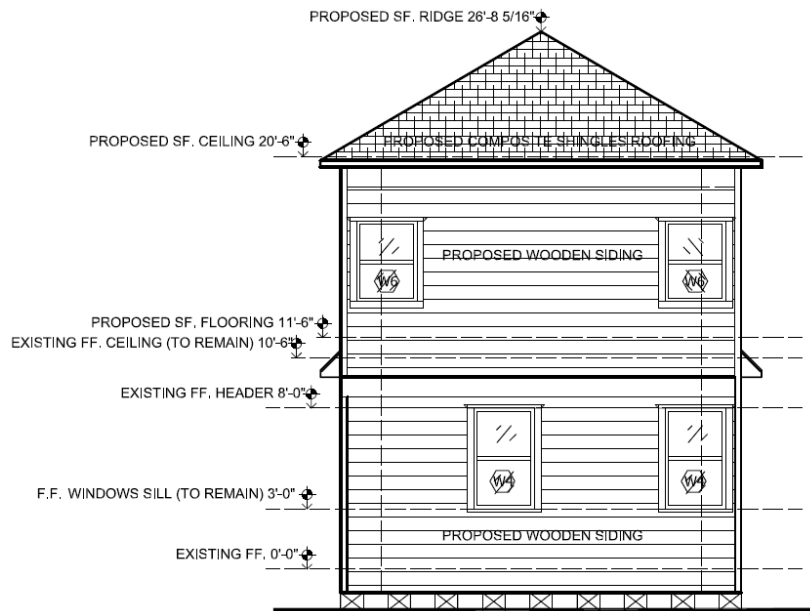
ES (PULL DOWN STAIR) M1305.1.3
 VITICS CONTAINING APPLIANCES
 N/A PULL DOWN STAIRWAY WITH A
 S8 THAN 22 INCHES IN WIDTH AND
 T LESS THAN 350 LBS.
 A LANDING OR FLOOR ON EACH SIDE
 OF EACH LANDING SHALL NOT BE
 D. EVERY LANDING SHALL HAVE A
 MEASURED IN THE DIRECTION OF

EAST ELEVATIONS

EXISTING

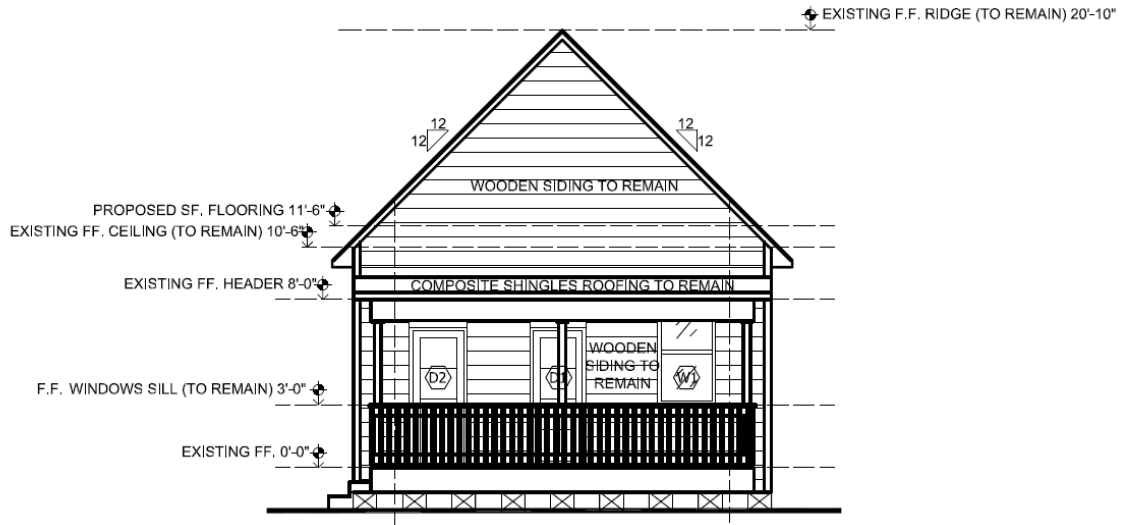


PROPOSED

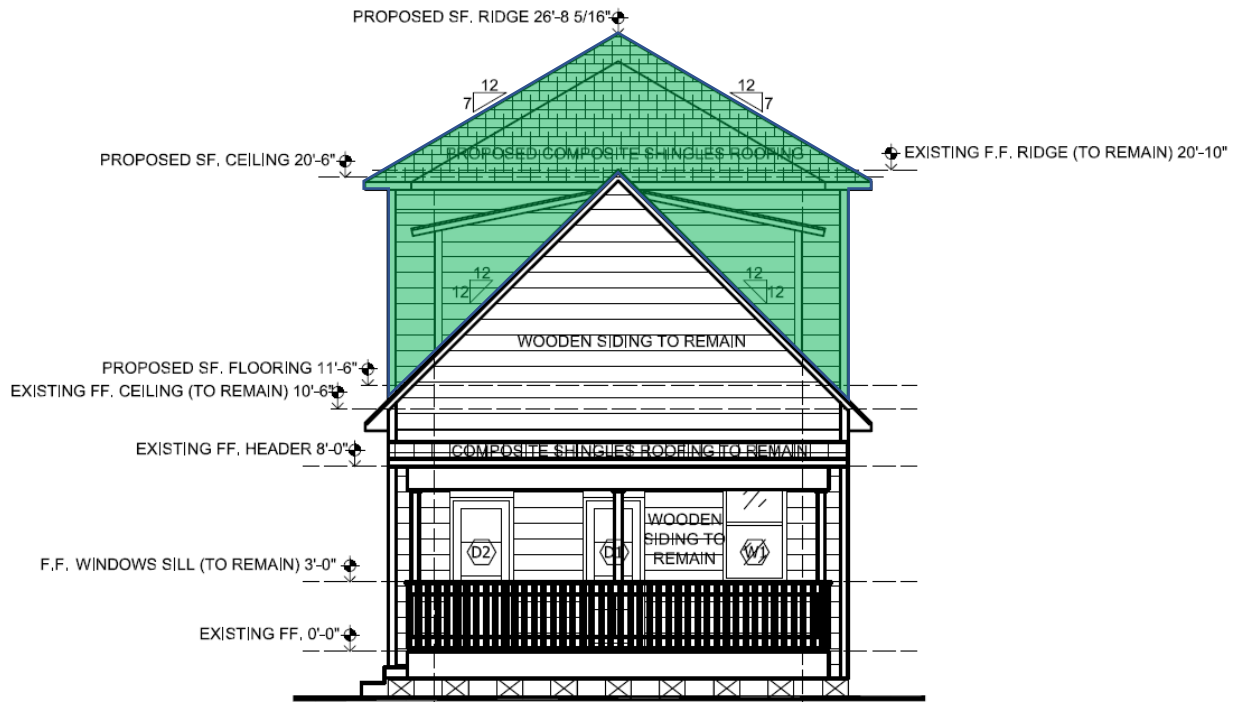


WEST ELEVATIONS

EXISTING

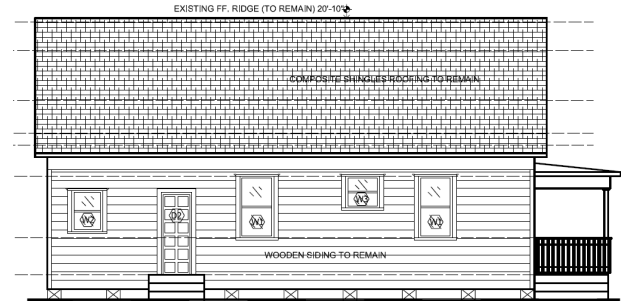


PROPOSED



NORTH ELEVATIONS

EXISTING

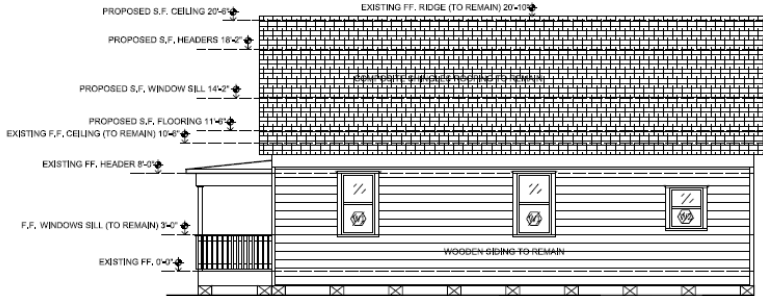


PROPOSED



SOUTH ELEVATIONS

EXISTING



PROPOSED

