

CERTIFICATE OF APPROPRIATENESS

Application Date: January 30, 2022

Applicant: Anthony M. Romanoski, owner

Property: 2010 State Street, Lot 4 & Tract 3A, Block 415, Baker W R NSBB Subdivision. The property is a vacant lot (52' x 100') interior lot.

Significance: Noncontributing vacant lot, located in the Old Sixth Ward Historic District.

Proposal: New Construction

- Construct a 3,896 SF two story structure with an eave height of 27' and a ridge height of 36'5". The proposed structure would be 5' above grade. The city requires structures being built in the 500-year flood plain to be built 2' higher than the plain. Grade at this address is 3' below the 500 year plain, hence the proposed structure's first floor height.
- Please see attachment A for the Elevation Certificate provided by the applicant.
- The front setback is 15' which is the average setback for the structures surrounding the lot.
- The proposed structure would have a composite shingle 8:12 gable roof.
- The structure will be clad in 8.25" smooth hardi plank siding.
- All windows will be inset and recessed.

See enclosed detailed project description and application materials for further details.

Public Comment: Two letters of oppositions, see attachment A.

Civic Association: No public comment received

Recommendation: Approval with conditions:

- The roof on the main structure to have a 6:12 pitch instead of 8:12.
- Change the roof on the porte-cochere to a shed roof.
- Remove the dormer on the west side elevation
- Remove the first dormer on the east side elevation
- Push the porte-cochere to the 5-foot side setback on the east side.

HAHC Action: -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

(1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area.

(2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;

(3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;

(4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

OLD SIXTH WARD DESIGN GUIDELINES

In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



PROPERTY LOCATION
OLD SIXTH WARD HISTORIC DISTRICT



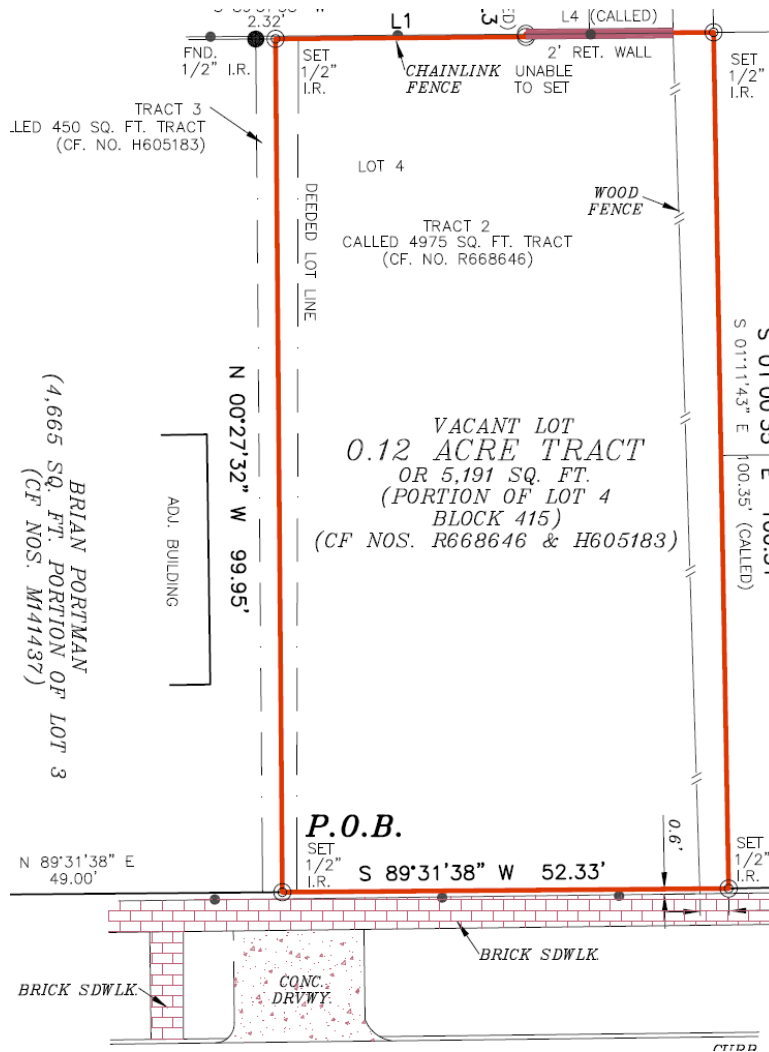
Building Classification

- Contributing
- Non-Contributing
- Park

CURRENT PHOTO



SURVEY



CONTEXT AREA
CONTRIBUTING STRUCTURES IN OSW



Figure 1_2014 State St. _next door neighbor



Figure 2_2016 State St. _neighbor

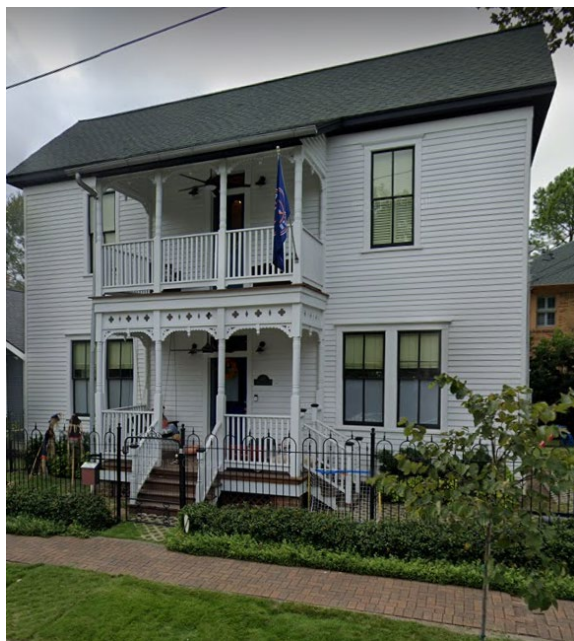


Figure 1_609 White St._ example of contributing tall structures in the context area

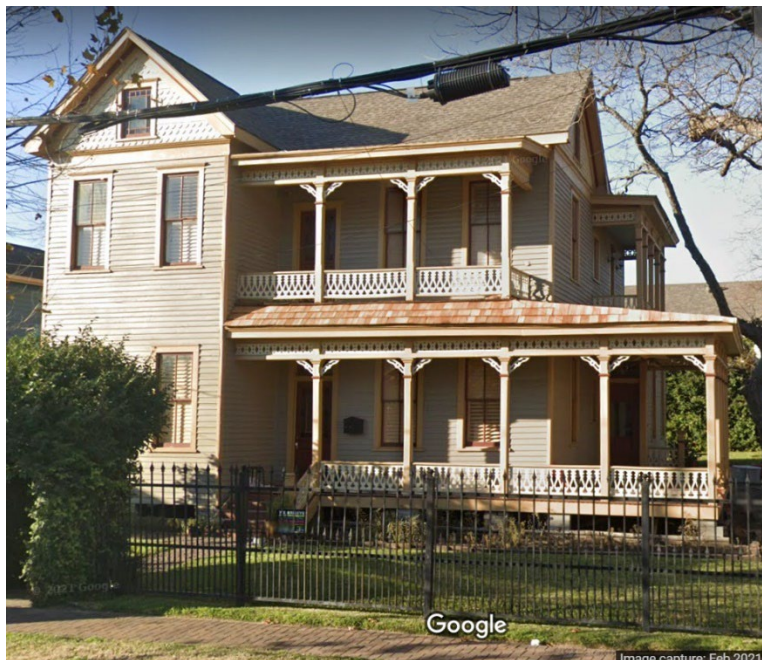


Figure 2_1914 State St._ example of contributing tall structures in the context area



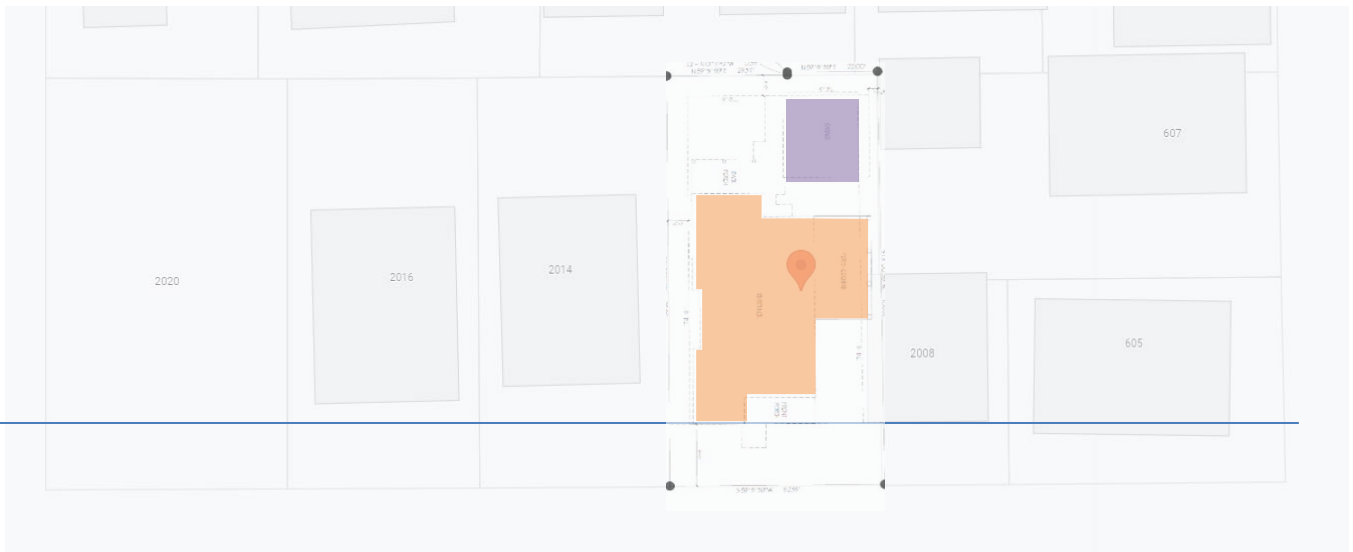
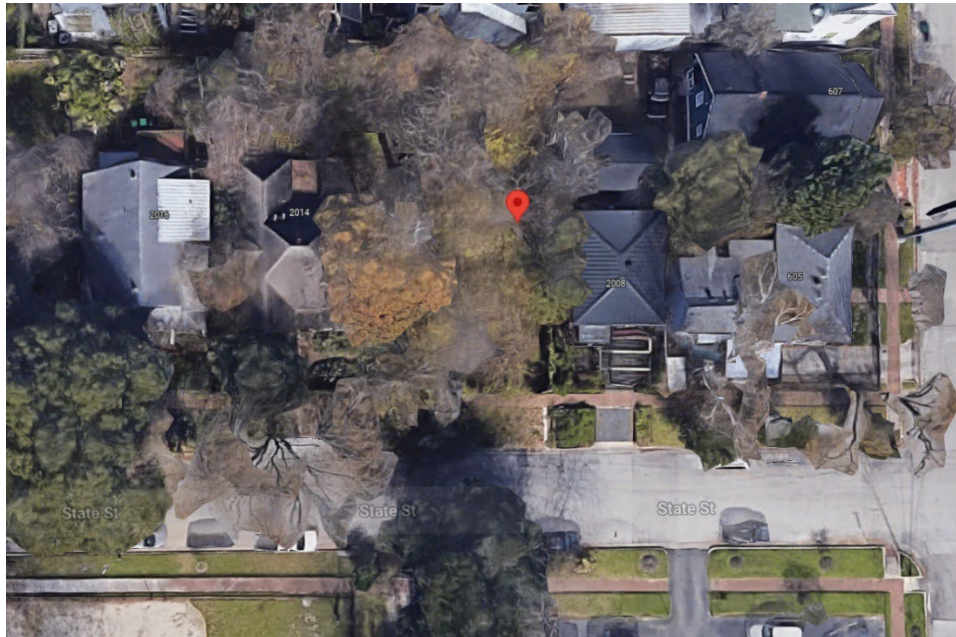
Figure 3- 1718 Lubbock St- example of contributing tall structures in the context area



Figure 4_2018 Kane Street_35'-3" tall



Figure 5_1910 Kane Street



OSW DESIGN GUIDELINES

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3. Height:

An appropriate building height, as with many other characteristics in the District, is determined by the condition existing on the blockface or facing blockface(s). While the specific conditions may vary, the following provisions may be used as a general guideline.

- a. Building height in the District should generally not exceed 2 stories (approximately 27 feet) at the top of the eave board at the side and rear building lines. The height may be increased by one foot for every foot of distance inside of the building line. Occupied space is permitted within the roof structure, provided that the overall building form fits within the recommended envelope defined here.
- b. Dormers comprising less than 10% of the building's footprint area may project above this recommended envelope.

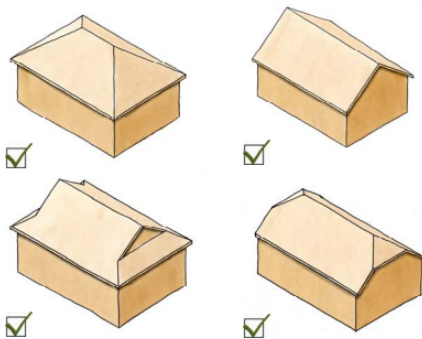
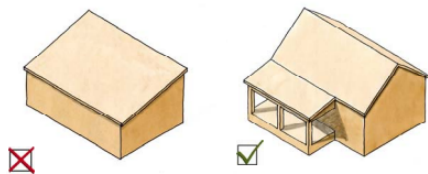


Figure V-4. Appropriate roof forms, clockwise from top left, include hip, gable, truncated gable, and gable-on-hip.



Old Sixth Ward Protected Historic District Design Guidelines

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4. Special Elements:

- a. Front porches are highly recommended for all residential structures. Porches should extend a recommended minimum of 50% of the overall width of the structure, and should be at least 6 feet deep.
- b. Raised foundations. The historic homes in the District were generally built on raised pier and beam foundations, in the typical manner of the time. The finished floor height is usually at least two (2) feet above grade. While the use of pier and beam foundation is not required for new construction, slab on grade must be elevated and detailed to resemble a raised foundation.

Figure V-5. Monopitch or shed roofs should be avoided unless part of a subordinate element.

2. Roof Forms.

- a. Residential buildings should have pitched roofs of simple profiles, generally limited to gabled roofs, hipped roofs, or some combination thereof. Hybrid designs such as a gable-on-hip roof or truncated gable are also acceptable.
- b. Monopitch roofs should be avoided but are permissible when part of a subordinate element or framing into a vertical element.
- c. Roof pitches should be in the range of 6-on-12 to 12-on-12.
- d. Flat roofs are permissible only on storefront, commercial buildings. Flat roofs shall be defined by a parapet along any street-facing elevation.

SOUTH FRONT ELEVATION

PROPOSED

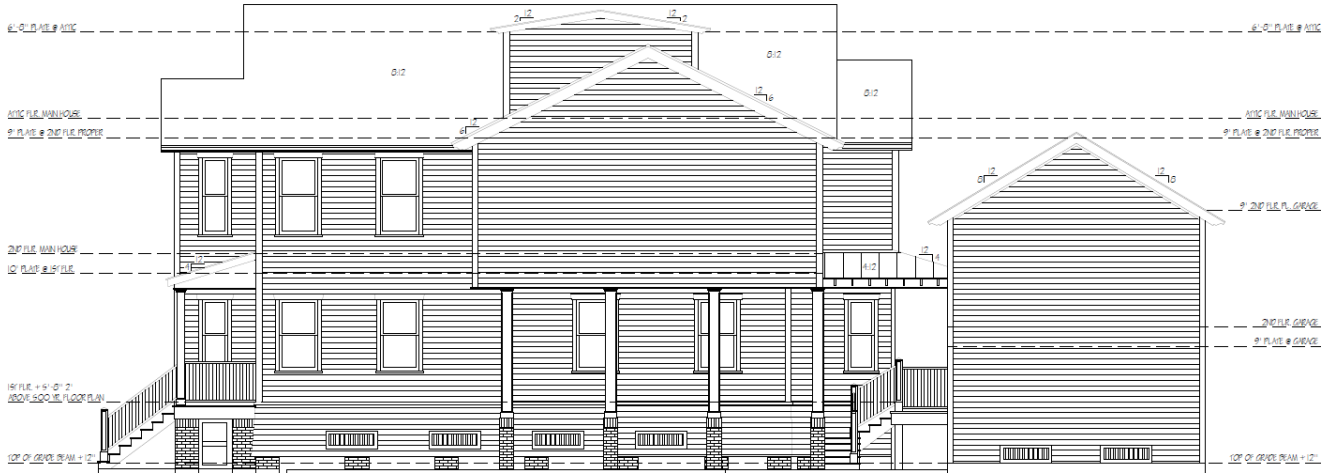


NORTH REAR ELEVATION

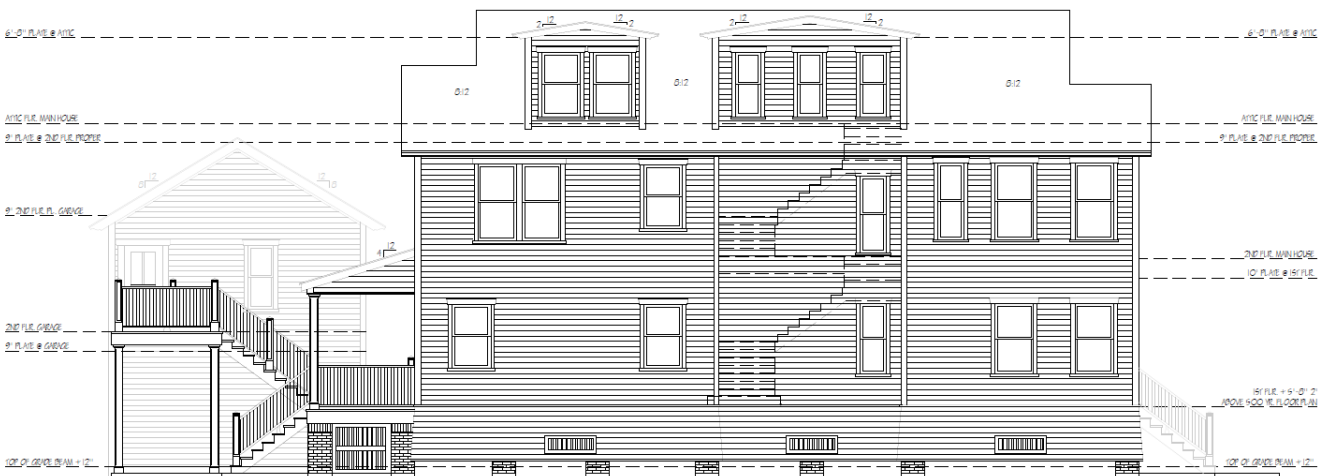
PROPOSED



**WEST SIDE ELEVATION
PROPOSED**

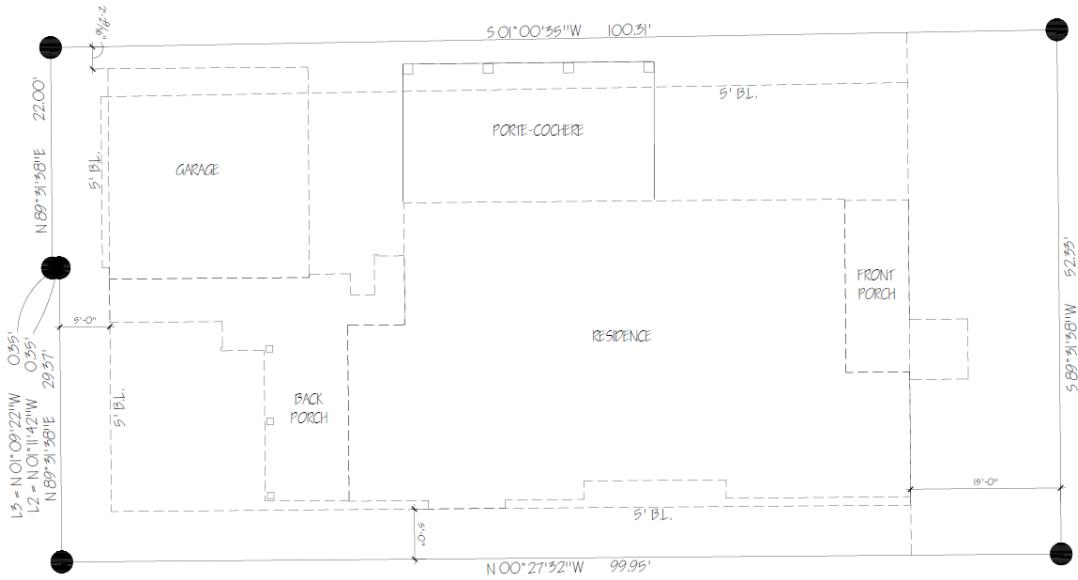


**EAST SIDE ELEVATION
PROPOSED**



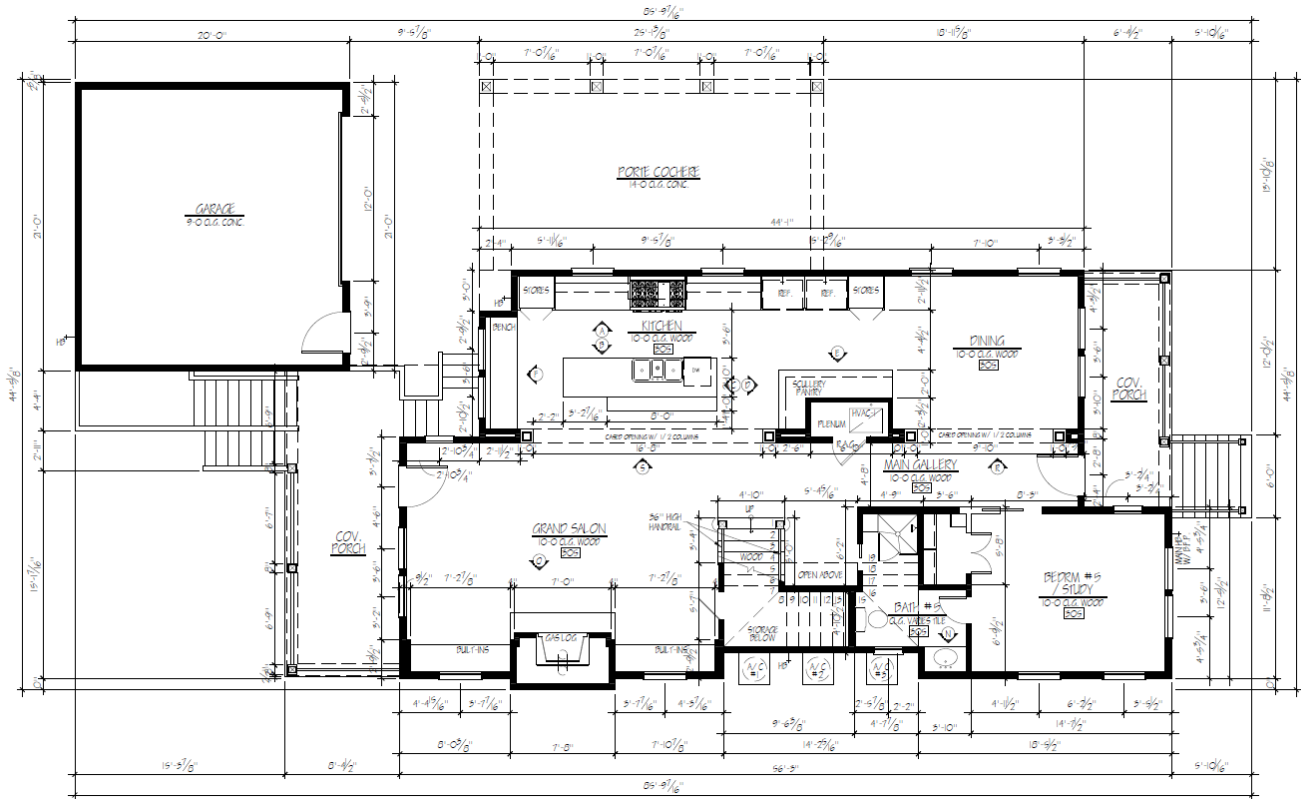


SITE PLAN PROPOSED



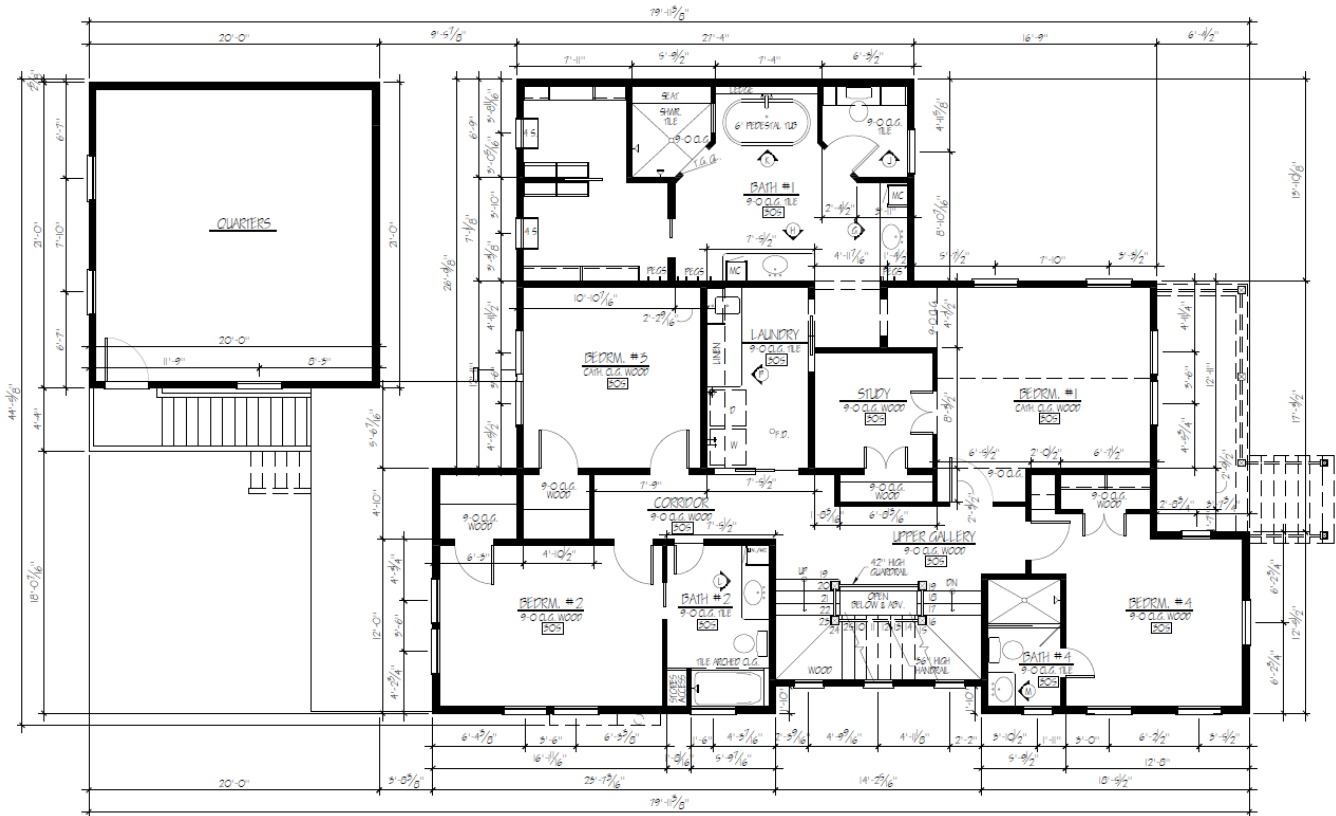
FIRST FLOOR PLAN

PROPOSED



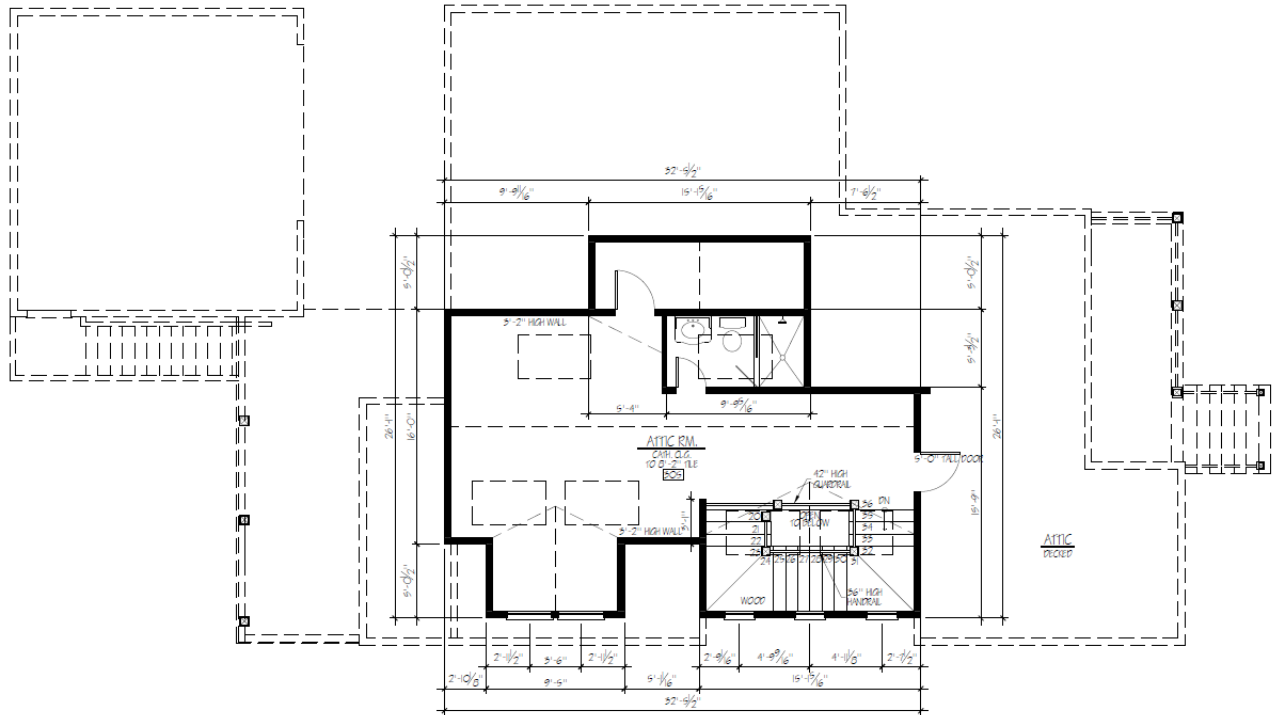
SECOND FLOOR PLAN

PROPOSED



ATTIC FLOOR PLAN

PROPOSED



WINDOW / DOOR SCHEDULE

DOOR SCHEDULE				
SYM	AMOUNT		SIZE	DESCRIPTION
	RH	LH		
①	1	2	3/0 x 9/8 x 1-3/4"	SOLID CORE DOOR
②	--	1	3/6 x 9/8 x 1-3/4"	LOW. MECH. DOOR
③	2	--	3/6 x 9/8 x 1-3/4"	SOLID CORE, INTERIOR DOOR
④		4	3/0 x 9/8 x 1-3/4"	SOLID CORE, WOOD PANEL, INTERIOR, DOUBLE DOORS
⑤	1	5	3/8 x 9/8 x 1-3/4"	SOLID CORE, INTERIOR DOOR
⑥		1	3/6 x 9/8 x 1"	SOLID CORE, WOOD PANEL, POCKET, INTERIOR DOOR
⑦		2	3/6 x 9/8 x 1-3/4"	SOLID CORE, WOOD PANEL, POCKET, INTERIOR DOOR
⑧		2	3/8 x 9/8 x 1-3/4"	SOLID CORE, WOOD PANEL, POCKET, INTERIOR DOOR
⑨	2	1	3/0 x 9/8 x 1-3/4"	SOLID CORE, INTERIOR DOOR
⑩	--	2	3/8 x 9/8 x 1-3/4"	METAL, FOAM FILLED PANEL, FIRE RATED (ONE 5'-0" TALL)
⑪		1	12-0 x 8-0	METAL OVERHEAD INSULATED GARAGE DOOR

WINDOW SCHEDULE			
SYM	AMT.	SIZE	DESCRIPTION
A	2	3/6 x 3/6	FIXED WINDOW (TEMPERED)
B	3	3/6 x 3/6	SINGLE HUNG WINDOWS
C	12	3/6 x 3/6	SINGLE HUNG WINDOWS
D	9	3/6 x 3/6	SINGLE HUNG WINDOWS
E	14	3/6 x 3/6	SINGLE HUNG WINDOWS
F	2	3/6 x 3/6	SINGLE HUNG WINDOWS

ATTACHMENT A
PUBLIC COMMENT

To Historic Houston,

My name is Brian Portman, I own the house at 2014 Street St. I will be unable to attend the upcoming meeting this Thursday that will address plans for a new construction on the lot adjacent to my house. I will be sending a representative in my place. His name is Anthony Harndon. His telephone number is 713-828-2697. His email address is, contemporarycraftsmen.com.

I have owned my house at State Street since 1989 and have lived in the Sixth Ward since 1985.

I am concerned about the proposed plans for the new construction at 2010 State St. because they would directly impact my property and be incompatible with the character of the sixth Ward. At 4228 ft.², the massing of the proposed structure would be grossly oversized compared to the other houses on the block. The house at 2016 State Street is 1029 ft.², my house at 2014 Street St. is 1040 ft.², the house at 2008 State St. is 1232ft.², and the house at 605 White St. is 996 ft.².

I am concerned with the height of the first floor of the proposed structure coming in at 5'8". By contrast, the house at 2016 State St. has a porch height of 2'3", my house at 2014 State St. has a height of 2'4", the house and 2008 State St. has the porch height of only 8 inches, and the house at 6608 White St. has a porch height of 2'10".

I am concerned with the plans to have the structure almost entirely fill the lot from east to west in the second story element that is raised on piers. This design feature that is not to be found in the neighborhood and I believe would be discordant.

I am concerned based on the site plan and the floorplans that the proposed structure will not fit into the lot while allowing required setbacks. The lot itself is 52.33' wide, the width of the proposed house will be 44'51/8". I am concerned that the proposed house will encroach into the required 5' setback between my house and the new structure. Also, being set back 15 feet from the property line on State Street pushes it forward more than the other houses in the block. My house and the house at 2016 State Street are both 16'10" from the property line at State Street. The house on 2008 State Street is 17' from the property line.

I am concerned with the proposed plan to locate a bank of three air conditioning units adjacent to my bedroom and ask if they might be relocated to the rear of a proposed structure.

Lastly, I am concerned that allowing a structure that is so vastly out of scale with the other houses on the block would set a dangerous precedent by allowing the construction of oversized houses that are too big for their lots and alter the character of the neighborhood that I fell in love with so long ago.

Thank you

Brian Portman

ATTACHMENT A
PUBLIC COMMENT

Dear Historic Commission Review Committee –

I live at 2008 State Street and have owned this property since 2007. First I would like to acknowledge the letter written by Brian Portman, which I have copied below. Brian and I own the adjoining properties to 2010 State and share several concerns regarding the submitted plans. I appreciate his research and the concise statement of those issues for the committee. I support each argument he presents – I see no need to duplicate his words.

Here are other concerns to please add:

- 1) The design for such a large structure and the interior layout of equal bedroom/ bath counts and living space above the garage, begs the question of whether this will strictly be an owner occupied residence. There are options here which could open the possibility of commercial ventures, such as running a bed and breakfast or an Air B&B business on the site. If so, this intent should certainly be stated publicly. If those ideas were actualized this would change the quiet nature of the street and our low density traffic – offering large special events and an increase demand for parking are two main concerns.
- 2) The current grade level of the 2010 property is slightly higher than that of 2008. Because 2010 has been an open natural terrain, drainage has never been an issue – except obviously in torrential rain circumstances. I have installed a French drain and bricked a v-trough around my structure to help manage any issues. My concern now is with the proposed main structure, extended driveway, and outbuildings – there is a large percentage of hard scape in relation to green space and perhaps a higher grade elevation being discussed. I would like assurances that all drainage concerns which impact surrounding properties are being considered to the full extent. Directly related to my property, the east side of the driveway is certainly an opportunity for a short barrier curb to help mitigate any future problems.
- 3) I hope I am wrong in my assumption, but after looking at the site plans, it seems most, if not all, existing trees will need to be removed to make way for structure. As I understand new construction ordinances of the past, owners needed to plant new oak trees in the city parkway related to any sizeable new construction. I don't know if this is still a requirement, if so, seems irony at its best! Aesthetically speaking, I truly regret the choice of not retaining the old growth oak trees of the property. Practically speaking, it will eliminate all the western side tree cover and also the direct energy savings I enjoy from having the barrier of trees along the fence line.
- 4) This last point is just a matter of record. After reviewing the recent survey of 2010 State, I find there are inconsistencies with the survey of 2008 State, prepared in 1992. As drawn, the recent survey shows the eastern [common] property boundary as running along the exterior wall of my 1939 structure. I have contacted representatives of the Overland Surveyors Consortium who produced last year's survey, for a review of the two documents. I am awaiting a decision from them and hoping for a favorable response. Obviously, easement issues and discussions will come into play if the two surveys cannot be reckoned.

Thank you all for your time and commitment to reviewing and considering the information for the benefit of all parties.

Best regards –
Karen Willis
2008 State Street

APPLICANT'S MATERIAL

LINE	BEARING	DISTANCE
L1	N 89°31'38" E	29.37'
L2	N 01°11'43" W	0.35'
L3	N 01°09'22" W	0.35'
L4	N 89°29'17" E	22.00'
L5	N 89°31'38" E	22.00'

ARZ PROPERTIES LLC
0.1686 ACRE TRACT
(CF NO. 20120591575)
(A.K.A. TRACTS 9, 9B & E. 33.5' OF LOT 10)

ROLANDO D. LAURENZO & BLANCA O.
4408 SQ. FT. TRACT
(A.K.A. TRACTS 8, 8A-2 & 9A)

0.12 ACRE TRACT
HARRIS COUNTY, TEXAS

BEING A 0.12 ACRE TRACT OF LAND OUT OF THE JOHN AUSTIN SURVEY, ABSTRACT NO. 1 IN HARRIS COUNTY, TEXAS, AND BEING ALL OF A 4,975 SQUARE FOOT TRACT DESCRIBED IN CLERKS FILE NO. R668646 AND A PORTION OF A 450 SQUARE FOOT TRACT DESCRIBED IN CLERKS FILE NO. H605183, BOTH OF THE OFFICIAL PUBLIC RECORDS OF HARRIS COUNTY, TEXAS, AND BEING A PORTION OF BLOCK 415, W. R. BAKER ADDITION, AN UNRECORDED SUBDIVISION IN SAID SURVEY, SAID 0.12 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING at a 1/2 inch iron rod found on the North ROW line of State Street (70 foot Public ROW) at the Southwest corner of a 4,665 square foot tract described in Clerks File No. M141437, (O.P.R.H.C.T.), same being the Southeast corner of that certain John C. Courtney IV, 4,645 square foot tract;

THENCE N 89°31'38" E along the North ROW line of State Street (70 foot Public ROW), passing the common line of the said 4,665 square foot tract and the said 450 square foot tract, a total distance of 49.00 feet to a 1/2" iron rod set on the North ROW line of State Street (70 foot Public ROW), same being the South line of the said 450 square foot tract, for the Southwest corner and POINT OF BEGINNING hereof;

THENCE N 00°27'32" W, through the interior of the said 450 square foot tract, a distance of 99.95 feet to a 1/2" iron rod set on the South line of that certain 0.1686 acre tract recorded in Clerks File No. 20120591575, (O.P.R.H.C.T.), same being the North line of the said 450 square foot tract, for the Northwest corner hereof, from which a 1/2" iron rod found at the North common corner of the said 4,665 square foot tract and the said 450 square foot tract bears S 89°31'38" W, a distance of 2.32 feet.

THENCE N 89°31'38" E, along the South line of said 0.1686 acre tract, a total distance of 29.37 feet to a point on the South line of said 0.1686 acre tract, at the west end of a 0.70 foot wide concrete wall;

THENCE along the Common line of said 0.1686 tract and this tract, the following two (2) courses and distances:

1) N 01°09'22" W for a distance of 0.35 feet to a point in said concrete wall;

2) N 89°31'38" E along the center line of said wall, passing the South common corner of the said 0.1686 acre tract and that certain 4,408 square foot tract recorded in Clerks File No. RP-2021-342297, (O.P.R.H.C.T.), and passing the end of said wall, for a total distance of 22.00 feet to 1/2" iron rod set on the South line of said 4,408 square foot tract, same being the North line of Lot 5, of said Block 415, W. R. Baker Addition, unrecorded subdivision, at the Northeast corner of the said 4,975 square foot tract for the Northeast corner hereof;

THENCE S 01°00'35" E through the interior of said Lot 5, along the East line of said 4,975 square foot tract and this tract, a distance of 100.31 feet to a 1/2" iron rod set on the North ROW line of State Street, same being the South line of said Lot 5, at the Southeast corner of the said 4,975 square foot tract for the Southeast corner hereof, from which a 5/8" iron rod found on the West ROW line of White Street, at the Southeast corner of Lot 6, of said Block 415, W. R. Baker Addition, unrecorded subdivision, bears N 88°53'32" E, a distance of 96.41 feet;

THENCE S 89°31'38" W along the North ROW line of State Street (70 foot Public ROW), a distance of 52.33 feet to the POINT OF BEGINNING of the herein described tract and containing 0.12 acre (5,191 Sq. Ft.) of land;

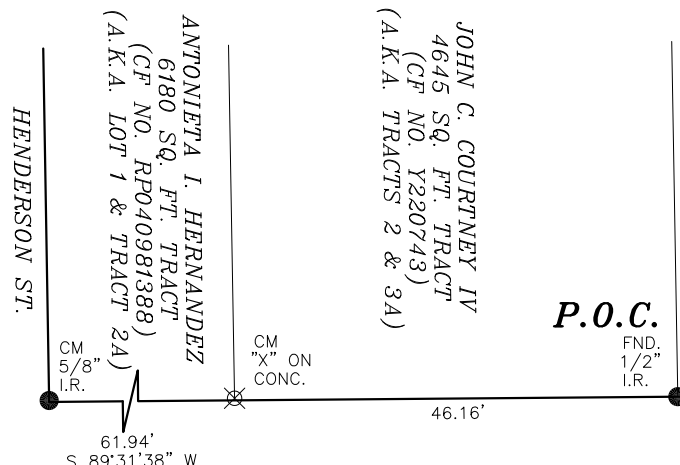
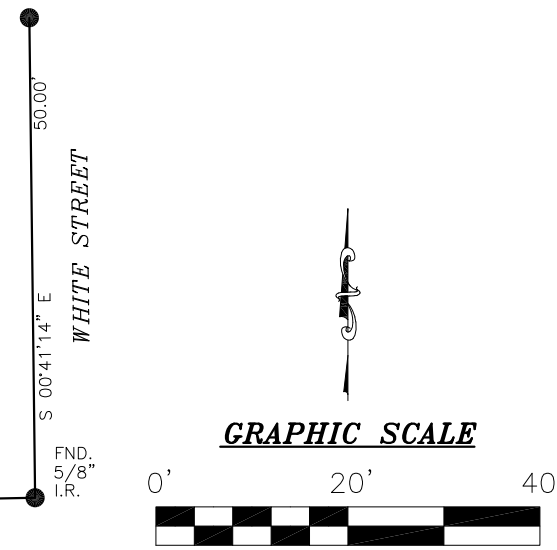
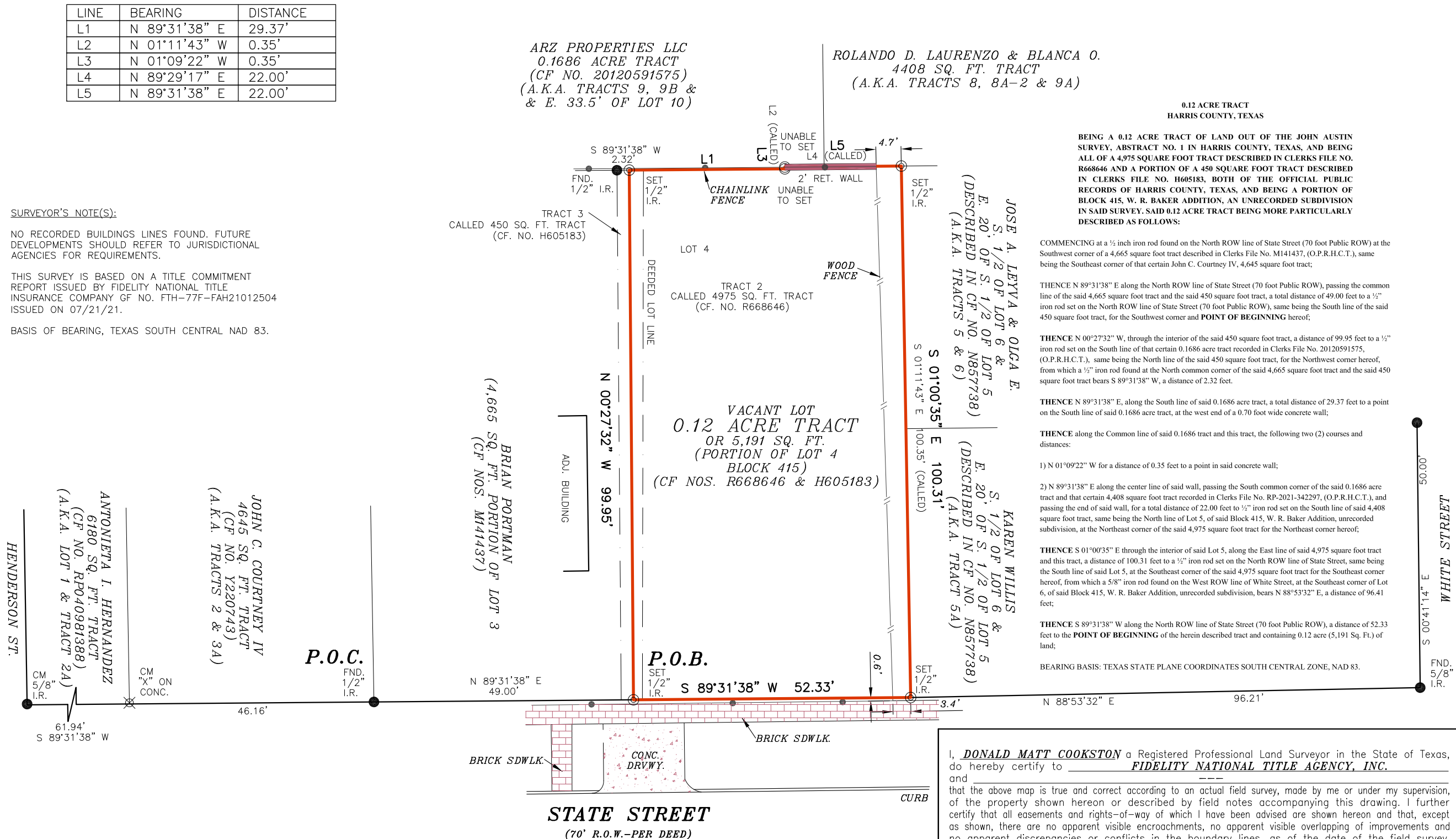
BEARING BASIS: TEXAS STATE PLANE COORDINATES SOUTH CENTRAL ZONE, NAD 83.

SURVEYOR'S NOTE(S):

NO RECORDED BUILDINGS LINES FOUND. FUTURE DEVELOPMENTS SHOULD REFER TO JURISDICTIONAL AGENCIES FOR REQUIREMENTS.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY GF NO. FTH-77F-FAH21012504 ISSUED ON 07/21/21.

BASIS OF BEARING, TEXAS SOUTH CENTRAL NAD 83.



FLOOD INFORMATION
FIRM: 48201C PANEL: 0670 M
REV. DATE: 06/09/2014
ZONE: "X & SHADED X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

LEGEND

- These standard symbols will be found in the drawing.
- BOUNDARY LINE
 - WOOD FENCE
 - CHAINLINK FENCE
 - DEEDED LOT LINE
 - FOUND "X" ON CONCRETE
 - SET 1/2" IRON ROD
 - FOUND IRON ROD
 - CONTROL MONUMENT

I, **DONALD MATT COOKSTON** a Registered Professional Land Surveyor in the State of Texas, do hereby certify to **FIDELITY NATIONAL TITLE AGENCY, INC.** and that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.
Description: **BEING A 0.23 ACRE PARCEL OF LAND** recorded in Clerk's File **R668646 & H605183**, of the Map/Deed and Plat Records of **HARRIS** County, Texas, located in the **JOHN AUSTIN SURVEY, A-1**
Borrower: **ANTHONY ROMANOSKI AND COLBY WULF**
Address: **2014 STATE ST., HOUSTON, TX 77007** GF No. **FTH-77F-FAH21012504**

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: _____

PROPERTY PHOTOGRAPH:

Overland Consortium Inc. Surveyors
Tel: 281-940-8869 Fax: 281-207-6476
1528 W. CONTOUR DR., SUITE 204, SAN ANTONIO, TX 78212

LAND TITLE SURVEY

JOB NO.:	2108027765	NO.	1	REVISION	SPLITTED TWO SURVEY	DATE	08/30/21
DATE:	08/04/21						
DRAWN BY:	RK						
APPROVED BY:	DMC						

FIRM REGISTRATION NO. 10190700
DONALD MATT COOKSTON, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 4733
COPYRIGHT ALL RIGHTS RESERVED TO OVERLAND CONSORTIUM INC.

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE
A1. Building Owner's Name TBD Job#12-105847-21					Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2014 State Street					Company NAIC Number:
City Houston		State Texas		ZIP Code 77007	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 4 Block 415, W.R Baker Addition					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>N/A</u>					
A5. Latitude/Longitude: Lat. <u>29° 45' 53.7"N</u> Long. <u>95° 22' 43.6"W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>N/A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City of Houston 480296			B2. County Name Harris		B3. State Texas
B4. Map/Panel Number 48201C 0670	B5. Suffix M	B6. FIRM Index Date 11-15-19	B7. FIRM Panel Effective/ Revised Date 6-9-14	B8. Flood Zone(s) X "Shaded"	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) N/A
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2014 State Street			Policy Number:
City Houston	State Texas	ZIP Code 77007	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: RM-210054 Vertical Datum: NAVD 1988/2001 ADJ

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: NAVD 1988/2001 ADJ

Datum used for building elevations must be the same as that used for the BFE.

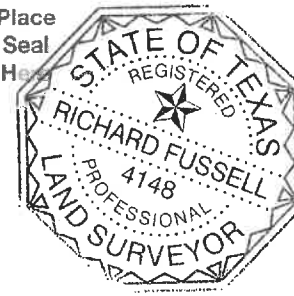

Check the measurement used.

- | | | | |
|---|------------|-------------------------------|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Richard Fussell	License Number 4148	Place Seal Here 	
Title R.P.L.S			
Company Name Survey 1, Inc., Firm Number #100758-00			
Address 2408 Mustang Road			
City Alvin	State Texas		ZIP Code 77511
Signature 	Date 4-13-2022	Telephone 281-393-1382	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

- 1). Centerline of Street Elevation - 40.43'
- 2). TBM Elevation - 40.43
- 3). TBM Location - Mag nail in centerline of State Street near east property line
- 4). Natural Grade - 40.6'
- 5). X-500 DFE (43.1' FIS Profile)

Certificate Of Appropriateness:
 Contributing Context Worksheet
 New Construction and Addition



**PLANNING &
 DEVELOPMENT
 DEPARTMENT**

Address:

Primary Building or Accessory Structure

For New Construction:

Based on Sec. 33-242 of the Historic Preservation ordinance, new construction in a historic district must be **compatible** with exterior features of contributing structures in the context area (same historic district). When designing, elements of existing contributing construction in this district should be referenced, but not necessarily copied. Please give at least three examples of contributing buildings referenced. See this link for new construction criteria:

<https://bit.ly/3xG3NqJ>

Neighboring Contributing Context Address (Reference Address in same historic district)	Number of stories	Ridge Height *if available	Compatibility/Reference Reason Examples: massing, cladding, etc.
Neighboring Context Address * if next door neighbor isn't contributing	Number of stories	Ridge Height *if available	

For an Addition:

Based on Sec. 33-241 for Alterations, Rehabilitations, Restorations and Additions:

- The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
- The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

Existing contributing structures must be in the context area (same historic district). Elements of existing contributing construction in this district should be referenced in the design process. Please give at least three examples of these contributing buildings. See this link for alteration criteria:

<https://bit.ly/3wEYfMa>

Neighboring Contributing Context Address (Reference Address in same historic district)	Number of stories	Ridge Height *if available	Compatibility/Reference Reason examples: massing, cladding, etc.
Neighboring Context Address * if next door neighbor isn't contributing	Number of stories	Ridge Height *if available	